

Application Date: 6/6/2024
Fees Paid: \$275.00

SP# 3744

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 300 ARCHER STREET ZONING DISTRICT RES A
SECTION 02 BLOCK 129 LOT 15 LOT SIZE: 84 X 127

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>WALTER ELLIS</u>			Name: <u>WALTER ELLIS</u>
Address: <u>300 ARCHER ST.</u>			Address: <u>300 ARCHER ST.</u>
<u>FREEPORT, NY 11520</u>			<u>FREEPORT, NY 11520</u>
Telephone #: <u>917-805-4085</u>			Telephone #: <u>917-805-4085</u>

Attorney Name: _____ Address: _____
(optional) Phone # _____

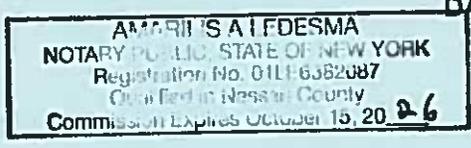
Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: CABANA WITH CHIMNEY 18 X 20 SQ. FT.
MAINTAIN

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
 YES _____ NO

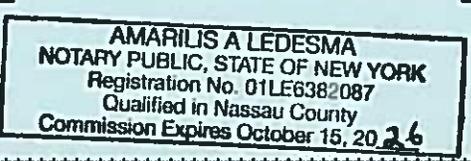
Walter Ellis
APPLICANT'S SIGNATURE
Sworn to before me this 31
day of May, 2024.
Amarilis Ledesma
Notary Public



5/31/24
DATE

Property Owner's Consent:
I, WALTER ELLIS am (are) the owner(s) of the subject property and consent to the filing of this application.

Walter Ellis
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 31st
day of May, 2024.
Amarilis Ledesma
Notary Public



5/31/24
DATE

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

AMENDED SITE PLAN LETTER
May 7, 2024

Walter Ellis
300 Archer St
Freeport, NY 11520

RE: 300 Archer St, Freeport, NY 11520
Zoning District: Residence A Sec 62, Blk 129, Lot 15
Building Permit Application #20233461
Description: Cabana with chimney 18 x 20 sq.ft

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only ONE complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/al

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

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c: Village Clerk
ZBA Approval Needed: Yes X No

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project : Building Permit App. 20233461

Location: 300 Archer St , Freeport NY 11520

Applicant: Walter Ellis

Description : Cabana with chimney 18 x 20 sq.ft

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: May 7, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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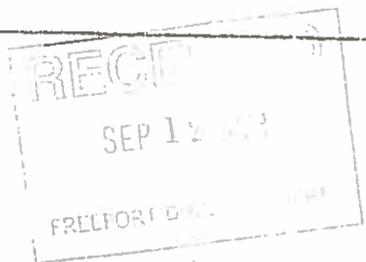
617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
18 x 20 foot Cabana with Chimney			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
300 ARCHER STREET			
Brief Description of Proposed Action:			
MAINTAIN 18' x 20' CABANA			
Name of Applicant or Sponsor:		Telephone: 917-805-4085	
WALTER ELLIS + ALIDA ELLIS		E-Mail: KKCELLIS@GMAIL.COM	
Address:			
300 ARCHER ST.			
City/Town:	State:	Zip Code:	
FREEPORT	NY	11520	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?			NO
If Yes, list agency(s) name and permit or approval:			YES
3. a. Total acreage of the site of the proposed action?			_____ acres
b. Total acreage to be physically disturbed?			_____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			_____ acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			



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5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> N/A
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> N/A
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
10. Will the proposed action connect to an existing public/private water supply? {If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES} If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
11. Will the proposed action connect to existing wastewater utilities? {If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES} If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/> NO	<input type="checkbox"/> YES	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetlands <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>WALTER ELLIS</u>		Date: <u>9-9-23</u>
Signature: <u>L. UCCIALELLI</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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VILLAGE OF FREEPORT, NY

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION**

DATE: February 15, 2024

APPROVAL

Building Department Permit Application #20233461

Chairman, regarding Application #2023-29 for the premises located at 300 Archer Street, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-35C1 and 2 seeking approval to maintain a cabana with chimney 18' by 20' square foot.

I, Ben Jackson move that this Board make the following findings of fact:

A public hearing was held on December 21, 2023 wherein applicant Walter Ellis represented himself. The Board explained that the variance required for a secondary front yard setback had been omitted from the denial letter, so the case would have to be adjourned. However, applicant made his presentation that night, with the plan to answer any further questions the next month if any questions were to arise. Mr. Ellis explained that the cabana was built a couple of years ago. They did not have 5 feet from the fence to the chimney. There is 3 feet 7 inches from the structure to the rear fence. He submitted a letter from his neighbor in support of the application. Additionally, the cabana was built in the secondary front yard. A 20 foot secondary front yard is required and the cabana is 9.1 feet from the sidewalk.

The hearing was adjourned to the January 19, 2024 zoning meeting to allow for the publication of the additional variance. At that meeting, there were no further questions from the Board or any public comment.

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:

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VILLAGE OF FREEPORT
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- a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance. The structure has been in existence for 2 years and the application has the support of the neighbor next door to the cabana.

- b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;

- c. that the requested area variance is insubstantial;
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty was not self-created, however, this factor is not dispositive.
2. The Board, as lead agency, has determined that this action is a Type II action and under SEQRA and no further review is required.

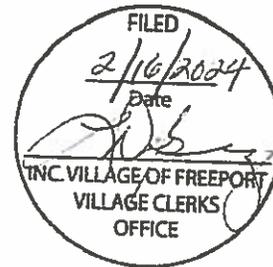
I further move that this application be granted subject to the following conditions:

- 1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
- 2. Applicant must obtain the required permits from the Building Department.
- 3. This application for variance(s) is being granted on the basis of the specific use proposed. If anything in this application is to change, the applicant must return to the Board for further review.

Second by: Charles Hawkins

The Clerk polled the Board:

Deputy Carey	In Favor
Member Mineo	In Favor
Member Jackson	In Favor
Member Hawkins	In Favor

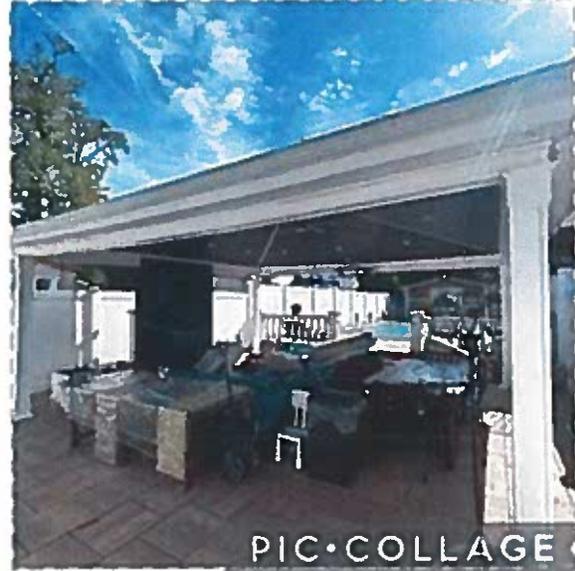
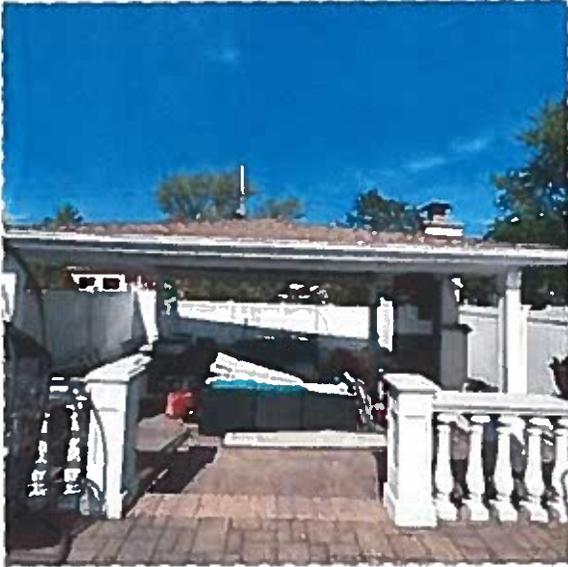


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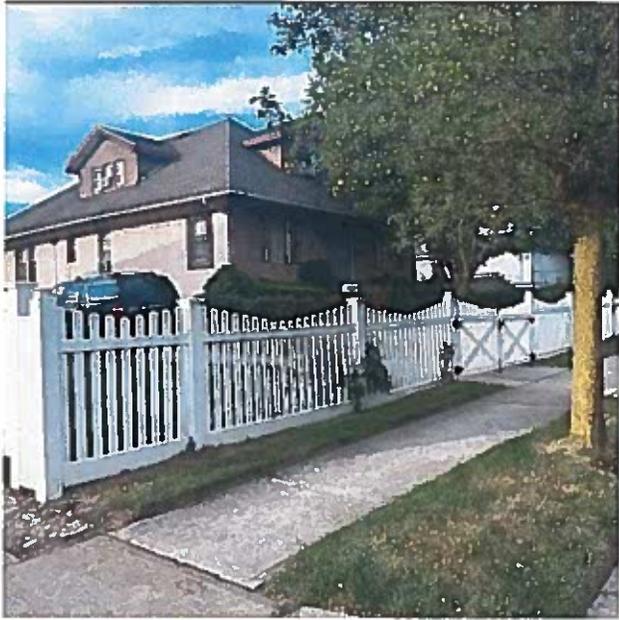
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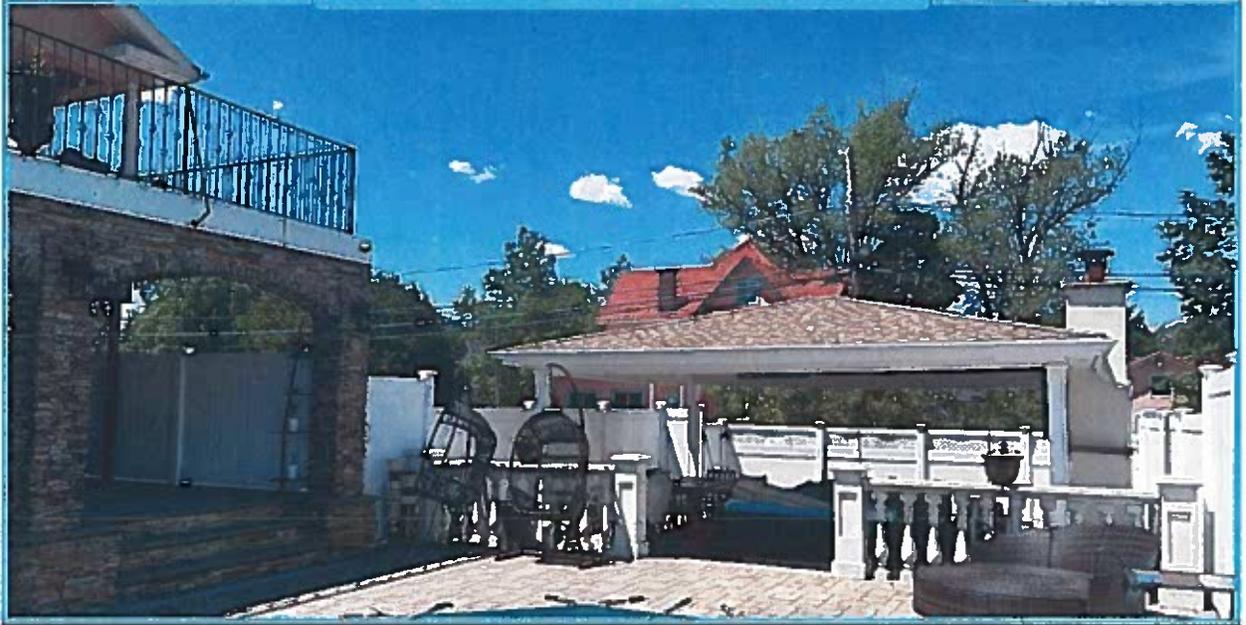
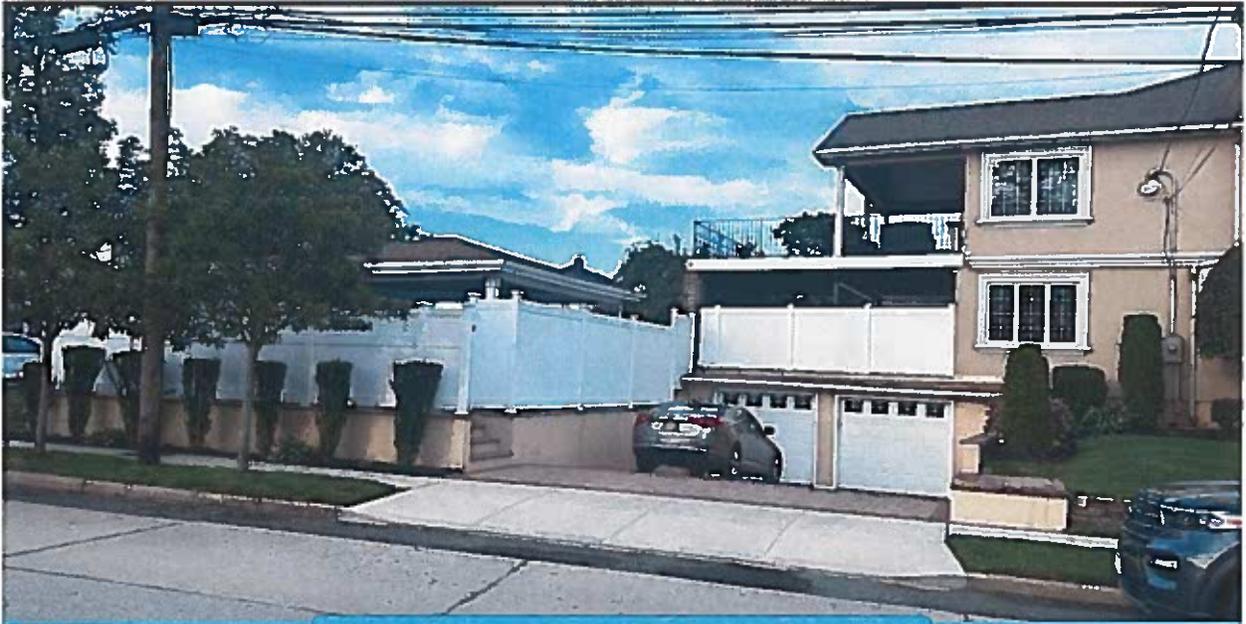
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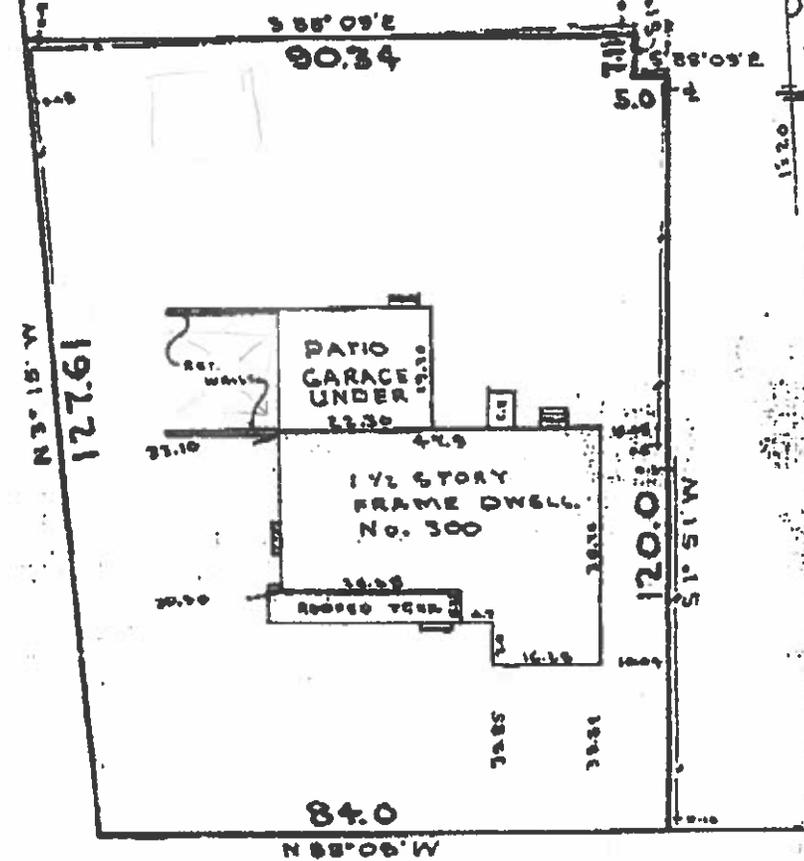
SURVEY NO. 3010-A

(PL) AVE.

ROOSEVELT

FIRST AMERICAN TITLE INSURANCE
COMPANY OF NEW YORK

TITLE # 142 N 7003



ARCHER

ST.

SURVEY OF PROPERTY AT FREEPORT
GUARANTEED TO SECURITY TITLE & CLEAR CO.
MARSHALL ASSOC. INC.

SURVEYED AUG. 15, 1965
BY Kenneth S. O'Brien L.S.
N.Y. STATE LIC. NO. 27414
MEASUREMENTS 1 S. STANDARD
SUBSURFACE CO' DITION NOT KNOWN

LOTS 15 BLOCK 133

MAP COUNTY LAND TAX MAP SEC. NO. 62

MAP FILED _____ CASE NO. _____ COUNTY OF NASSAU STATE OF NEW YORK

LAND SURVEYOR

KENNETH S. OBRIEN

688 BROADWAY
MASSAPEQUA, N. Y.

PYRAMID 8-6086

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GENERAL NOTES

1. ALL LUMBER TO BE DOUGLAS FIR LARCH NO. 2 OR EQUAL, WITH A MINIMUM FIBER STRESS OF 1000 PSI AND A MODULUS OF ELASTICITY OF 1,600,000. UNLESS OTHERWISE NOTED.
2. ALL ENGINEERED STRUCTURAL WOOD MEMBERS, INCLUDING ENGINEERED BEAMS AND JOISTS, TO BE MANUFACTURED BY TRUSS JOIST MacMILLAN OR APPROVED EQUAL, AND INSTALLED AS PER MANUFACTURER'S SPECS.
3. PROVIDE METAL STRAP AND CLIPS AT ALL CONNECTIONS IN ACCORDANCE WITH AFPA WFCM-95.
4. GC TO INSTALL ALUM GUTTERS AND LEADERS IN LOCATIONS SPECIFIED BY OWNER - COLOR AS PER OWNER.

R301.2.1.1 - WIND LIMITATION DESIGN CRITERIA CONSTRUCTION IN REGIONS WHERE BASIC WIND SPEEDS EQUAL OR EXCEED 110 MILES PER HOUR ARE DESIGNED IN ACCORDANCE WITH THE AMERICAN FOREST AND PAPER ASSOCIATION WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS WFCM-95 (PRESCRIPTIVE DESIGN METHOD)

R301.2.2 - SEISMIC PROVISIONS PROJECT LIES WITHIN SEISMIC ZONE B OR C AND AS A ONE OR TWO FAMILY RESIDENCE IS EXEMPT FROM SEISMIC REQUIREMENTS OF THIS CODE.

R323.1 - PROTECTION AGAINST DECAY AREAS SUBJECT TO DECAY DAMAGE REQUIRE THE USE OF AN APPROVED SPECIES AND GRADE OF LUMBER OR PRESERVE PRESERVATIVE TREATED IN ACCORDANCE WITH APWA. THESE AREAS INCLUDE ALL WOOD SILLS OR PLATES THAT REST ON CONCRETE, SILLS AND SLEEPERS ON A CONCRETE SLAB, ENDS OF WOOD GIRDERS ENTERING EXTERIOR FOUNDATION WALLS. ALL WOOD IN CONTACT WITH THE GROUND SHALL BE PRESURE TREATED.

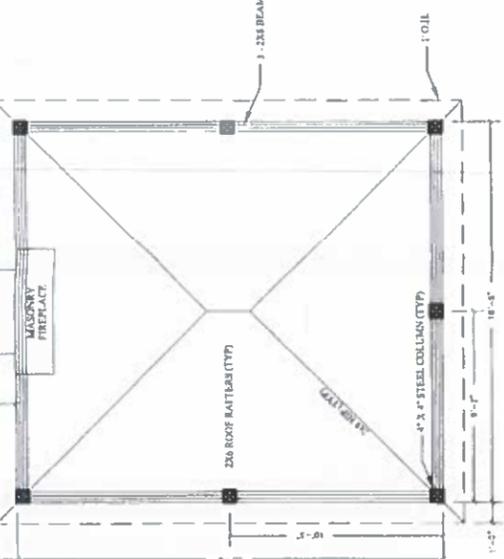
R401.4.1 - GEOTECHNICAL EVALUATION UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL FOOTINGS SHALL BEAR ON SOLID UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 POUNDS PER SQUARE FOOT

R403.1.4 - MINIMUM FOOTING DEPTH ALL EXTERIOR FOOTINGS AND FOUNDATION SYSTEMS SHALL EXTEND BELOW THE FROST LINE TO A MINIMUM OF 3'-0" BELOW GRADE.

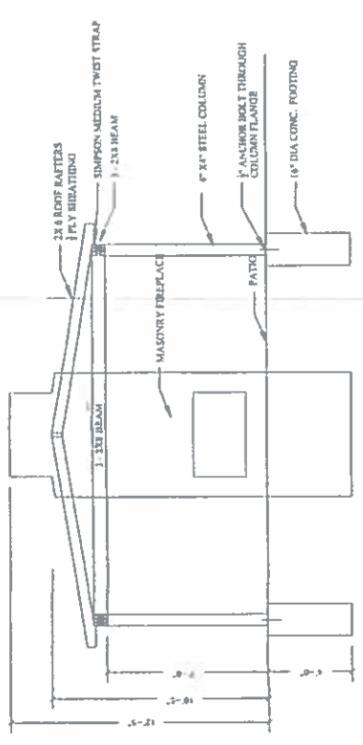
R403.1.6. - FOUNDATION ANCHORAGE STEEL COLUMNS SHALL BE ANCHORED TO THE FOUNDATION WITH ANCHOR BOLTS

ELECTRICAL NOTES

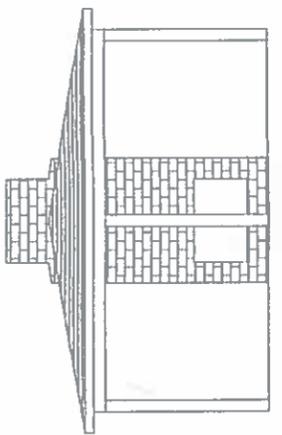
1. ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE NEW YORK BUREAU OF FIRE UNDERWRITERS, THE NATIONAL ELECTRICAL CODE, AND ALL OTHER STATE AND LOCAL CODES AND REQUIREMENTS.
2. THE CONTRACTOR IS TO PROVIDE A NY BOARD OF FIRE UNDERWRITERS CERTIFICATE TO THE OWNER UPON COMPLETION OF THE WORK.
3. G.F.I. CIRCUITS AND OUTLETS TO BE PROVIDED AS REQUIRED BY CODE.



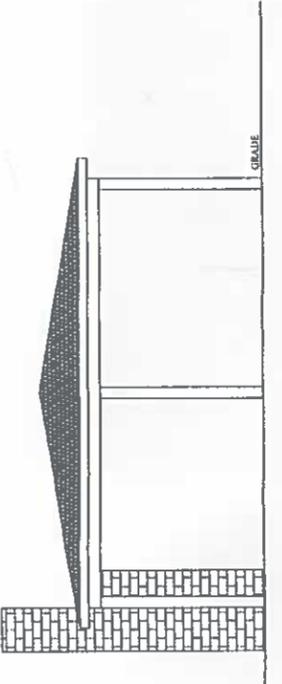
FRAMING PLAN
1/4" = 1'



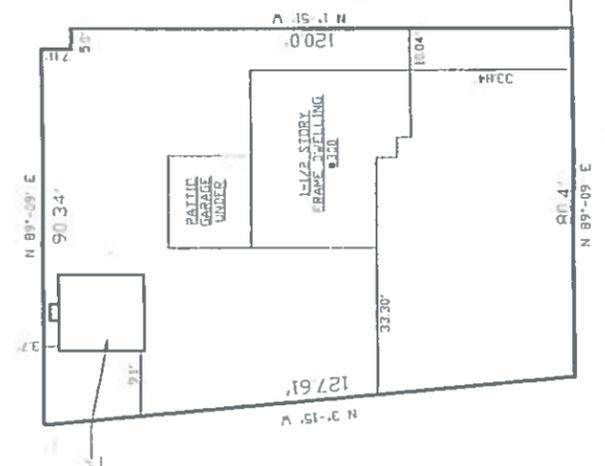
TYPICAL SECTION
1/4" = 1'



SOUTH ELEVATION
1/4" = 1'



WEST ELEVATION
1/4" = 1'



PLOT PLAN
1" = 20'

THESE PLANS SHOWING THE PROPOSED REVISIONS, ALTERATIONS AND ADDITIONS HAVE BEEN PADDED INTO THE UNDETERMINED.

Date	Revision/Issue



ROBERT R TISONNE PE #028997

PROPOSED PAVILLION
300 ARCHER STREET
FREEPORT, N.Y.
sec 62, blk 129, lot 15

Project #	0243432
Date	9/08/2023
Notes	AS NOTED
Drawn	A.1

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Lisa DeBourg

From: Scott Braun
Sent: Thursday, March 27, 2025 12:01 PM
To: Lisa DeBourg
Subject: 300 Archer St.

Good Morning, Hope all is well.

Regarding Site Plan application sp-3744 – 300 Archer St., There was an inspection of the rear yard pavilion performed after the request from the SPB meeting 7/23/2024. The fire place attached to the pavilion does not have the proper fire separation between the fence and the rear of the firebox at only 18". After discussing options with the homeowner it was decided that the fire place structure will remain in place but the flue will be cemented over to prevent the use as a fire place. During this inspection it was noticed that the pavilion itself was not constructed as per the submitted plans, the pavilion was lacking structural support columns. There are now new plans for the addition of new columns that will properly support the roof structure. At the time this is reviewed by the Board, and if approved, we would ask that a stipulation be added regarding the closing up of the fire place flue preventing it from being used as a wood burning fire place.

Thank You,

Scott R. Braun CEO
Building / Plumbing Inspector
Inc. Village of Freeport
Building Department
516-377-2242
516-377-2227

GENERAL NOTES

- 1 ALL LUMBER TO BE DOUGLAS FIR LARCH NO. 2 OR EQUAL, WITH A MINIMUM FIBER STRESS OF 1000 PSI AND A MODULUS OF ELASTICITY OF 1,600,000, UNLESS OTHERWISE NOTED
- 2 ALL ENGINEERED STRUCTURAL WOOD MEMBERS, INCLUDING ENGINEERED BEAMS AND JOISTS, TO BE MANUFACTURED BY TRUSS JOIST MacMILLAN OR APPROVED EQUAL, AND INSTALLED AS PER MANUFACTURER'S SPECS.
- 3 PROVIDE METAL STRAP AND CLIPS AT ALL CONNECTIONS IN ACCORDANCE WITH AFPA WFCM-95
- 4 GC TO INSTALL ALUM GUTTERS AND LEADERS IN LOCATIONS SPECIFIED BY OWNER - COLOT AS PER OWNER.

R301.2.1.1 - WIND LIMITATION DESIGN CRITERIA
 CONSTRUCTION IN REGIONS WHERE BASIC WIND SPEEDS EQUAL OR EXCEED 110 MILES PER HOUR ARE DESIGNED IN ACCORDANCE WITH THE AMERICAN FOREST AND PAPER ASSOCIATION WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS WFCM-95 (PRESCRIPTIVE DESIGN METHOD)

R301.2.2 - SEISMIC PROVISIONS
 PROJECT LIES WITHIN SEISMIC ZONE B OR C AND AS A ONE OR TWO FAMILY RESIDENCE IS EXEMPT FROM SEISMIC REQUIREMENTS OF THIS CODE.

R323.1 - PROTECTION AGAINST DECAY
 AREAS SUBJECT TO DECAY DAMAGE REQUIRE THE USE OF AN APPROVED SPECIES AND GRADE OF LUMBER OR PRESSURE PRESERVATIVE TREATED IN ACCORDANCE WITH APWA. THESE AREAS INCLUDE ALL WOOD SILLS OR PLATES THAT REST ON CONCRETE, SILLS AND SLEEPERS ON A CONCRETE SLAB, ENDS OF WOOD GIRDERS ENTERING EXTERIOR FOUNDATION WALLS. ALL WOOD IN CONTACT WITH THE GROUND SHALL BE PRESSURE TREATED.

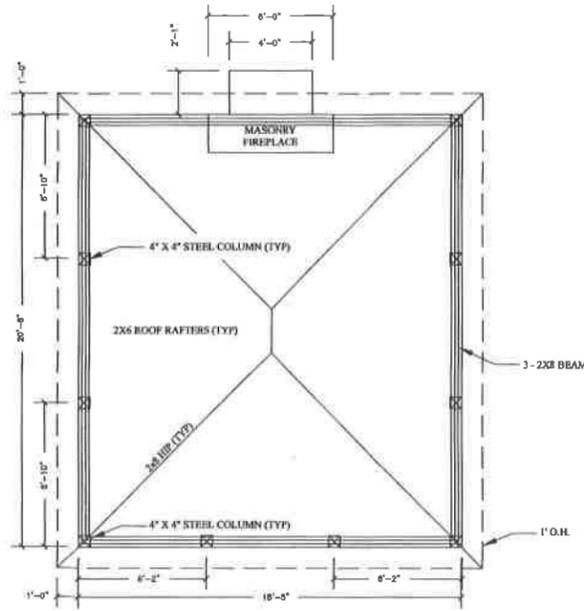
R401.4.1 - GEOTECHNICAL EVALUATION
 UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL FOOTINGS SHALL BEAR ON SOLID, UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 POUNDS PER SQUARE FOOT

R403.1.4 - MINIMUM FOOTING DEPTH
 ALL EXTERIOR FOOTINGS AND FOUNDATION SYSTEMS SHALL EXTEND BELOW THE FROST LINE TO A MINIMUM OF 3'-0" BELOW GRADE.

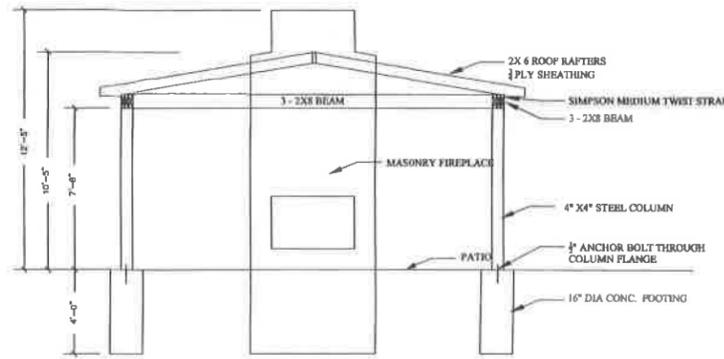
R403.1.6. - FOUNDATION ANCHORAGE
 STEEL COLUMNS SHALL BE ANCHORED TO THE FOUNDATION WITH ANCHOR BOLTS

ELECTRICAL NOTES

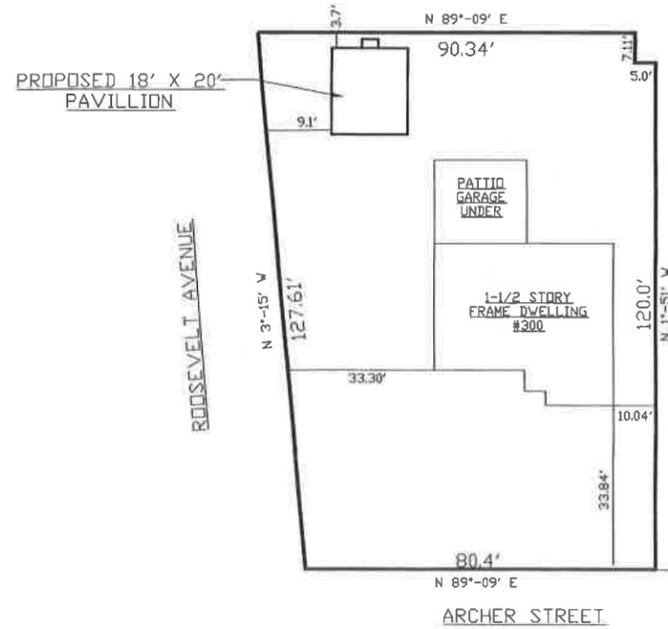
- 1 ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE NEW YORK BUREAU OF FIRE UNDERWRITERS, THE NATIONAL ELECTRICAL CODE, AND ALL OTHER STATE AND LOCAL CODES AND REQUIREMENTS.
- 2 THE CONTRACTOR IS TO PROVIDE A NY BOARD OF FIRE UNDERWRITERS CERTIFICATE TO THE OWNER UPON COMPLETION OF THE WORK.
- 3 G.F.I. CIRCUITS AND OUTLETS TO BE PROVIDED AS REQUIRED BY CODE.



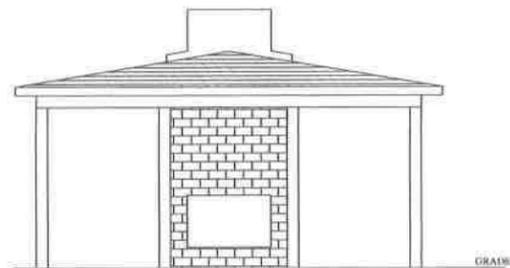
FRAMING PLAN
1/4" = 1'



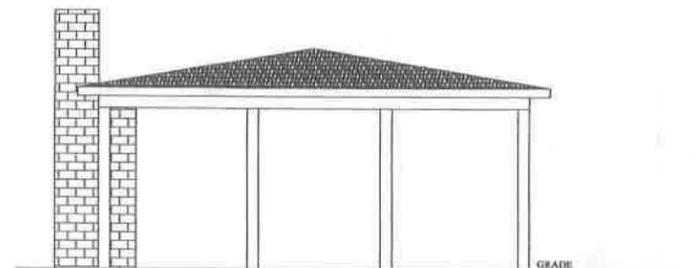
TYPICAL SECTION
1/4" = 1'



PLOT PLAN
1" = 20'



SOUTH ELEVATION
1/4" = 1'



WEST ELEVATION
1/4" = 1'

THESE PLANS SHOWING THE PROPOSED RESIDENTIAL BUILDING ALTERATION AND ADDITION HAVE BEEN PREPARED UNDER THE SUPERVISION OF THE UNDERSIGNED,

ADD COLUMNS	Revision/Issue	Date
		10/26/24

STATE OF NEW YORK
 RRP
 ROBERT R FISENNE PE #072997

Project Name and Address
PROPOSED PAVILLION
300 ARCHER STREET
FREEPORT, N.Y
 sec 62, blk 129, lot 15

Project 0243432
 Date 9/08/2023
 Scale AS NOTED

Sheet
A.1

RECEIVED
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 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY

FNAME

REVDATE

USER

Application Date: 1/28/25
Fees Paid: \$ 350.00

SP# 3805

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 215 N. Brookside Ave. Freeport ZONING DISTRICT Residence AA
SECTION 54 BLOCK B LOT 74 LOT SIZE: 11393.37 sq. ft.

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: _____	Name: <u>Leslie Wade</u>
Address: _____	Address: <u>215 N. Brookside Ave. Freeport, NY</u>
Telephone #: _____	Telephone #: <u>917-370-5107</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: one family dwelling Proposed Land Use: one family dwelling

Description of Proposed Work: Proposed 2nd floor addition with minor interior alterations to 1st floor 57.6' x 43.6'

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
 YES NO

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APPLICANT'S SIGNATURE _____
Sworn to before me this _____ day of _____, 20__.

DATE _____

Notary Public _____

Property Owner's Consent: I, Leslie Wade am (are) the owner(s) of the subject property and consent to the filing of this application.

Leslie Wade
PROPERTY OWNER'S SIGNATURE

12/16/24
DATE

Sworn to before me this 16th day of Dec, 2024

KAMERON JAMES
Notary Public, State of New York
Reg. No. 01JA0030302
Qualified in Nassau County
Commission Expires October 29, 2025

Kameron James
Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
Planning Board Signature: _____	Date: _____



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INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER
November 27, 2024

Leslie Wade
215 N Brookside Ave
Freeport, NY 11520

RE: 215 N Brookside Ave Freeport, NY 11520
Zoning District – Residence AA Sec. 54 Blk. B , Lot 74
Building Permit Application #20243611
Description– Proposed 57.6' x 43.6' 2nd story addition with bath.

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

ZBA Approval Needed: **NO**

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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Notice

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X Negative Declaration

Positive Declaration

VILLAGE OF FREEPORT, NY

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20243611

Location: 215 N Brookside Ave Freeport, NY

Applicant: Leslie Wade

Description: Proposed 57.6' x 43.6' 2nd story addition with bath.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: November 27, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form



Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: 215 N Brookside Ave Freeport, NY 11520							
Project Location (describe, and attach a location map):							
Brief Description of Proposed Action: Proposed new 57.6' x 43.6' 2nd story addition w/bath							
Name of Applicant or Sponsor: Leslie Wade		Telephone: 917-370-5107					
Address: 215 N Brookside Ave		E-Mail: leslie@lesliedionewade.com					
City/PO: Freeport,		State: NY	Zip Code: 11520				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="height: 30px;"><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="height: 30px;"><input type="checkbox"/></td> <td style="height: 30px;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?			0.26 acres				
b. Total acreage to be physically disturbed?			.03 acres				
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			N/A acres				
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

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	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: <u>HVAC upgrade, meet 3 ACh as per state code.</u> <u>Spray foam insulation</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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 FREEPORT BUILDING DEPT

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Leslie Wade</u> Signature: <u><i>Leslie Wade</i></u>	Date: <u>01/08/2024</u>	

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

Proposed 215 N. Brookside Ave.



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215 N. Brookside Ave. Freeport, NY 11520

Existing

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215 N. Brookside Ave Freeport, NY 11520

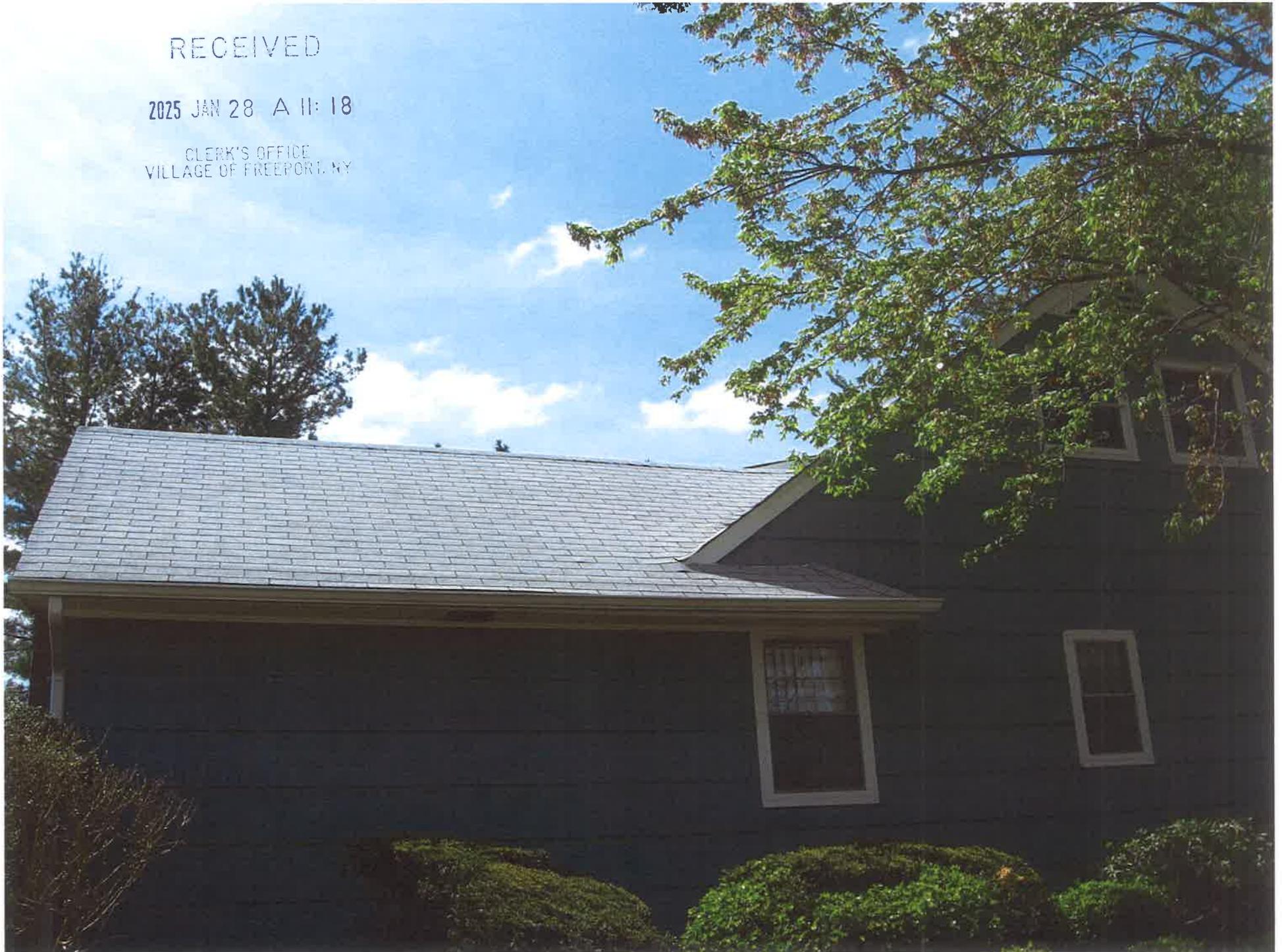


215. N. Brookside Ave. Freeport, NY 11520

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215 N. Brookside Ave. Freeport, NY 11520

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215 N. Brookside Ave. Freeport, NY 11520



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215 N. Brookside Ave. Freeport, NY 11520

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215 N. Brookside Ave. Freeport, NY 11520

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215 N. Brookside Ave. Freeport, NY 11520



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336 W. Seaman Ave.
Freeport, NY 11520

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334 W. Seaman Ave.
Freeport, NY 11520

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



39 Milburn Ct.
Freeport, NY 11520

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



325 W. Seaman Ave.
Freeport, NY 11520

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339 W. Seaman Ave.
Freeport, NY 11520

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VILLAGE OF FREEPORT, NY



32 Millburn Ct.
Freeport, NY 11520

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Architectural features:

Re: 215 N. Brookside Ave Freeport, NY 11520

Roof:

- new "GAF" (timberline) architectural roof shingles (color barkwood)

Fascia:

- New 1"x 6" capped w/ aluminum coil stock from ("mastic plygem") (color white)

Siding:

- Mastic plygem cedar discovery perfection shingles double 7" (Newport bay)

Soffit:

- White vented vinyl soffit.

Windows:

- All windows are Anderson (200 series) with white PVC crown molding over 5/4x4 PVC trim.

Corner trim of house:

- Mastic Plygem (Color- White)

Gutters & leaders:

- Aluminum gutters & leaders by Mastic Plygem (color white)

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SIDE ELEVATION (SOUTH)
 SCALE: 3/16" = 1'-0"



REAR ELEVATION (WEST)
 SCALE: 3/16" = 1'-0"



1/28/25

No.	Description	Date

NO OVERSIGHT, ERROR, OR OMISSION AS THE PART OF THE ENGINEER OR HIS REPRESENTATIVE SHALL LEGALIZE THE ERECTION, CONSTRUCTION, ALTERATION, REPAIR, USE OR OCCUPANCY OF A BUILDING OR STRUCTURE THAT DOES NOT CONFORM TO THE PROVISIONS OF THE BUILDING CODE AND THE BUILDING ZONE ORDINANCE.

ANY DEVELOPER SHALL VERIFY ALL MATERIALS AS INDICATED ON THE PLANS SUCH AS BRICK, TRIMMERS, FRAME, PARALANE, MDO/PLANE, DRYWALL, T.E. D.T.E., CEILING BOARD, ROOF RAFTERS, KING, HEAM, STRUCTURAL HP'S, STL. COLS, WOOD POSTS, LEDGER BRDS, ETC. SHALL BE REPORTED TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF ANY PHYSICAL WORK.

CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AT THE CONSTRUCTION SITE BEFORE BEGINNING ANY PHYSICAL WORK. HE SHALL FAMILIARIZE HIMSELF WITH THE INTENT OF THESE PLANS, SPECIFICATIONS AND ALL OTHER INFORMATION INCLUDING GOVERNING CODES, LAWS, ORDINANCE, ZONING AND REGULATIONS.

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS & DIMENSIONS BEFORE STARTING CONSTRUCTION & SHALL NOTIFY THE ENGINEER OF ANY ANOMALIES OR DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE BEFORE OR DURING CONSTRUCTION AS TO THE INTENT OR DETAILS OF THE DRAWINGS, THE CONTRACTOR SHALL CALL THE DESIGNER FOR CLARIFICATION AND/OR INSTRUCTIONS. IF THE CONTRACTOR FAILS TO FOLLOW THE ABOVE PROCEDURE HE SHALL ASSUME THE RESPONSIBILITY FOR THE CONSEQUENCES OF HIS ACTIONS AND OR DECISIONS. ALL DIMENSIONS ARE "A" & MUST BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION BY CONTRACTOR.

THESE PLANS DOES NOT RELIEVE THE CONTRACTOR OR THE SUB CONTRACTOR OF RESPONSIBILITY FOR FULL COMPLIANCE WITH THE CONTRACT REQUIREMENTS, FOR THE CORRECTNESS OF DIMENSIONS, CLEARANCES AND MATERIAL QUANTITIES, FOR PROPER DESIGN & DETAIL FOR FABRICATION AND CONSTRUCTION TECHNIQUES, FOR PROPER COORDINATION WITH OTHER TRADES AND FOR PROVIDING ALL SERVICE REQUIRED FOR SAFE AND SATISFACTORY CONSTRUCTION & OPERATIONS.

PROPERTY INFORMATION

SECTION:	54
BLOCK:	B
LOT:	74
ZONE:	AA



OWNER:
WADE RESIDENCE
 215 N BROOKSIDE AVE,
 FREEPORT, N.Y.

ENGINEER:
ROBERT F. ALWEIS,
 P.E., P.C.,
 CONSULTING ENGINEER
 1 CATHERINE PLACE,
 BELLMORE, N.Y., 11710
 Tel: (516) 679-4731
 Fax: (516) 679-4736
 Email:
 ralweis@alweisengineering.com

CONSTRUCT NEW 2nd FLR.
 W/ BATHROOM

THESE PLANS ARE THE PROPERTY OF "ROBERT F. ALWEIS, P.E., P.C." AND SHALL NOT BE REPRODUCED, COPIED OR REPLICATED IN ANY FORM UNLESS SPECIFICALLY AUTHORIZED BY "ROBERT F. ALWEIS, P.E., P.C."

THESE PLANS ARE PROTECTED UNDER THE COPY RIGHT ACT TITLE 17 OF THE UNITED STATES CODE AMENDED ON DECEMBER 1st 1990

ALL WORK SHALL COMPLY WITH THE 2020 N.Y.S RESIDENTIAL CODE

THE GENERAL CONTRACTOR OR OWNER / CLIENT CAN VIEW OR MAKE UPDATES NEW YORK STATE BUILDING CODE REFERENCES OR SECTION NUMBERS EITHER MENTIONED ON THESE PLANS OR NOT, CAN GO TO THE FOLLOWING WEB SITE: [HTTPS://UP.CODES.CODES/NEW YORK](https://up.codes/codes/new-york)

EDUCATION LAW ARTICLE 145 PROFESSIONAL ENGINEERING & LAND SURVEYING, SECTION 2015 IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY

SEAL & SIGNATURE

Date:	11/20/21
Project #:	0000
Drawn by:	J.W.
Checked by:	R.A.
Scale:	as noted
Sheet #:	
Page #:	A-3
Page #:	05



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POLYMER'S OFFICE
NEWPORT, NY

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APR - 7 1 P 1: 54

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY





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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

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VILLAGE OF FREEPORT, NY



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VILLAGE OF FREEPORT, NY



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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY





FRONT ELEVATION (EAST)
BROOKSIDE AVE
 SCALE: 3/16" = 1'-0"



SIDE ELEVATION (SOUTH)
 SCALE: 3/16" = 1'-0"



REAR ELEVATION (WEST)
 SCALE: 3/16" = 1'-0"



FRONT ELEVATION (NORTH)
SEAMAN AVE
 SCALE: 3/16" = 1'-0"

No.	Description	Date
1	2nd FLR. ISSUED FOR FILING	11/20/23
2	REVISED 2nd FLOOR WINDOW PLACEMENT AND DESIGN	03/12/25

NO OVERSIGHT, ERROR, OR OMISSION ON THE PART OF THE ENGINEER OR HIS REPRESENTATIVE SHALL LEGALIZE THE EXISTING CONSTRUCTION, ALTER FROM REMOVAL, USE, OR OCCUPANCY OF A BUILDING OR STRUCTURE THAT DOES NOT CONFORM TO THE PROVISIONS OF THE BUILDING CODE AND THE BUILDING ZONE ORDINANCE.

ANY DEVIATION FROM ANY STRUCTURAL MEMBERS AS INDICATED ON THESE PLANS SUCH AS JOISTS, TRIMMERS, I-BEAMS, PARALLAMS, MICROLAMS, TRUSSES, F.L.R. ETC., CEILING BEAMS, ROOF RAFTERS, RIDGE BEAMS, STRUCTURAL HIPPS, STL. COLS., WOOD POSTS, LEDGER BEAMS, ETC. SHALL BE REPORTED TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF ANY PHYSICAL WORK.

CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AT THE CONSTRUCTION SITE BEFORE RECORDING ANY PHYSICAL WORK. HE SHALL FAMILIARIZE HIMSELF WITH THE INTENT TO THESE PLANS, SPECIFICATIONS AND ALL OTHER INFORMATION INCLUDING GOVERNMENT CODES, LAWS, ORDINANCE, ZONING AND REGULATION.

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PROPERTY INFORMATION

SECTION:	54
BLOCK:	B
LOT:	74
ZONE:	"RESIDENCE AA"



OWNER:
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 215 N BROOKSIDE AVE,
 FREEPORT, N.Y.

ENGINEER:
ROBERT F. ALWEIS,
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CONSULTING ENGINEER
 1 CATHERINE PLACE,
 BELLMORE, N.Y., 11710
 Tel: (516) 679-4731
 Fax: (516) 679-4736
 Email:
 ralweis@alweisengineering.com

CONSTRUCT NEW 2nd FLR. W/ BATHROOM

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THESE PLANS ARE PROTECTED UNDER THE COPY RIGHT ACT TITLE 17 OF THE UNITED STATES CODE AMENDED ON DECEMBER 14, 1990.

ALL WORK SHALL COMPLY WITH THE 2020 N.Y.S. RESIDENTIAL CODE

THE GENERAL CONTRACTOR OR OWNER / CLIENT CAN VIEW OR LOOK UP ANY NEW YORK STATE BUILDING CODE REFERENCES OR SECTION NUMBERS EITHER MENTIONED ON THESE PLANS OR NOT, CAN GO TO THE FOLLOWING WEBSITE:
[HTTPS://UP.CODES/CODES/NEW_YORK](https://up.codes/codes/new_york)

EDUCATION LAW ARTICLE 145 PROFESSIONAL ENGINEERING & LAND SURVEYING, SECTION 7209: IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR, TO ALTER ANY FIELD IN ANY WAY.

SEAL & SIGNATURE

Date: 04/07/25
 Project#: 0600
 Drawn by: J.W.
 Checked by: R.A.
 Scale: as noted
 Sheet #: **A-1**
 Page # of

RECEIVED
 2025 APR - 7 10:55
 CLERK'S OFFICE
 VILLAGE OF FREEPORT, N.Y.

4/7/25

Application Date: _____
Fees Paid: _____

SP# 3819

**INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD**

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: <u>190 E Sunrise Hwy, Freeport</u> ^{NY 11520} ZONING DISTRICT <u>manufacturing</u>
SECTION <u>55</u> BLOCK <u>H</u> LOT <u>55.56 & 369</u> LOT SIZE: <u>7213.12 sq.ft</u>

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Lili Li</u>	Name: <u>Qiling Li</u>
Address: <u>190 E Sunrise Hwy</u> <u>Freeport, NY 11520</u>	Address: <u>190 E Sunrise Hwy</u> <u>Freeport, NY 11520</u>
Telephone #: <u>917-601-7895</u>	Telephone #: <u>347-733-3496</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Cabinet store Proposed Land Use: Cabinet store

Description of Proposed Work: _____
Erect Ground sign containing 3 panels - one sign panel 48" x 96" x 2"
second sign panel 24" x 96" x 2" and third sign panel 24" x 96" x 2"

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

_____ YES _____ NO

[Signature]
APPLICANT'S SIGNATURE
 Sworn to before me this 17
 day of December, 2024.
[Signature]
 Notary Public



12/17/24
 DATE
 RECEIVED
 2015 APR - 11 AM 11:18
 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY

Property Owner's Consent:
I, Qiling Li am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE
 Sworn to before me this 17
 day of December, 2024.
[Signature]
 Notary Public



12/17/2024
DATE

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



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INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

SERGIO A MAURAS
SUPERINTENDENT OF BUILDINGS

March 3, 2025
SITE PLAN LETTER

Qiling Li
190 E Sunrise Hwy
Freeport, NY 11520

RE: **190 E Sunrise Hwy, Freeport, NY**

Zoning District – Manufacturing Sec. 55 Blk. H , Lot 55

Building Permit Application #20244046

Description– Erect 1 ground sign containing 3 panels – first panel 48” x 96”x2” , second panel 24” x 96”x2” and third panel 24” x 96”x2”.

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the Site Plan Review Board Application together with the instruction sheet and other relevant documents. Please call the **Village Clerk's office at 516-377-3632** to make an appointment to review the completed Site Plan Review Board application. Changes or additional information may be required for the application; therefore, only one complete packet of the 12 sets should be brought in for the initial appointment with the Village Clerk's office. **Only after this appointment should the additional copies be made.**

Please be further advised that your Site Plan Review Board application must submitted within sixty (60) days of the date of this letter. In the event that you do not file said application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you have any questions or require additional information with reference to the **Site Plan Review Board Application**, please call the **VILLAGE CLERK'S OFFICE** at 377-3632.

Sincerely

Sergio A Mauras
Superintendent of Buildings
/Daniela Hernandez

cc: Village Clerk
ZBA Approval Needed: NO

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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Notice

2025 APR - 11 A 11: 28

CLERK'S OFFICE
FREEPORT, NY
Positive Declaration

X Negative Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

 The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20244046

Location: 190 E Sunrise Hwy, Freeport, NY 11520

Applicant: Qiling Li

Description: Erect 1 ground sign containing 3 panels – first panel 48” x 96”x2” , second panel 24” x 96”x2” and third panel 24” x 96”x2”.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: March 3, 2025

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

Manufacturing Zone

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25 APR - 11 A 11: 28

AUG 21 2024

DEPARTMENT OF BUILDING OFFICE
OF THE VILLAGE OF FREEPORT
APPLICATION FOR ERECTION OF SIGN

APPLICATION#: 2024 4046

PERMIT#: _____

NEW APPLICATION

APPROVED

RENEWAL

DENIED

APPLICATION IS HEREBY MADE PURSUANT TO VILLAGE OF FREEPORT ORDINANCES FOR APPROVAL OF PLANS AND SPECIFICATIONS OF THE SIGN STRUCTURE HEREIN DESCRIBED, TO BE ERECTED, HUNG AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AFORESAID ORDINANCE, THE BUILDING CODE, AND ANY OTHER ORDINANCE OR LAW APPLICABLE THERETO. SIGN PERMIT NUMBER WILL BE PLACED IN THE LOWER RIGHT CORNER OF SIGN.

DATE: 8/21/24

ADDRESS OF PREMISES: 190 E Sunrise Hwy. Freeport, NY 11520

WALL SIGN GROUND SIGN CANOPY RENEWAL PERIOD: _____

NAME OF PROPERTY OWNER: Qiling Li PHONE#: 347-733-3496

NAME OF APPLICANT: Li Li Li PHONE#: 917-601-7895

EMAIL ADDRESS: qiling250510@gmail.com

WIDTH OF BUILDING (FRONTAGE): 77.08 ft LENGTH OF BUILDING (DEPTH): 86.83 ft

HEIGHT OF BUILDING: 18 ft SETBACK OF NEAREST BUILDING: _____

EXACT LOCATION OF SIGN: corner front of the building

STREET SIGN FRONTS ON: 190 E Sunrise Hwy & Liberty Avenue

WIDTH OF SIGN: 96" HEIGHT OF SIGN: 48" DEPTH OF SIGN: 2"

PROJECTION FROM BUILDING: _____ SETBACK OF SIGN: _____

IS SIGN TO BE ILLUMINATED? YES NO (IF YES, GIVE NAME, ADDRESS, AND PHONE NUMBER OF THE FREEPORT LICENSED ELECTRICIAN PERFORMING THE WORK)

NAME OF ELECTRICIAN: _____ ADDRESS: _____

SIGN HANGER'S NAME: _____ ADDRESS: _____

SIGN HANGER'S PHONE#: _____ EMAIL: _____

APPROVAL IS HEREBY GIVEN TO THE FOREGOING APPLICATION AND PERMISSION IS GRANTED FOR THE HANGING OF THE SIGN DESCRIBED HEREIN. THIS PERMIT IS REVOCABLE IN CASE OF ANY NON-COMPLIANCE WITH PROVISIONS OF AFORESAID ORDINANCES. PERMIT EXPIRES THREE (3) YEARS, PROVIDED THAT SUCH A SIGN CONTINUES TO BE MAINTAINED IN COMPLIANCE WITH THE ORDINANCES OF THE INCORPORATED VILLAGE OF FREEPORT IN FORCE AT THE TIME OF RENEWAL.

DATED: FREEPORT, NY _____, 20____

SUPERINTENDENT OF BUILDINGS



**DEPARTMENT OF BUILDING
OF THE VILLAGE OF FREEPORT
APPLICATION FOR ERECTION OF SIGN**

RECEIVED

2025 APR -1 A 11: 28

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

APPLICATION#: _____

PERMIT#: _____

NEW APPLICATION

APPROVED

RENEWAL

DENIED

APPLICATION IS HEREBY MADE PURSUANT TO VILLAGE OF FREEPORT ORDINANCES FOR APPROVAL OF PLANS AND SPECIFICATIONS OF THE SIGN STRUCTURE HEREIN DESCRIBED, TO BE ERECTED, HUNG AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AFORESAID ORDINANCE, THE BUILDING CODE, AND ANY OTHER ORDINANCE OR LAW APPLICABLE THERETO. SIGN PERMIT NUMBER WILL BE PLACED IN THE LOWER RIGHT CORNER OF SIGN.

DATE: 7/31/24

ADDRESS OF PREMISES: 190 E Sunrise Hwy, Freeport, Ny 11520

WALL SIGN GROUND SIGN CANOPY RENEWAL PERIOD: _____

NAME OF PROPERTY OWNER: Qiling Li PHONE#: 347-733-3496

NAME OF APPLICANT: Li Li Li PHONE#: 917-601-7895

EMAIL ADDRESS: qiling050510@gmail.com

WIDTH OF BUILDING (FRONTAGE): 77.08' LENGTH OF BUILDING (DEPTH): 86.8³

HEIGHT OF BUILDING: 18" SETBACK OF NEAREST BUILDING: _____

EXACT LOCATION OF SIGN: front of the building

STREET SIGN FRONTS ON: 190 E Sunrise Hwy & Liberty Avenue

WIDTH OF SIGN: 96" HEIGHT OF SIGN: 24" DEPTH OF SIGN: 2"

PROJECTION FROM BUILDING: _____ SETBACK OF SIGN: _____

IS SIGN TO BE ILLUMINATED? YES NO (IF YES, GIVE NAME, ADDRESS, AND PHONE NUMBER OF THE FREEPORT LICENSED ELECTRICIAN PERFORMING THE WORK)

NAME OF ELECTRICIAN: _____ ADDRESS: _____

SIGN HANGER'S NAME: _____ ADDRESS: _____

SIGN HANGER'S PHONE#: _____ EMAIL: _____

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DATED: FREEPORT, NY _____, 20_____

SUPERINTENDENT OF BUILDINGS



RECEIVED

DEPARTMENT OF BUILDING OF THE VILLAGE OF FREEPORT APPLICATION FOR ERECTION OF SIGN

2025 APR - 11 A 11: 28

CLERK'S OFFICE VILLAGE OF FREEPORT, NY

APPLICATION#: _____

PERMIT#: _____

NEW APPLICATION

APPROVED

RENEWAL

DENIED

APPLICATION IS HEREBY MADE PURSUANT TO VILLAGE OF FREEPORT ORDINANCES FOR APPROVAL OF PLANS AND SPECIFICATIONS OF THE SIGN STRUCTURE HEREIN DESCRIBED, TO BE ERECTED, HUNG AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AFORESAID ORDINANCE, THE BUILDING CODE, AND ANY OTHER ORDINANCE OR LAW APPLICABLE THERETO. SIGN PERMIT NUMBER WILL BE PLACED IN THE LOWER RIGHT CORNER OF SIGN.

DATE: 7/31/24

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STREET SIGN FRONTS ON: 190 E Sunrise Hwy & Liberty Avenue

WIDTH OF SIGN: 96" HEIGHT OF SIGN: 24" DEPTH OF SIGN: 2"

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DATED: FREEPORT, NY _____, 20_____

SUPERINTENDENT OF BUILDINGS

ADDRESS: 190 EAST SUNRISE HIGHWAY, FREEPORT

NOTE: SURVEY REFERS TO SURVEY DONE BY MICHAEL KHELAWAN P.L.S. DATED DECEMBER 19, 2022

AA

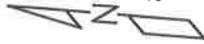
DESIGNATED AS LOT No. 356 & P/O 355 IN BLOCK Q ON "MAP OF BENNINGTON PARK" FILED ON MAY 26, 1902 AS MAP No. 223, CASE No. 1768

RECEIVED

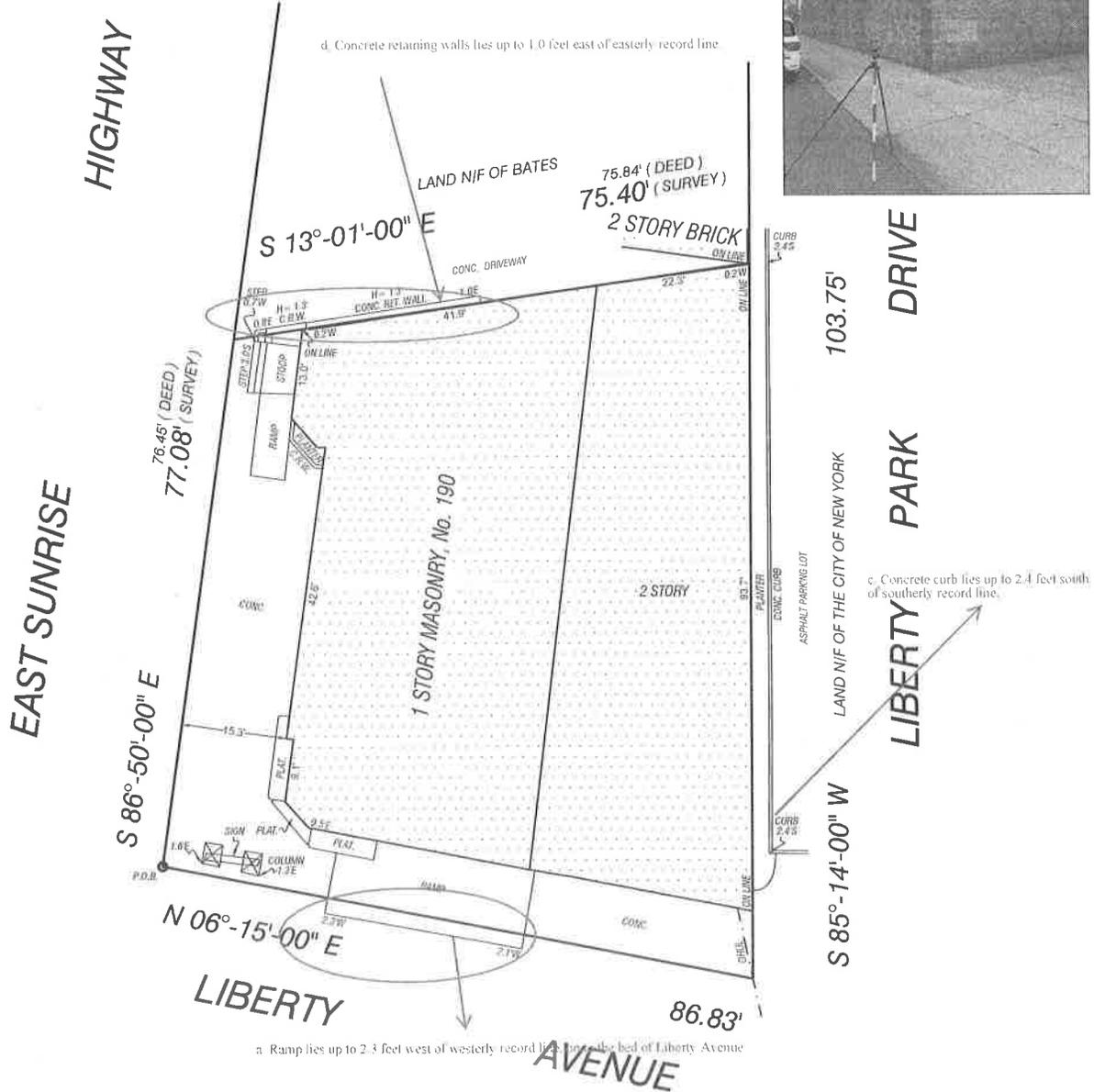
2025 APR -1 A 11: 28

AREA OF LOT = 7,213.12 sq. ft.

SCALE 1" = 16'



CLERK'S OFFICE VILLAGE OF FREEPORT, NY



1. GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON OR PERSONS FOR WHOM THE SURVEY IS PREPARED AND CERTIFIED TO AND ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS
2. EASEMENTS OF RECORD ARE ONLY GUARANTEED IF A DESCRIPTIVE ABSTRACT OF TITLE IS FURNISHED TO THE SURVEYOR
3. THIS MAP WAS MADE AT A SCALE OF 1"=16' WHEN ORIGINALLY DRAWN.
4. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.
5. IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.
6. ARCHITECTS MUST ORDER A TOPOGRAPHICAL MAP SPECIFYING THEIR EXACT NEEDS.
7. ALL ELEVATIONS SHOWN IF ANY REFER TO THE NAVD1988.
8. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED OR EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES
9. CONSULT WITH THE HIGHWAY DEPARTMENT BEFORE DESIGNING, INSTALLING, OR MODIFYING ANY NEW OR EXISTING CURBS, WALKS, OR ROADWAYS IN THE STREETS SHOWN HEREON
10. SUBSURFACE INFORMATION SHOWN WERE OBTAINED FROM VARIOUS CITY DEPARTMENTS AND/OR PRIVATE UTILITY COMPANIES. THE SURVEYOR ACCEPTS NO RESPONSIBILITY FOR ANY OF THIS DATA.
11. SURVEYED AS IN POSSESSION

CERTIFIED TO:
J&Q 190 FREEPORT LLC
STEWART TITLE INSURANCE COMPANY
LIBERTY LAND ABSTRACT

TITLE No.
LL-45609-23-N

ANASTASIA I. PARSATOON
LAND SURVEYING, P.C.
 1300 JERICHO TURNPIKE, STE. 207
 NEW HYDE PARK, NY 11040
 OFFICE (516) 352-0396
 EMAIL: INFO@AIPLS.COM
SURVEY No. PN010712
 TOWN OF HEMPSTEAD
 COUNTY OF NASSAU
 STATE OF NEW YORK
 TAX MAP
 DISTRICT
 SECTION 55
 BLOCK 'H'
 LOT 55, 56 & 369

DATE: APRIL 4th, 2023



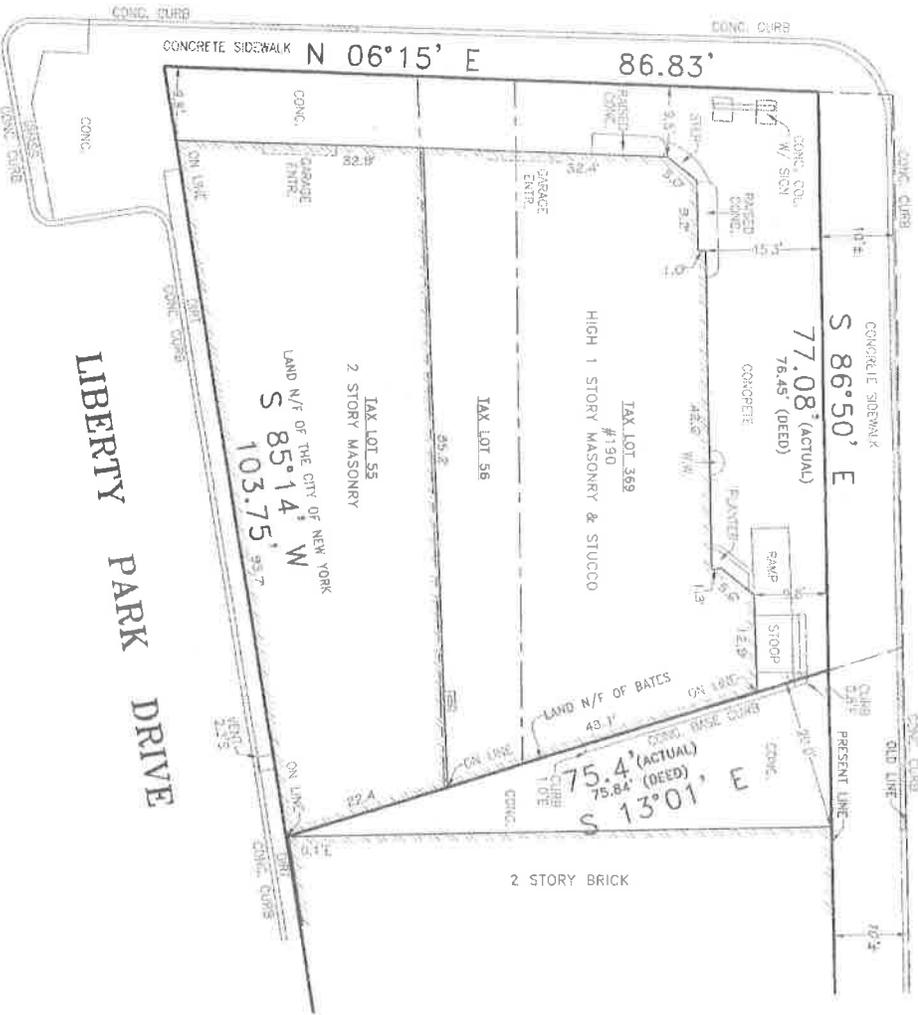
ANASTASIA I. PARSATOON, L.S.
NEW YORK LICENSE 051088

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CLERK'S OFFICE
EAST SUNRISE HIGHWAY
VILLAGE OF FREEPORT, NY

SURVY' No. M.A.S.-2022-541



LEGEND

CONC	CONCRETE
M/W	MASONRY
ENTR	ENTRANCE
CONC	CONCRETE
CONC	CONCRETE
CONC	CONCRETE

No.	DATE	REVISION	FILE NO. DRAWING
1		LAND TITLE SURVEY	

GENERAL NOTES:

- This survey was prepared only for the party (parties) and purposes indicated herein.
- Property corner monuments or markers were found placed as part of this survey.
- Unauthorized alteration or addition to a survey may be deemed a "second land surveyor's seal" in violation of section 2205, sub-section 2, of the New York State Education Law.
- Only copies of this survey made in accordance with the land surveyor's signature and an original endorsed and sealed copy of this survey may be used for any purpose.
- Confidentiality of this survey is maintained in accordance with the provisions of the New York State Association of Professional Land Surveyors, Inc. Said confidentiality is limited to the party (parties) for whom the survey is prepared and are not transferable.
- The location and nature of all easements, encroachments, liens and improvements or encroachments existing on the property are shown as they appear on the ground.
- Estimates of record are any questioned if an Abstract of Title is furnished to the surveyor.

DESIGNATED AS PART OF LOT No. 355 & ALL OF LOT No. 356 IN BLOCK O ON ROAD OF RECONSTRUCTION PARK, FILED ON MAY 26, 1902 AS MAP No. 223, CASE No. 1783



MAP OF SURVEY OF PROPERTY
IN THE INCORPORATED VILLAGE OF FREEPORT
TOWN OF HEWLETT
COUNTY OF NASSAU
STATE OF NEW YORK
TAX MAP: SECTION 55, BLOCK H, LOTS 55, 56 & 369

Michael Khelawany

LAND SURVEYING, P.C.
MICHAEL KHELAWANY P.L.S.
NEW YORK LICENSE NO. 051153
114-54 121st STREET, SOUTH OZONE PARK, NY 11420
T: (947) 924-8923 E.MAIL: mkhlandsurveying@gmail.com

SURVEYED: 12-17-22 BY: MK & DK DRAWN: 12-19-22 MK



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STATE OF NEW YORK
JULY 1, 2025

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VILLAGE OF FREEPORT, NY

48

 **STAR KITCHEN & BATH**
WHOLESALE & RETAIL CENTER

24

CLOSET

24

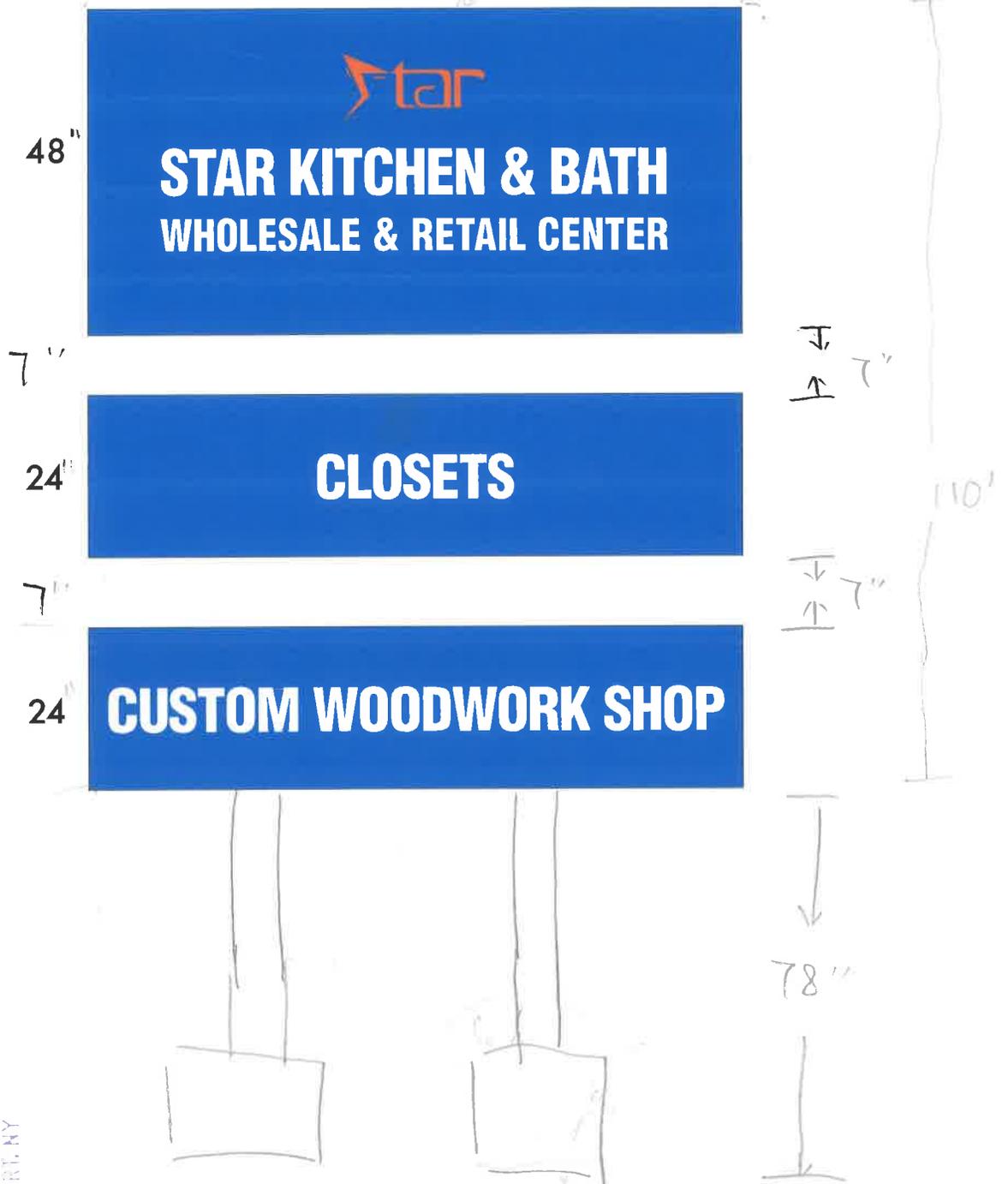
CUSTOM WOODWORK SHOP



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190 E Sunrise Hwy. Freeport. NY 11520
SP3819



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WHOLESALE & RETAIL CENTER**



CLOSETS

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**STAR KITCHEN & BATH
WHOLESALE & RETAIL CENTER**

CLOSETS

CUSTOM WOODWORK SHOP

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**STAR KITCHEN & BATH
WHOLESALE & RETAIL CENTER**

24

CLOSETS

24

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WHOLESALE & RETAIL CENTER



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STAR KITCHEN & BATH
WHOLESALE & RETAIL CENTER

CLOSETS

CUSTOM WOODWORK SHOP

Application Date: 4/2/25
 Fees Paid: 9325.00

SP# 3820

**INCORPORATED VILLAGE OF FREEPORT
 SITE PLAN REVIEW APPLICATION
 PLANNING BOARD**

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 21 VAN BUREN STREET ZONING DISTRICT RES A
 SECTION 62 BLOCK 104 LOT 114 LOT SIZE: 60x100 = 6000sq FT

<input type="checkbox"/> TENANT <u>APPLICANT</u>	<input type="checkbox"/> LESSEE	<u>PROPERTY OWNER</u>
Name: <u>PAUL NUÑEZ</u>		Name: <u>ATV REALTY GROUP LLC</u>
Address: <u>18 BROUWER LANE</u> <u>ROCKVILLE CENTRE NY 11570</u>		Address: <u>18 BROUWER LANE</u> <u>ROCKVILLE CENTRE NY 11570</u>
Telephone #: <u>516-581-9956</u>		Telephone #: <u>516-581-9956</u>

Attorney Name: _____ Address: _____
 (optional) Phone #: _____

Present Land Use: RESIDENTIAL Proposed Land Use: RESIDENTIAL

Description of Proposed Work: CONSTRUCT 2,760 SF NEW 3 STORY
1 FAMILY DWELLING WITH ATTACHED GARAGE

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

_____ YES NO

[Signature]
 APPLICANT'S SIGNATURE
 Sworn to before me this _____ day of April, 2025
Mesheena C. Little
 Notary Public

MESHESSNA C LITTLE DATE
 NOTARY PUBLIC-STATE OF NEW YORK
 No. 0110066956
 Qualified in Nassau County
 My Commission Expires 11-26-2025

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Property Owner's Consent:
 I, _____ am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
 PROPERTY OWNER'S SIGNATURE
 Sworn to before me this _____ day of April, 2025
Mesheena C. Little
 Notary Public

MESHESSNA C LITTLE DATE
 NOTARY PUBLIC-STATE OF NEW YORK
 No. 0110066956
 Qualified in Nassau County
 My Commission Expires 11-26-2025

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
Planning Board Signature: _____	Date: _____



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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER

March 21, 2025

ATV Realty Group LLC
21 Van Buren St
Freeport, NY 11520

RE: 21 Van Buren St Freeport, NY

Zoning District – Residence A Sec. 62 Blk. 104, Lot 114

Building Permit Application #20254148

Description: Construct 2,760 Sf new 3 story 1 family dwelling with attached garage.

Dear Sir/Madam.

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-3632.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez
cc: Village Clerk

ZBA Approval Needed: NO

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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VILLAGE OF FREEPORT, NY

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20254148

Location: 21 Van Buren St, Freeport NY 11520

Applicant: ATV Realty Group LLC

Description: Construct 2,760 Sf new 3 story 1 family dwelling with attached garage.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: March 21, 2025

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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617.20
Appendix B
Short Environmental Assessment Form

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VILLAGE OF FREEPORT, NY

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
ATV REALTY GROUP LLC			
Name of Action or Project: CONSTRUCT NEW 3-STORY ONE FAMILY RESIDENTIAL DWELLING			
Project Location (describe, and attach a location map): 21 VANDUREN STREET FREEPORT NY 11520			
Brief Description of Proposed Action: CONSTRUCT NEW 3-STORY ONE FAMILY RESIDENTIAL DWELLING. 2760 sqft.			
Name of Applicant or Sponsor: ATV REALTY GROUP LLC		Telephone: 516-581-9956	MAR 20 2025
Address: 18 BROWER LANE		E-Mail: PAUL.MARTIN.NUNEZ@GMAIL.COM	
City/PO: ROCKVILLE CENTRE	State: NY	Zip Code: 11570	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		6,000 SF acres	
b. Total acreage to be physically disturbed?		6,000 SF acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		6,000 SF acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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		NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: <u>IT WILL MEET STATE ENERGY CODE REQUIREMENTS</u>		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>ATV REALTY GROUP LLC - PAUL NUNEZ</u> Date: <u>3/7/2025</u></p> <p>Signature: <u>[Signature]</u></p>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
<u>ATV REALTY GROUP LLC - PAUL NUNEZ</u>	<u>3/7/2025</u>
Name of Lead Agency	Date
<u>PAUL NUNEZ</u>	<u>PRESIDENT</u>
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
	
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

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DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 20254148

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Filing Date 3/20/25

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>21 VAN BUREN STREET</u> ZONING DISTRICT <u>RESIDENTIAL A</u> <small>(No.) (Street)</small>
	BETWEEN <u>GUY LOMBARDO AVE</u> AND <u>HUDSON AVENUE</u> <small>(Cross Street) (Cross Street)</small>
	SECTION <u>62</u> BLOCK <u>104</u> LOT <u>114,115,116</u> APPROX. LOT SIZE <u>60' x 100'</u> LOT AREA <u>6,000 SF</u>

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.	
A. TYPE OF IMPROVEMENT	B. PROPOSED OR EXISTING USE
1 <input checked="" type="checkbox"/> New building 2 <input type="checkbox"/> Addition-Alteration (If residential, enter number of new housing units added. If none-state none) 3 <input type="checkbox"/> Swimming Pool 4 <input type="checkbox"/> Repair (replacement) 5 <input type="checkbox"/> Bulkhead (New, Repair) 6 <input type="checkbox"/> Fence 7 <input type="checkbox"/> Moving (relocation)	RESIDENTIAL 11 <input checked="" type="checkbox"/> One Family 12 <input type="checkbox"/> Two families 13 <input type="checkbox"/> Apartment - Enter No. of Units _____ 14 <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter No. of Units _____ 15 <input type="checkbox"/> Garage or Accessory Structure 16 <input type="checkbox"/> Other - Specify _____ NON RESIDENTIAL - Complete Part "E" 17 <input type="checkbox"/> Industrial 18 <input type="checkbox"/> Office, bank, professional 19 <input type="checkbox"/> Stores, mercantile 20 <input type="checkbox"/> Church, other religious 21 <input type="checkbox"/> Hospital, institutional 22 <input type="checkbox"/> Other - Specify _____
C. COST	D. DESCRIPTION OF PROJECT
10 TOTAL COST OF IMPROVEMENT <u>\$100,000</u> \$ 552,000	<u>CONSTRUCT NEW 3 STORY DWELLING - RESIDENTIAL ONE FAMILY, 2760 Sqft.</u>

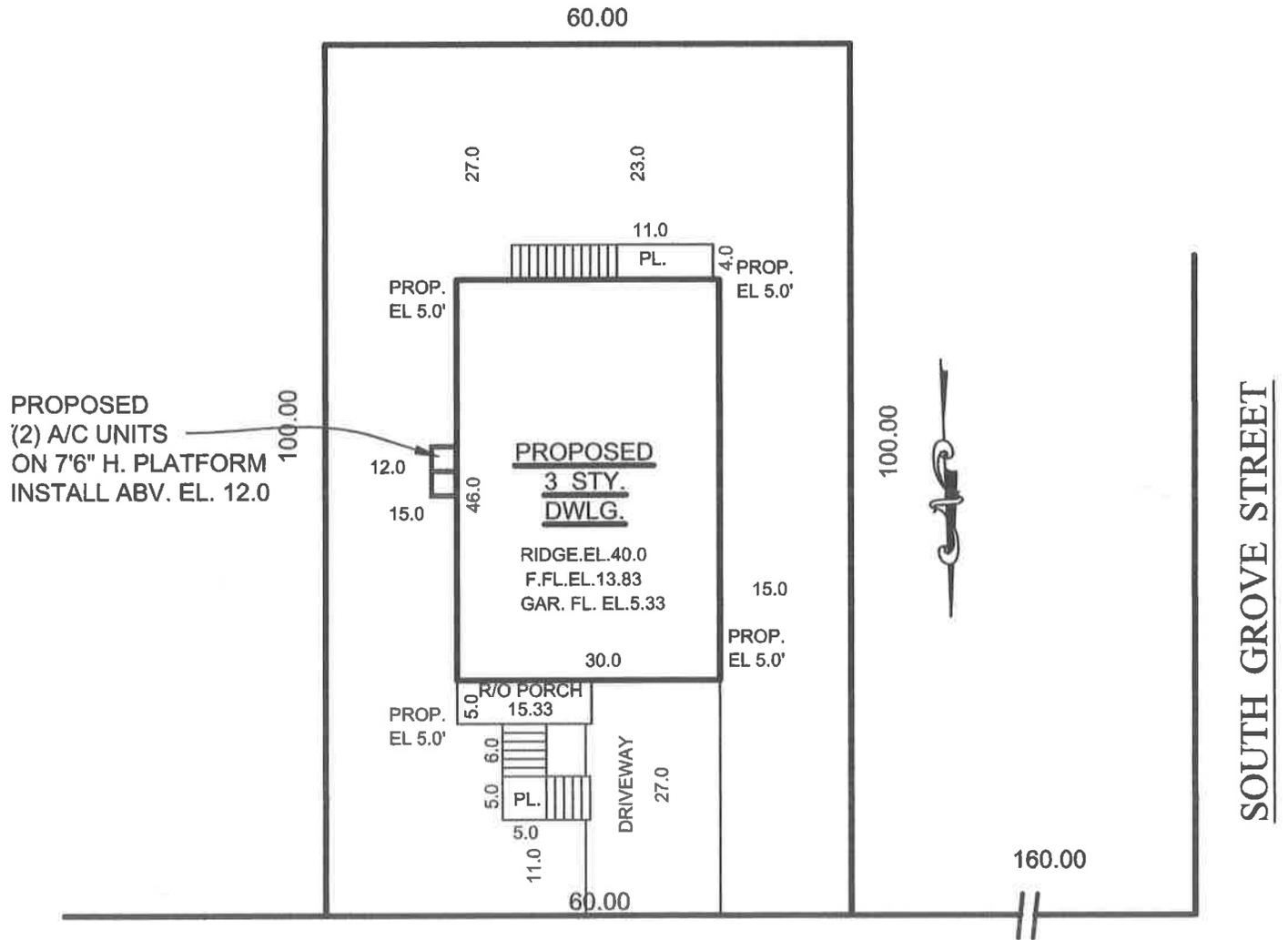
III. IDENTIFICATION - To be completed by all applicants			
	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	ATV REALTY GROUP LLC	18 BROWER LANE ROCKVILLE CENTRE NY 11570	516-581-9956
2. Contractor	VALLEJO'S CONSTRUCTION INC.	3108 GULL AVENUE, MEDFORD NY 11763	631-960-6965
3. Architect or Engineer	FIORE ARCHITECTURE	308 N. WISCONSIN AVENUE MASSAPEQUA NY. 11758	516-586-5409

IV. OWNER - CONTRACTOR STATEMENT	V. FLOOD ZONE
Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law. Workmen's Compensation Certificate No. <u>670191</u> Company <u>NYSIF</u> Exp. Date <u>9/2/25</u> Contractor or Owner <u>PAUL NUNEZ - ATV REALTY GROUP LLC</u> (Print) Address <u>18 BROWER LANE ROCKVILLE CENTRE NY 11570</u> Phone <u>516-581-9956</u> State of New York County of Nassau <u>Paul Nunez</u> being duly sworn, says that <u>He</u> is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of <u>His</u> knowledge and belief and agrees to conform to all applicable laws of this Village.	IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES <input checked="" type="checkbox"/> NO _____ IF YES, WHICH ZONE? <u>AE</u> IS PROJECT TO REPAIR FLOOD DAMAGE? YES _____ NO <input checked="" type="checkbox"/> PROJECT DESCRIPTION Total/First Floor Square Feet <u>1380 SF</u> Upper Floors Square Feet <u>2760 SF</u>

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PROPOSED
(2) A/C UNITS
ON 7'6" H. PLATFORM
INSTALL ABV. EL. 12.0

VAN BUREN STREET

SECTION - 62
BLOCK - 104
LOT - 114
ZONE - A
FLOOD ZONE - AE-8

SITE PLAN

SCALE: 1" = 20'

**ARCHITECTURAL REVIEW BOARD
21 VANBUREN STREET**



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ROOFING - TAMKO, HERITAGE
COLOR - SHAKE WOOD



SIDING - GENTEK
COLOR - HARBOR BLUE DUTCHLAP
BOARD AND BATTEN IN PEAKS

WINDOWS - DOUBLE HUNG - COLOR - WHITE
WITH 4" TRIM AND GRIDS AT FRONT ONLY

DOORS - FRONT DOOR - FIBERGLASS / WOOD FINISH
LOWER LEVEL DOORS - WHITE METAL FIRE DOOR
WITH RAISED PANELS
REAR SLIDING DOOR - WHITE VINYL, NO GRIDS
GARAGE DOOR - WHITE ALUMINUM PANEL

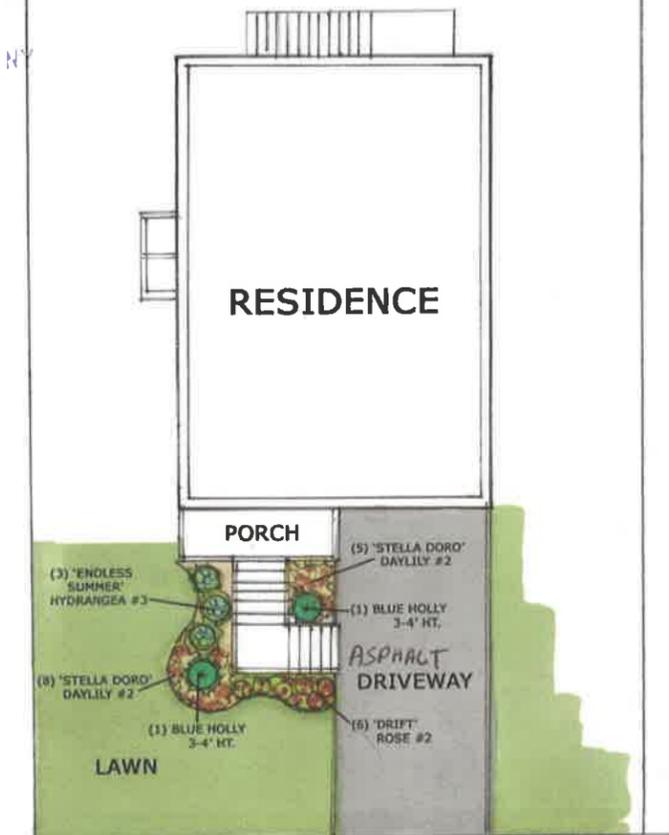
TRIM - WHITE AT FASCIA
WHITE 4" TRIM AT WINDOWS
WHITE CORNER POSTS

COLUMNS - 10" SQUARE. PERMACAST COLUMN ON 16" X 16" BASE-WHITE

FOUNDATION - SCRATCH COAT FINISH GREY COLOR

DECKING - A.C.Q. PRESSURE TREATED WOOD
- WHITE SQUARE PVC RAILINGS & WHITE LATTICE BASE

LIGHTING - BLACK WALL MOUNT FIXTURES AT LOWER LEVEL
AND REAR SLIDING DOORS
- RECESSED LIGHTING AT FRONT DOOR PORTICO.



LANDSCAPE PLAN

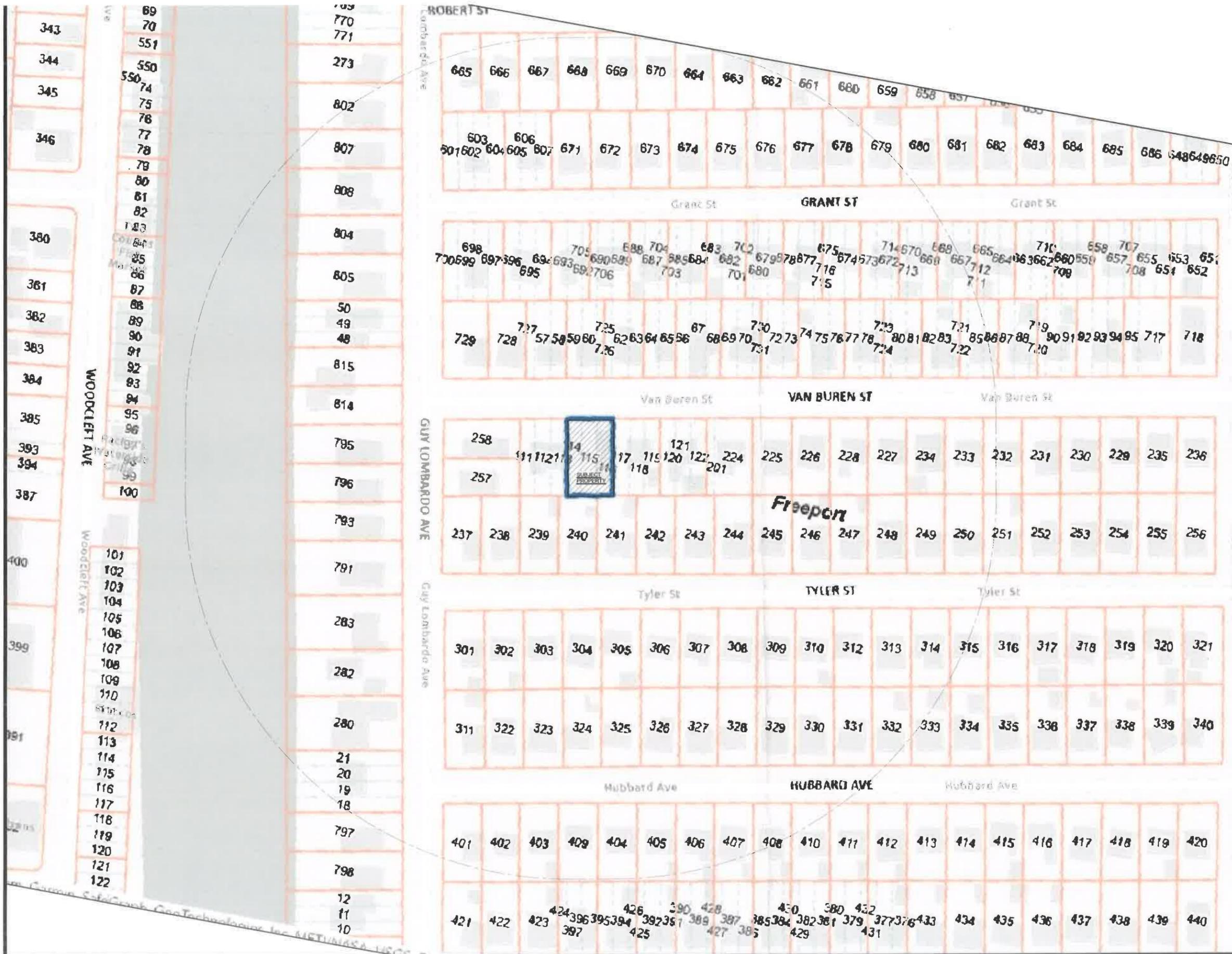
**FIORE
ARCHITECTURE**

208 N. WISCONSIN AVE, MASSAPEQUA, NY 11758
Phone / Fax (516) 586-5409 - FioreArch@optonline.net

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VILLAGE OF FREEPORT, NY

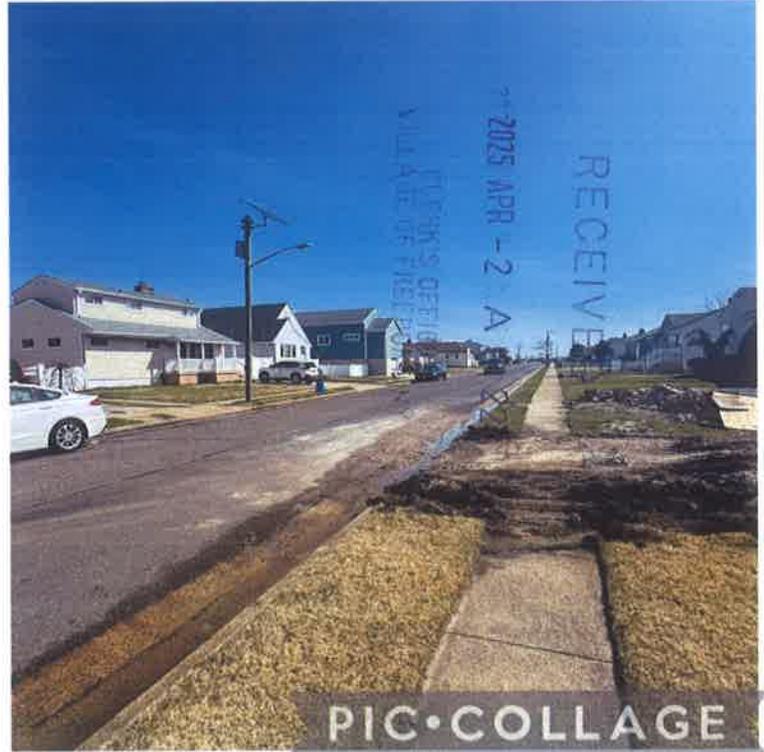


500' RADIUS MAP
SECTION - 62
BLOCK - 104
LOT - 114
ZONE - A
FLOOD ZONE - AE-8

21 VAN BUREN ST.			
PREPARED BY: FIORE ARCHITECTURE			
208 N. WISCONSIN AVE, MASSAPEQUA, NY 11758 Phone / Fax (516) 586-5409 - FioreArch@optonline.net			
DATE	4-20-22	DWG.	R-1
BF		1"=60'	21.74
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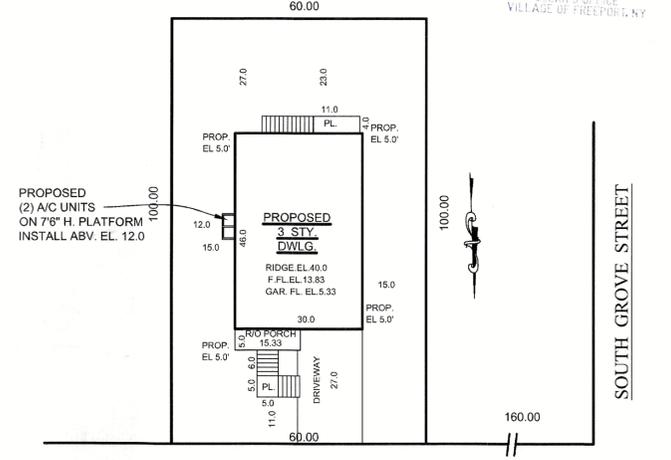
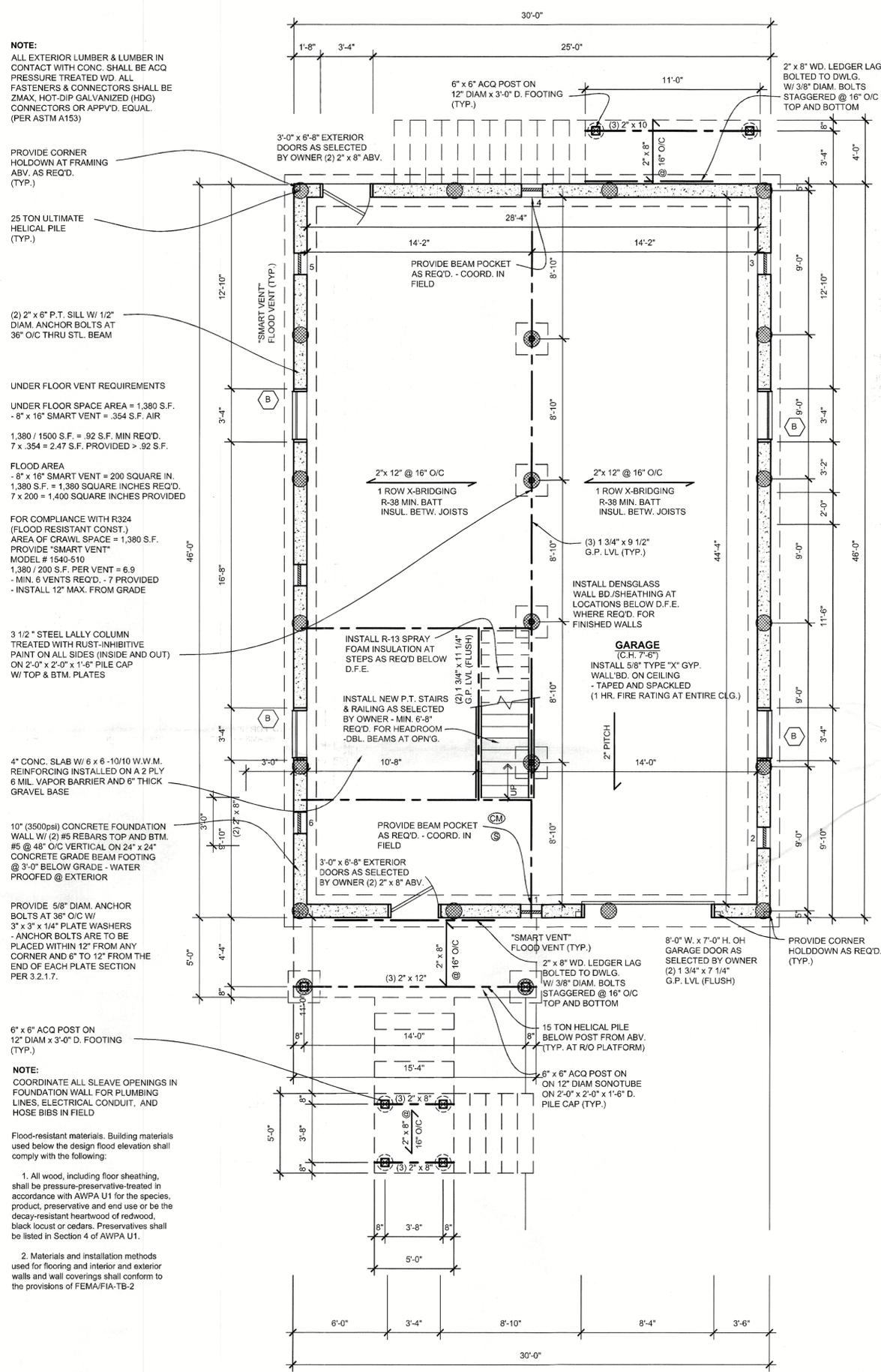


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- GENERAL NOTES:**
- THE ARCHITECT OF DESIGN HAS NOT BEEN RETAINED FOR ANY FIELD SUPERVISION OR INSPECTION; HIS RESPONSIBILITY IS LIMITED TO THE ACCURACY OF THE PLANS.
 - PRIOR TO THE START OF ANY CONSTRUCTION, CONTRACTOR IS REQUIRED TO CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE. CONTRACTOR SHALL REPORT ANY DEVIATIONS OR DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF ANY WORK.
 - THE PLANS ARE NOT TO BE SCALED, NOTED DIMENSIONS SHALL GOVERN.
 - ALL WORK SHALL COMPLY WITH THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND ALL OTHER APPLICABLE LAWS AND ORDINANCES NOT HEREIN NOTED.
 - WHERE REMOVAL OF STRUCTURAL SUPPORTS IS INDICATED, UPON REMOVAL OF THE SAME, TEMPORARY SHORING AND BRACING SHALL BE PROVIDED AND KEPT IN PLACE UNTIL PERMANENT SUPPORTS ARE SET.
 - THIS APPLICATION HAS BEEN FILED FOR STATED WORK ONLY. ANY REVISIONS OR CHANGES IN THE SCOPE OF WORK, SHALL REQUIRE AMENDED OR SEPARATE APPLICATIONS AND/OR FILINGS.
 - CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY PORTIONS OF THE PREMISES THAT ARE DAMAGED DURING THE COURSE OF HIS WORK.
 - UPON REMOVAL OF FORMER WALLS, CONTRACTOR SHALL REPAIR ALL WALLS, CEILINGS, AND FLOORS AS MAY BE REQUIRED WITH CONSTRUCTION TO MATCH EXISTING CONDITIONS.
 - WHERE RAFTERS AND JOISTS FRAME INTO OTHER WOOD BEAMS PROVIDE TECO U-GRIP 18 GA. GALVANIZED STEEL JOIST AND BEAM HANGERS.
 - EXTERIOR WALLS WILL BE FINISHED WITH SIDING (AS INDICATED ON PLAN) OVER 1/2" BUILDING PAPER ON 1/2" PLYWOOD SHEATHING, OVER 2" x 4" WOOD STUDS SPACED 16" O.C. WITH 1/2" GYPSUM WALL BOARD, TAPED AND SPACKLED.
 - INTERIOR PARTITIONS WILL BE 2" x 4" WOOD STUDS SPACED 16" O.C. WITH 1/2" GYPSUM WALLBOARD ON BOTH SIDES, TAPED AND SPACKLED.
 - MINIMUM INSULATION IN ALL EXTERIOR WALLS SHALL R-13. MINIMUM INSULATION IN ROOF CEILINGS SHALL BE R-19. UNLESS SPECIFIED ELSEWHERE.
 - WOOD MEMBERS IN CONTACT WITH MASONRY, OR CONCRETE SHALL BE PRESSURE TREATED WOOD IN ACCORDANCE WITH THE REQUIREMENTS OF A.W.P.A. STANDARDS C1 AND C2.
 - STEEL SHALL BE A.S.T.M. A-36.
 - ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH OWNER. ALL OUTLETS, SWITCHES, AND LIGHTING LOCATIONS. UNDER NO CONDITIONS SHALL OUTLETS, SWITCHES, AND LIGHTING BE LESS THAN AS REQUIRED BY CODE REQUIREMENTS.
 - WORK SHALL BE STAGED AND SCHEDULED IN SUCH A WAY AS TO CAUSE MINIMAL INTERFERENCE WITH NORMAL HOUSEHOLD FUNCTIONS.
 - AREAS UNDER CONSTRUCTION SHALL BE PROTECTED TO PREVENT DUST AND DIRT FROM ENTERING THE PORTION OF THE PREMISES NOT BEING ALTERED.
 - ITEMS DESIRED TO BE RETAINED BY THE OWNER SHALL BE REMOVED CAREFULLY, WITHOUT DAMAGE, AND SAFELY STORED IN A LOCATION AS DIRECTED BY THE OWNER.
 - SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 - IN EACH SLEEPING ROOM.
 - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
 - CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
 - WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN 15 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM.
 - ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.
- S INDICATES LOCATION OF SMOKE DETECTOR
CM INDICATES LOCATION OF CARBON MONOXIDE DETECTOR

- FOUNDATION NOTES:**
- FOUNDATIONS AND FOOTINGS SHALL BE INSTALLED IN CONFORMANCE WITH SECTION R 401 AND R 403 OF THE N.Y.S. RESIDENTIAL BUILDING CODE.
 - FOOTINGS SHALL BEAR DIRECTLY ON UNDISTURBED SOIL HAVING A MINIMUM SAFE BEARING CAPACITY OF 2 TONS / SQ. FT.
 - ALL FOOTINGS SHALL BE 3'-0" MINIMUM BELOW ADJACENT GRADE FOR FROST PROTECTION.
 - FOOTINGS TO PROTECT MINIMUM 6" FROM FOUNDATION WALLS AND HAVE A MINIMUM DEPTH OF 1'-0" - UNLESS OTHERWISE NOTED.
 - PLAIN CONCRETE FOUNDATION WALLS, FOOTINGS, AND SLABS ON GRADE SHALL BE f'c 3,500 p.s.i.
 - CONCRETE BLOCK FOUNDATION WALLS SHALL BE f'c 2,000 p.s.i. HOLLOW CONCRETE BLOCK (50% VOIDS MAX.) WITH VOIDS FILLED SOLID - USE TO BE APPROVED BY ARCHITECT.
 - MASONRY SHALL BE LAID UP WITH TYPE "N" MORTAR.
 - ANCHOR BOLTS - SEE PLAN 7" MIN. EMBEDMENT IN POURED CONC. OR 15" EMBEDMENT IN CONC. BLOCK.
- ELECTRICAL NOTES:**
- ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL DUPLEX WALL RECEPTABLE OUTLETS AND SWITCHED CEILING FIXTURE OUTLETS AS REQUIRED BY CODE. ALL ROOMS WITHOUT CEILING FIXTURES SHALL HAVE ONE SWITCHED DUPLEX RECEPTABLE OUTLET. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH OWNER. ALL OUTLET, SWITCHES, AND LIGHTING LOCATIONS.
 - PROVIDE WATERPROOF RECEPTABLES ON EXTERIOR WALL, LOCATIONS AS DETERMINED BY OWNER.
 - PROVIDE #14 GAUGE RX WIRE TO 15 AMP CIRCUIT BREAKER FOR ALL LIGHTING FIXTURES. 1500 WATT. PER CIRCUIT BREAKER MAX.
 - PROVIDE #12 GAUGE RX WIRE TO 20 AMP CIRCUIT BREAKER FOR ALL OUTLETS. 8 OUTLETS PER CIRCUIT BREAKER MAX.
 - ALL FIXTURES, SWITCHES, OUTLETS AND DEVICES ARE TO BE U.L. LISTED AND APPROVED
 - INSTALL 200 AMP SERVICE ENTRY W/ #4 GAUGE WATERMAIN GROUND ELECTRODE & 5/8" GROUNDING ROD 8'-0" BELOW GRADE



VAN BUREN STREET

SITE PLAN

SCALE: 1" = 20'

SECTION	- 62
BLOCK	- 104
LOT	- 114
ZONE	- A
FLOOD ZONE	- AE-8

ZONING ANALYSIS

LOT AREA	6,000.00 S.F.
MAX. BUILDING AREA	1,800.00 S.F. (30% - PRINCIPLE)
MAX. BUILDING AREA	2,400.00 S.F. (40% - ACCESSORY)

BUILDING AREA

DWELLING	1,380.00 S.F.
R/O PORCH	76.65 S.F.
REAR PLATFORM	44.00 S.F.
TOTAL BUILDING AREA	1,500.65 S.F. / 6,000.00 S.F. = 25.01%

FLOOR AREA

2ND FLOOR	1,380.00 S.F.
3RD FLOOR	1,380.00 S.F.
TOTAL	2,760.00 S.F. / 6,000.00 S.F. = 46%

SETBACKS:

FRONT YARD SETBACK :	11.0' (PROP. STEPS)
FRONT YARD SETBACK :	27.0' (PROP. DWELLING)
REAR YARD SETBACK :	23.0' > 20.0' REQ'D.
SIDE YARD :	15.0' > 5.0' REQ'D.
TOTAL SIDE YARD :	15.0' + 15.0' = 30.0' > 10.0' REQ'D.

ALL WORK TO COMPLY WITH THE 2020 BCNYS, 2020 NYSECC & 2015 WFCM. PRESCRIPTIVE DESIGN

FOUND. / CELLAR FLOOR PLAN

SCALE: 1/4" = 1'-0"

MARK	DATE	REVISION

PROPOSED DWELLING
21 VAN BUREN ST., FREEPORT

SITE PLAN, FOUNDATION / CELLAR FLOOR PLAN & GENERAL NOTES

FIORE ARCHITECTURE
208 N. WISCONSIN AVE, MASSAPEQUA, NY 11758
Phone / Fax (516) 586-5409 - FioreArch@optonline.net

DRAWING **A-1** OF 4
DATE 1-31-25

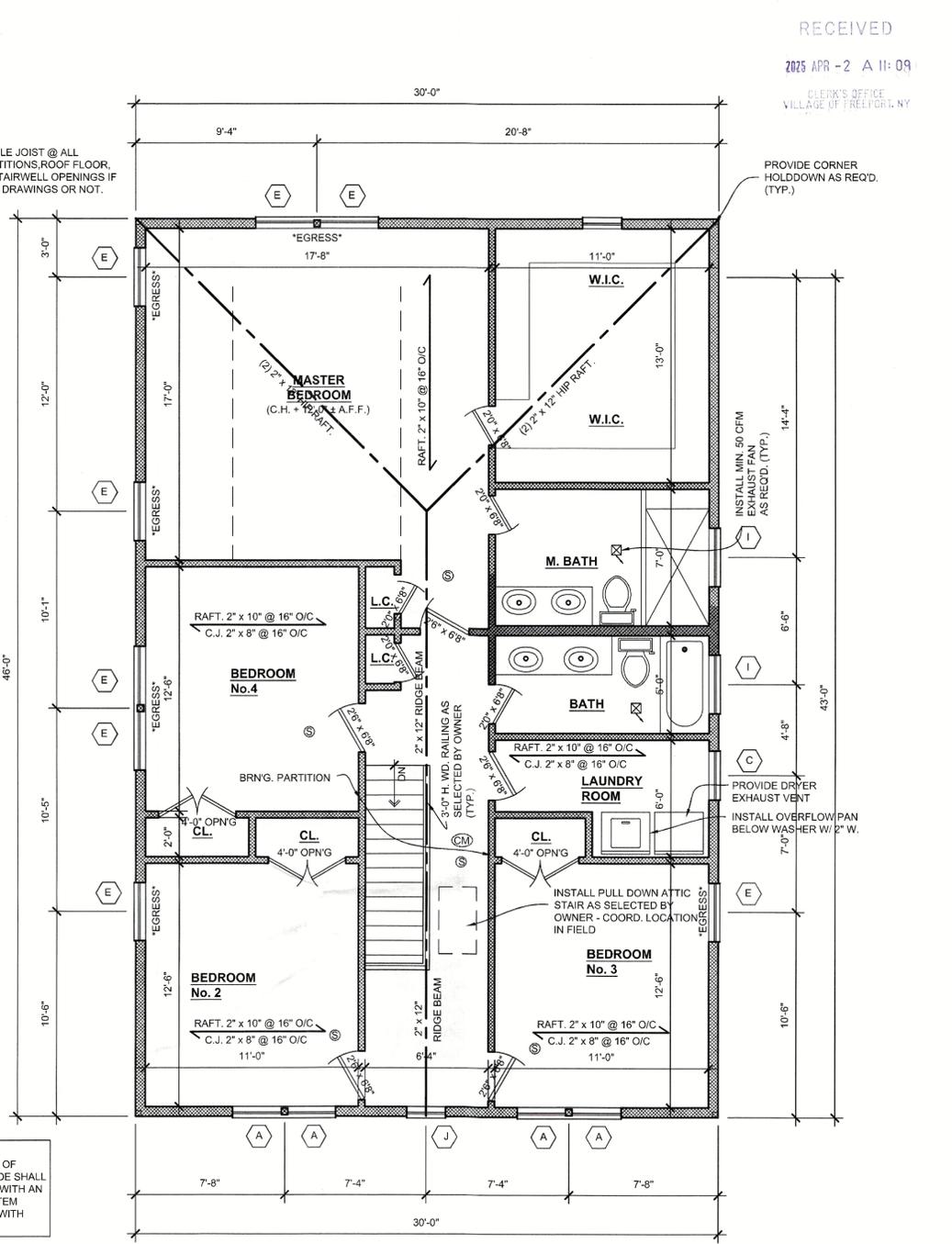
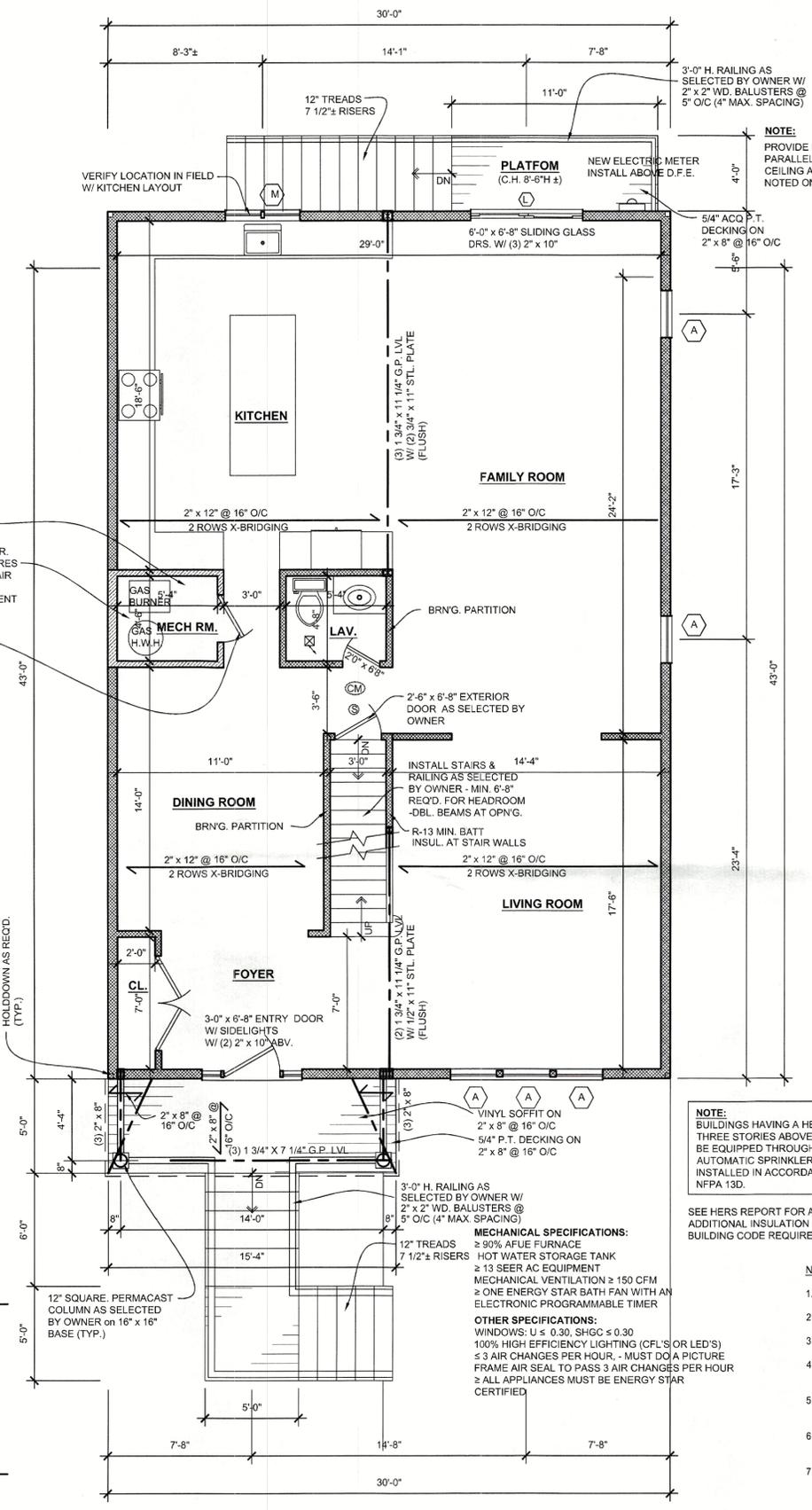
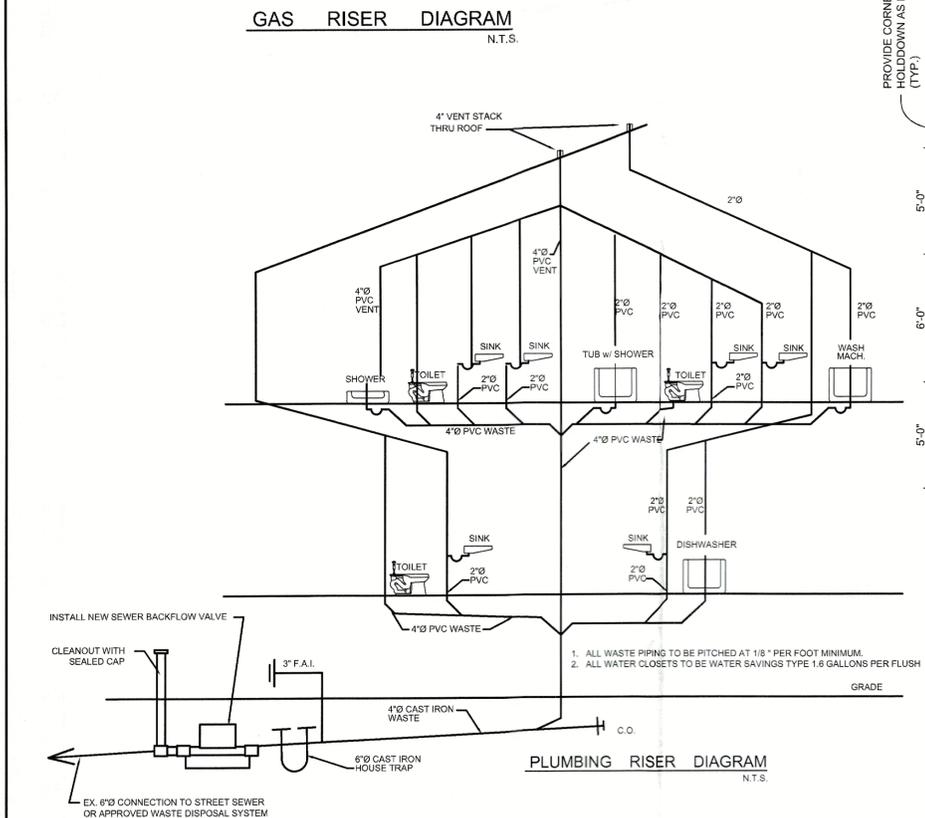
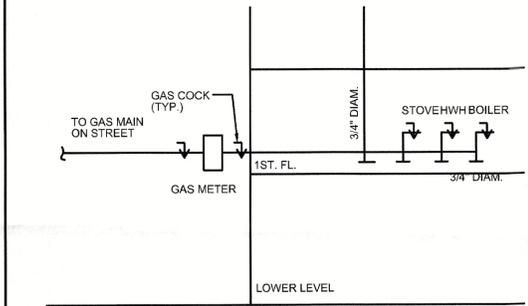
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WINDOW SCHEDULE								
SYMBOL	QUANTITY	MODEL # / SIZE	TYPE	ROUGH OPENING	S.F. GLASS	S.F. VENT	COMMENT	
(A)	9	TW2446	TILT-WASH D.H.	2'-6 1/2" x 4'-8 1/2"	7.65	4.38		
(B)	4	TW30310	TILT-WASH D.H.	3'-2 1/2" x 4'-0 1/2"	8.59	4.70		
(C)	1	TW24210	TILT-WASH D.H.	2'-6 1/2" x 3'-0 1/2"	4.46	2.58		
(E)	8	TW3046	TILT-WASH D.H.	3'-2 1/2" x 4'-8 1/2"	10.31	5.73	EGRESS	
(I)	2	G32	GLIDER	3'-0" x 1'-11"	2.5	1.7	VINYL	
(J)	1	TW20210	TILT-WASH D.H.	2'-2 1/2" x 3'-0 1/2"	3.68	2.18		
(L)	1	FWG6068	GLIDING PATIO DR.	6'-0" x 6'-8"	23.78	14.72		
(M)	1	C23	CASEMENT	4'-0 1/2" x 3'-0 1/2"	8.5	7.8	KITCHEN	
TOTAL	27	ALL WINDOWS TO HAVE (3) 2" x 10" HEADER UNLESS NOTES OTHERWISE						

TEMPERED GLASS IS REQUIRED IN THE FOLLOWING LOCATIONS: GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE. (R308.4)

WALL LEGEND

- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- NEW PARTITION - 2" x 4" WD. STUDS AT 16" O/C WITH ONE LAYER OF 1/2" GYP. WALL BD. ON BOTH SIDES TAPED AND SPACKLED
- NEW PARTITION - 2" x 4" WD. STUDS AT 16" O/C WITH ONE LAYER OF 5/8" TYPE "X" GYP. WALL BD. ON BOTH SIDES - TAPED AND SPACKLED (1 HR. FIRE RATING)
- 4" x 4" WOOD POST
- POINT LOAD FROM POST ABOVE



FIRST FLOOR PLAN

SECOND FLOOR PLAN

NOTE: BUILDINGS HAVING A HEIGHT OF THREE STORIES ABOVE GRADE SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH NFPA 13D.

SEE HERS REPORT FOR ALL ADDITIONAL INSULATION AND 2020 IECC BUILDING CODE REQUIREMENTS

- NOTES -**
- MINIMUM HEADER SIZE TO BE (2) 2" x 10" UNLESS OTHERWISE NOTED.
 - WINDOWS SHALL COMPLY W/ SECTION R310 OF THE N.Y.S. BUILDING CONST. CODE WHERE REQUIRED.
 - CONTRACTOR SHALL COORDINATE HEATING ZONES & THERMOSTAT LOCATIONS W/ OWNER.
 - CONTRACTOR SHALL FURNISH AND INSTALL NEW CENTRAL A/C UNIT - COORDINATE ALL SUPPLY AND RETURN DIFFUSER LOCATIONS IN FIELD W/ OWNER.
 - CONTRACTOR SHALL INSTALL ATTIC ACCESS STAIRS, STAIRS TO BE INSTALLED W/ DOUBLE BMS. AT OPENING - COORDINATE LOCATION W/ OWNER.
 - GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAMROOMS, BATHTUBS AND SHOWERS SHALL COMPLY WITH SECTION R308.4 OF THE N.Y.S. RESIDENTIAL CODE WHERE REQUIRED.
 - CONTRACTOR SHALL COORDINATE ALL ELECTRICAL RECEPTABLE LOCATIONS IN FIELD W/ OWNER.

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VILLAGE OF TREFBURY, NY

PROPOSED DWELLING
21 VAN BUREN ST., FREEPORT

FIRST & SECOND FLOOR PLAN

FIORE ARCHITECTURE
208 N. WISCONSIN AVE, MASSAPEQUA, NY 11758
Phone / Fax (516) 586-5409 - FioreArch@optonline.net

DRAWING
A-2
OF 4

DATE 1-31-25

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HELICAL PILE SPECIFICATIONS AND NOTES:

- CONTRACTOR TO PROVIDE ALL REQUIRED SUPERVISION, LABOR, MATERIALS, TOOLS AND EQUIPMENT FOR INSTALLATION OF HELICAL PILE ANCHOR PIERS AS INDICATED ON THE DRAWINGS. RELATED WORK INCLUDES EXCAVATION, BACKFILLING, TEMPORARY PROTECTION AND SHORING AND REINFORCED CONCRETE WORK.
- ALL PIER INSTALLATION OPERATIONS SHALL BE SUPERVISED BY A LICENSED ENGINEER PROVIDING CONTROLLED INSPECTION. THE INSPECTOR SHALL KEEP A COMPLETE RECORD OF PIER INSTALLATION OPERATIONS AND PIER INSTALLATION RECORD SHALL BE FILED WITH THE APPROPRIATE BUILDING DEPARTMENT. NO CONCRETE FOR PILE CAPS SHALL BE PLACED UNTIL PIER INSTALLATION RECORD IS APPROVED BY THE BUILDING DEPARTMENT.
- THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS PREPARED, SIGNED AND SEALED BY A NY PROFESSIONAL ENGINEER FOR ALL PIER WORK.
- EACH HELICAL PIER SHALL CONSIST OF 2 7/8" SQUARE GALVANIZED STEEL SHAFT ANCHOR HELICAL LEAD AND EXTENSION SECTIONS AS MANUFACTURED BY CHANCE CO. AND SUPPLIED BY EXCLUSIVE DISTRIBUTOR, PREMIUM TECHNICAL SERVICES, WESTBURY, NY.
- THE FOUNDATION LEAD SECTION CONSISTS OF 2 7/8" SQUARE SHAFT WITH 3 HELICAL FORMED PLATES WELDED TO IT. THE SHAFT SHALL BE SOLID STEEL WITH ASTM 153 HOT DIPPED GALVANIZED COATING. THE HELIX SIZES SHALL BE 10" / 12" / 14".
- ALL FOUNDATION ANCHORS SHALL HAVE A MINIMUM TOTAL INSTALLATION DEPTH OF 20' BELOW GRADE AND A MINIMUM INSTALLATION TORQUE OF 5,000 FT. LBS. (25 TON ULTIMATE)
- ALL BOLTS SHALL BE SAE J429, GRADE 5. ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS IN ACCORDANCE WITH ASW D1.1. ALL MATERIAL SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A153. A TORQUE INDICATOR BY CHANCE/PTS SHALL BE USED FOR ALL INSTALLATIONS.

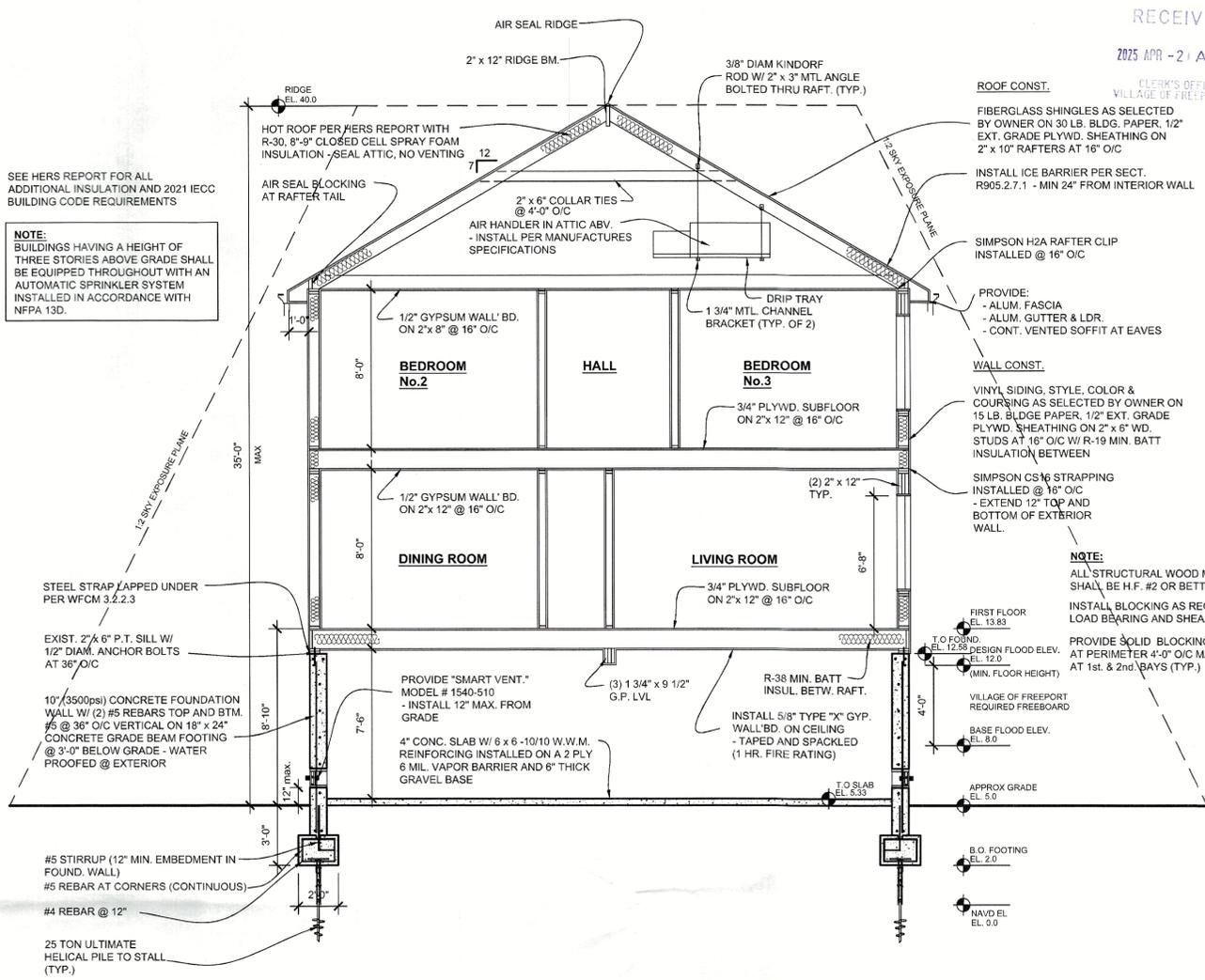
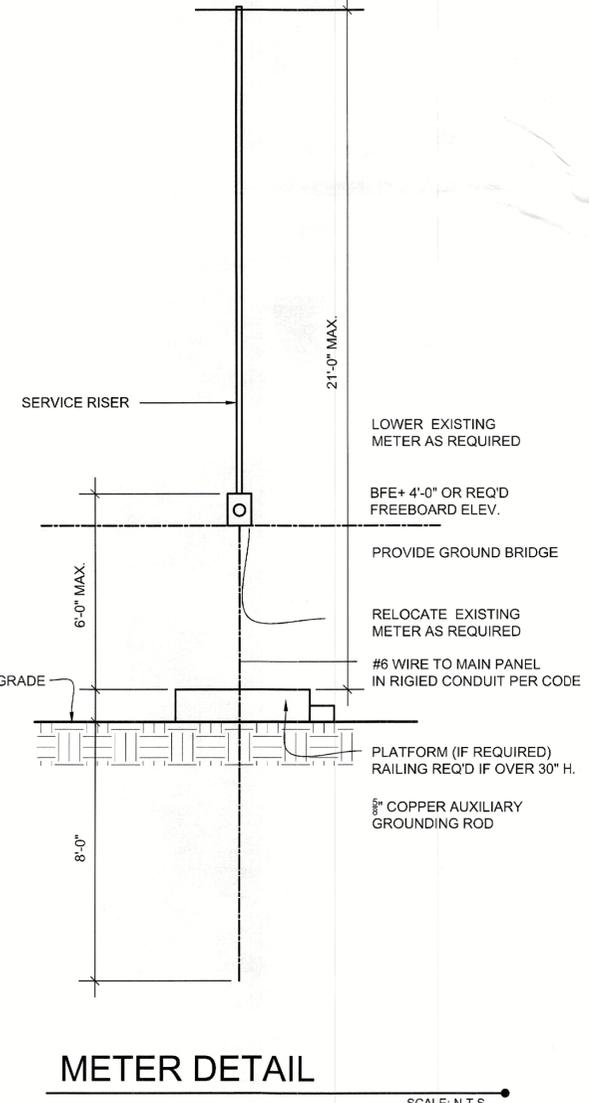
HVAC NOTES:

R403.4 Mechanical System Piping Insulation (Mandatory)
Mechanical system piping capable of carrying fluids above 105°F (41°C) or below 55°F (13°C) shall be insulated to a minimum of R-3.
R403.4.1 Protection of Piping Insulation
Piping insulation exposed to weather shall be protected from damage, including that caused by sunlight, moisture, equipment maintenance and wind, and shall provide shielding from solar radiation that can cause degradation of the material. Adhesive tape shall not be permitted.
R403.5 Service Hot Water Systems
Energy conservation measures for service hot water systems shall be in accordance with Sections R403.5.1 through R403.5.4.
R403.5.1 Heated Water Circulation and Temperature Maintenance Systems (Mandatory)
Heated water circulation systems shall be in accordance with Section R403.5.1.1. Heat trace temperature maintenance systems shall be in accordance with Section R403.5.1.2. Automatic controls, temperature sensors and pumps shall be accessible. Manual controls shall be readily accessible.
R403.5.1.1 Circulation Systems
Heated water circulation systems shall be provided with a circulation pump. The system return pipe shall be a dedicated return pipe or a cold water supply pipe. Gravity and thermo-siphon circulation systems shall be prohibited. Controls for circulating hot water system pumps shall start the pump based on the identification of a demand for hot water within the occupancy. The controls shall automatically turn off the pump when the water in the circulation loop is at the desired temperature and when there is no demand for hot water.
R403.5.1.2 Heat Trace Systems
Electric heat trace systems shall comply with IEEE 515.1 or UL 515. Controls for such systems shall automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping in accordance with the times when heated water is used in the occupancy.
R403.5.2 Demand Recirculation Systems
A water distribution system having one or more recirculation pumps that pump water from a heated water supply pipe back to the heated water source through a cold water supply pipe shall be a demand recirculation water system. Pumps shall have controls that comply with both of the following:
1. The control shall start the pump upon receiving a signal from the action of a user of a fixture or appliance, sensing the presence of a user of a fixture or sensing the flow of hot or tempered water to a fixture fitting or appliance.
2. The control shall limit the temperature of the water entering the cold water piping to 104°F (40°C).
R403.5.3 Hot Water Pipe Insulation (Prescriptive)
Insulation for hot water pipe with a minimum thermal resistance (R-value) of R-3 shall be applied to the following:
1. Piping 3/4 inch (19.1 mm) and larger in nominal diameter.
2. Piping serving more than one dwelling unit.
3. Piping located outside the conditioned space.
4. Piping from the water heater to a distribution manifold.
5. Piping located under a floor slab.
6. Buried in piping.
7. Supply and return piping in recirculation systems other than demand recirculation systems.

LIGHTING NOTES:

R404.1 Lighting Equipment (Mandatory)
Not less than 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or not less than 75 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps.
Exception: Low-voltage lighting.

PERISCOPE MAST WITH DROP LOOP

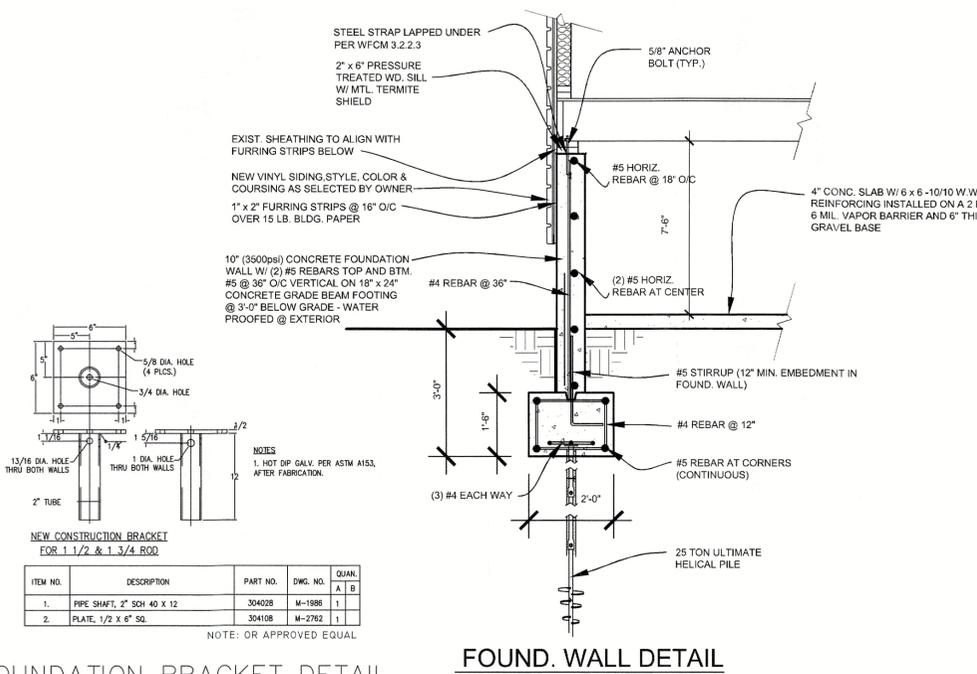


BLDG. SECTION A-A

SCALE: 1/4" = 1'-0"

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop down stair or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door jambs and framing and skylights and framing shall be sealed.	
Rim joists	Rim joists shall include the air barrier.	Rim Joists shall be insulated.
Floors (including above-garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of the subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.
Crawl Space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided, instead of floor insulation, insulation shall be permanently attached to the crawlspace walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Narrow cavities		
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air sealed boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Concealed sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	

a. In addition, inspection of log walls shall be in accordance with the provisions of ICC-400.



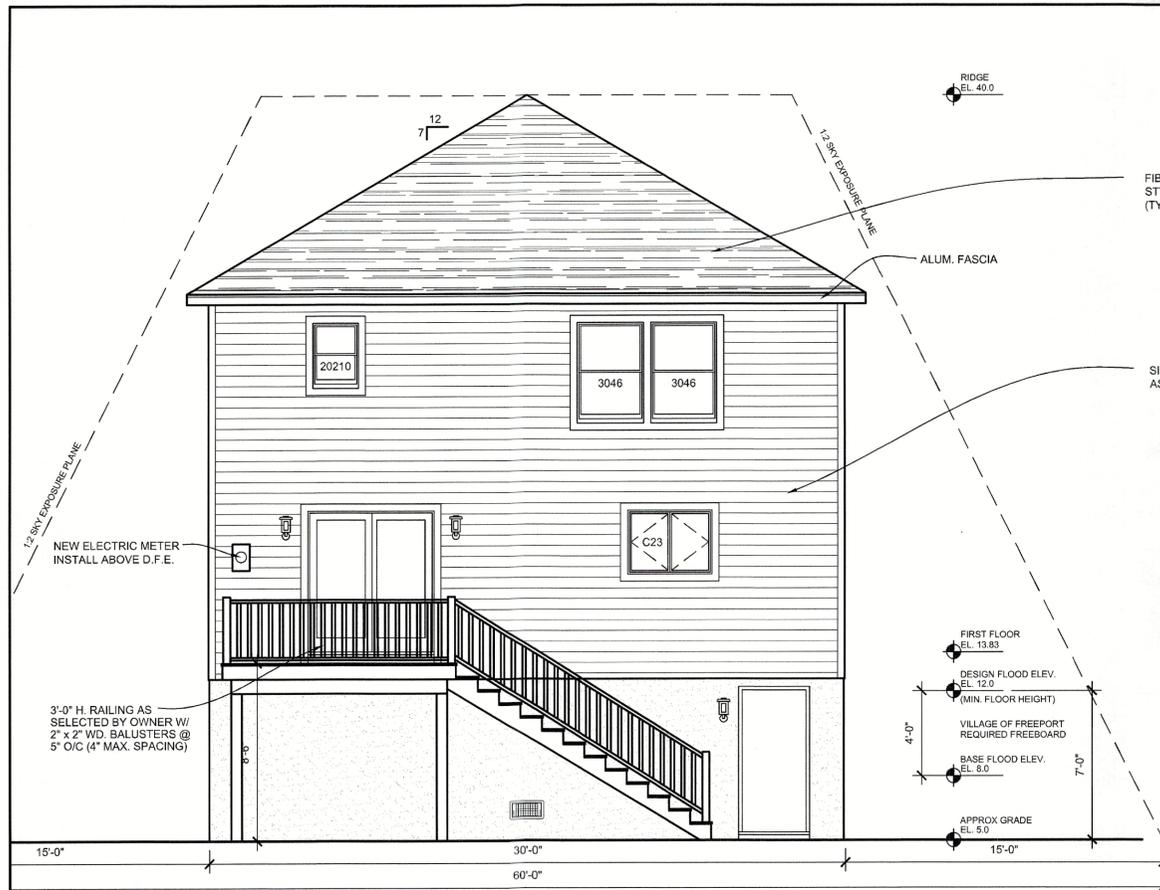
FOUNDATION BRACKET DETAIL

SCALE: N.T.S.

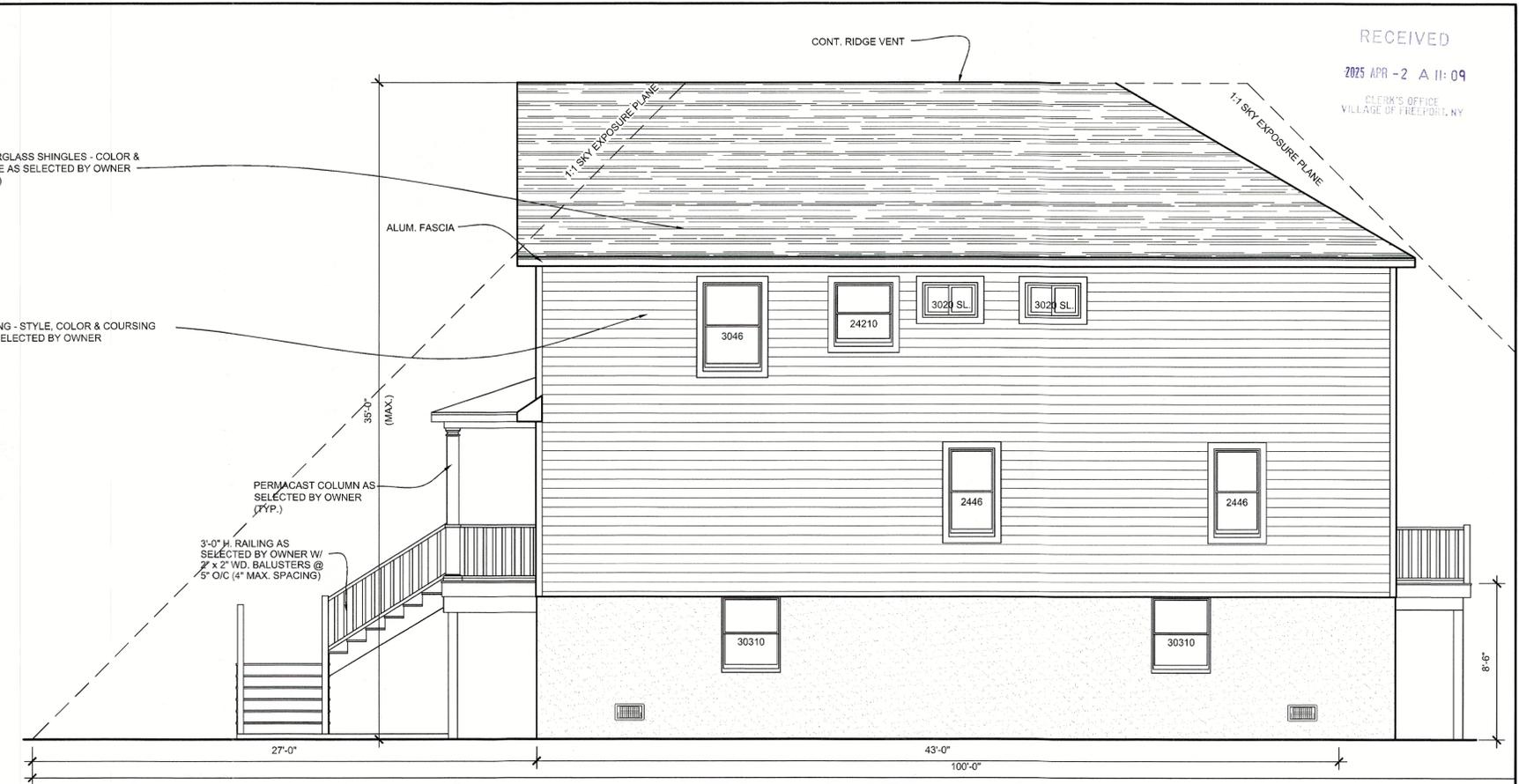
ITEM NO.	DESCRIPTION	PART NO.	DWG. NO.	QUAN.
1.	PIPE SHAFT, 2" SCH 40 X 12	30408	M-1988	1
2.	PLATE, 1/2" X 6" SQ.	30408	M-2762	1

NOTE: OR APPROVED EQUAL

MARK	DATE	REVISION
PROPOSED DWELLING 21 VAN BUREN ST., FREEPORT		
BLDG. SECTION & DETAILS		
FIORE ARCHITECTURE 208 N. WISCONSIN AVE, MASSAPEQUA, NY 11758 Phone / Fax (516) 586-5409 - FioreArch@optonline.net		
DRAWING A-3 OF 4 DATE 1-31-25		
BF	NOTED	25.07
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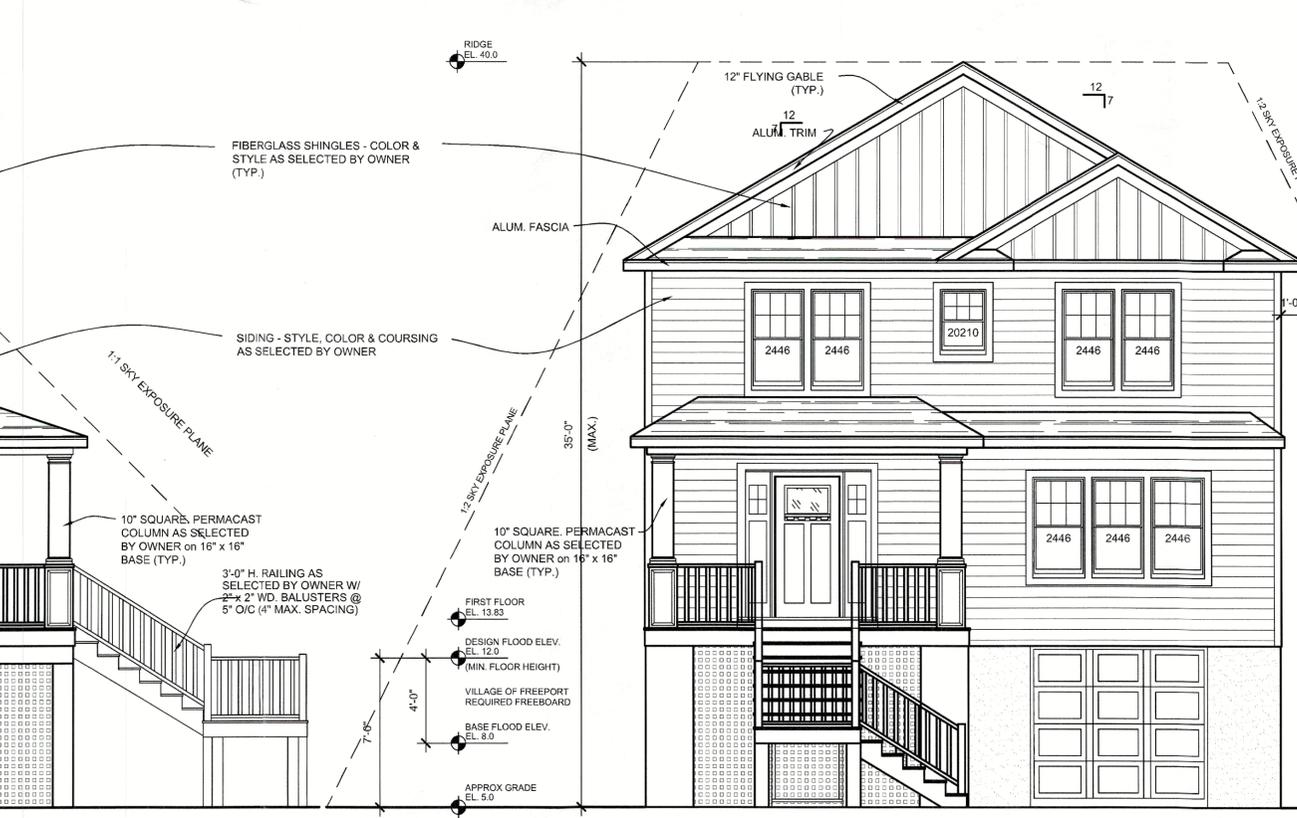
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

- ROOFING** - TAMKO, HERITAGE
COLOR - RUSTIC BLACK
- SIDING** - GENTEK
COLOR - HARBOR BLUE DUTCHLAP
BOARD AND BATTEN IN PEAKS
- WINDOWS** - DOUBLE HUNG - COLOR - WHITE
WITH 4" TRIM AND GRIDS AT FRONT ONLY
- DOORS** - FRONT DOOR - FIBERGLASS / COMPOSITE WOOD FINISH
LOWER LEVEL DOORS - WHITE METAL FIRE DOOR
WITH RAISED PANELS
REAR SLIDING DOOR - WHITE VINYL, NO GRIDS
GARAGE DOOR - paneled batton style in white
- TRIM** - WHITE AT FASCIA
WHITE 4" TRIM AT WINDOWS
WHITE CORNER POSTS
- COLUMNS** - 8" SQUARE FIBERGLASS - WHITE
- FOUNDATION** - TO BE PARGED IN GREY
- DECKING** - A.C.Q. PRESSURE TREATED WOOD- FRONT AND REAR
- WHITE SQUARE PVC RAILINGS & WHITE LATTICE BASE
- LIGHTING** - BLACK WALL MOUNT FIXTURES AT LOWER LEVEL
AND REAR SLIDING DOORS
- RECESSED LIGHTING AT FRONT DOOR PORTICO.

MARK	DATE	REVISION
PROPOSED DWELLING 21 VAN BUREN ST., FREEPORT		
BLDG. ELEVATIONS		
FIORE ARCHITECTURE 208 N. WISCONSIN AVE, MASSAPEQUA, NY 11758 Phone / Fax (516) 586-5409 - FioreArch@optonline.net		
DRAWING		A-4
OF 4		DATE 1-31-25
BF	NOTED	25.07
DRAWN	CHECKED	SCALE FILE

RECEIVED
2025 APR -2 A 11:09
1ST STANDOFF SATISFIES OFFICE REQUIREMENTS
OFFICE OF THE CLERK OF THE DISTRICT COURT
NEW YORK COUNTY

W.F.C.M. TABLE 3.1 NAILING SCHEDULE

Joint Description	Number of Common Nails	Number of Box Nails	Nail Spacing
ROOF FRAMING			
Rafter to Top Plate (Toe-nailed)	3-8d	3-10d	per rafter
Ceiling Joist to Top Plate (Toe-nailed)	3-8d	3-10d	per joist
Ceiling Joist to Parallel Rafter (Face-nailed)	3-16d	3-40d	each lap
Ceiling Joist Laps Over Partitions (Face-nailed)	3-16d	3-40d	each lap
Collar Tie to Rafter (Face-nailed)	1-8d	1-10d	per tie (edge strap)
Blocking to Rafter (Toe-nailed)	2-8d	2-10d	each end
Rim Board to Rafter (End-nailed)	2-16d	3-16d	each end
WALL FRAMING			
Top Plate to Top Plate (Face-nailed)	2-16d	2-16d	per foot
Top Plates at Intersections (Face-nailed)	4-16d	4-16d	each side
Stud to Stud (Face-nailed)	2-16d	2-16d	24" o.c.
Header to Header (Face-nailed)	1-6d	1-6d	16" o.c. along edges
Top or Bottom Plate to Stud (End-nailed)	2-16d	2-40d	per stud
Bottom Plate to Floor joist, Bandjoist, Endjoist or Blocking (Face-nailed)	2-16d	2-16d	per foot
FLOOR FRAMING			
Joist to Sill, Top Plate or Girder (Toe-nailed)	4-8d	4-10d	perjoist
Bridging to Joist (Toe-nailed)	2-8d	2-10d	each end
Blocking to Sill or Top Plate (Toe-nailed)	2-8d	2-10d	each block
Ledger Strip to Beam (Face-nailed)	3-16d	4-16d	each joint
Joist on Ledger to Beam (Toe-nailed)	3-8d	3-10d	perjoist
Band Joist to Joist (End-nailed)	3-16d	4-16d	perjoist
Band Joist to Sill or Top Plate (Toe-nailed)	2-16d	3-16d	per foot
ROOF SHEATHING			
Structural Panels	8d	10d	(see Table 3.10)
Diagonal Board Sheathing 1"x6" or 1"x8" 1"x10" or wider	2-8d 3-8d	2-10d 3-10d	per support
CeILING SHEATHING			
Gypsum Wallboard	5d coolers	5d coolers	7" edge/ 10" field
WALL SHEATHING			
Structural Panels	8d	10d	6" edge/ 12" field
Fiberboard Panels 7/16" 25/32"	6d ³ 8d	-	3" edge/ 6" field 3" edge/ 6" field
Gypsum Wallboard	5d coolers	5d coolers	7" edge/ 10" field
Hardboard	8d	8d	6" edge/ 12" field
Particleboard Panels	8d	8d	(see manufacturer)
Diagonal Board Sheathing 1"x6" or 1"x8" 1"x10" or wider	2-8d 3-8d	2-10d 3-10d	per support
ROOF SHEATHING			
Structural Panels 1" or less greater than 1"	8d 10d	10d 16d	6" edge/ 12" field 6" edge/ 6" field
Diagonal Board Sheathing 1"x6" or 1"x8" 1"x10" or wider	2-8d 3-8d	2-10d 3-10d	per support

WALL CONNECTIONS AT LOADBEARING WALLS

STUD SPACING (in.)	ROOF FRAMING SPAN (ft.)						LATERAL NUMBER OF 16d COMMON NAILS (END-NAILED)
	12	16	20	24	28	32	
12" O/C	67	92	117	142	167	192	2
16" O/C	90	123	156	189	223	256	2
24" O/C	135	184	234	284	334	384	2

WALL CONNECTIONS FOR ENDWALL ASSEMBLIES

STUD SPACING	UPLIFT, (LB.)	WALL HEIGHT (ft.)						
		8	10	12	14	16	18	20
12" O/C	127	2	2	2	2	2	2	2
16" O/C	169	2	2	2	2	2	2	2
24" O/C	253	2	2	2	3	3	3	4

**TABLE R301.5
MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
(IN LBS. PER SQ. FT.)**

USE	LIVE LOADS
ATTICS WITH LIMITED STORAGE	20
ATTICS WITHOUT STORAGE	10
DECKS	40
EXTERIOR BALCONIES	60
FIRE ESCAPES	40
GUARDRAILS AND HANDRAILS	200
GUARDRAILS IN-FILL COMPONENTS	50
PASSENGER VEHICLE GARAGES	50
ROOMS OTHER THAN SLEEPING	40
SLEEPING ROOMS	30
STAIRS	40

**TABLE R301.6
MINIMUM ROOF LIVE LOADS IN POUNDS-FORCE
PER SQUARE FOOT OF HORIZONTAL PROJECTION**

ROOF SLOPE	TRIBUTARY LOADED AREA IN SQUARE FEET FOR ANY STRUCTURAL MEMBER		
	0 TO 200	201 TO 600	OVER 600
FLAT OR RISE LESS THAN 4 INCHES PER FOOT (1:3)	20	16	12
RISE 4 INCHES PER FOOT (1:3) TO LESS THAN 12 INCHES PER FOOT (1:1)	16	14	12
RISE 12 INCHES PER FOOT (1:1) AND GREATER	12	12	12

**TABLE R301.7
ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS**

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
Rafters having slopes greater than 3/12 with no finished ceiling attached to rafters	L/180
Interior walls and partitions	H/180
Floors and plastered ceilings	L/360
All other structural members	L/240
Exterior walls with plaster or stucco finish	H/360
Exterior walls—wind loads with flexible finishes	L/240
Exterior walls—wind loads with brittle finishes	L/120

R301.2.1.2 Internal pressure. Windows in buildings located in windborne debris regions shall have glazed openings protected from windborne debris or the building shall be designed as a partially enclosed building in accordance with the Building Code of New York State. Glazed opening protection for windborne debris shall meet the requirements of the Large Missile Test of ASTM E 1996 and of ASTM E 1886 referenced therein.
Exception: Wood structural panels with a minimum thickness of 7/16 inch (11.1 mm) and a maximum span of 8 feet (2438 mm) shall be permitted for opening protection in one- and two-story buildings. Panels shall be pre-cut to cover the glazed openings with attachment hardware provided. Attachments shall be provided in accordance with Table R301.2.1.2 or shall be designed to resist the components and cladding loads determined in accordance with the provisions of the Building Code of New York State.

TABLE R301.2.1.2 WINDBORNE DEBRIS PROTECTION FASTENING SCHEDULE FOR WOOD STRUCTURAL PANELS

FASTENER TYPE	FASTENER SPACING		
	Panel span 4 foot	4 foot span 8 foot	8 foot span 8 foot
21/2" #6 Wood screws	16"	12"	9"
21/2" #8 Wood screws	16"	16"	12"

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound = 0.454 kg, 1 mile per hour = 1.609 km/h.
a. This table is based on 130 mph wind speeds and a 33-foot mean roof height.
b. Fasteners shall be installed at opposing ends of the wood structural panel.
c. Where screws are attached to masonry or stucco, they shall be attached utilizing vibration-resistant anchors having a minimum ultimate withdrawal capacity of 490 pounds.

SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS
R310.1 Emergency escape and rescue required. Basements with habitable space and every sleeping room shall have at least one operable emergency and rescue opening. Such opening shall open directly into a public street, public alley, yard or court. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room, but shall not be required in adjoining areas of the basement. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.
R310.1.1 Minimum opening area. All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m²). Exception: Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m²).
R310.1.2 Minimum opening height. The minimum net clear opening height shall be 24 inches (610 mm).
R310.1.3 Minimum opening width. The minimum net clear opening width shall be 20 inches (508 mm).
R310.1.4 Operational constraints. Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.

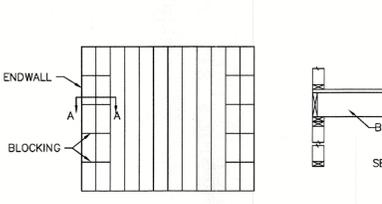
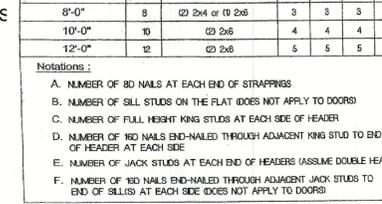
TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN			SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			Winter Design Temp.	Ice barrier underlayment required	Flood Hazard	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	SPEED (mph)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION		Weathering	frost line depth	Termites					
30 PSF	130	NO	NO	C	Severe - S	3'-0"	M - H	15	YES	07/79	>1500	55.4

NAILING & STRAPPING AT EXTERIOR WINDOW / DOOR HEADERS
(REQUIRED FOR ALL NEW CONSTRUCTION AND/OR NEW ADDITIONS)

NAILING SCHEDULE 'B': (WOOD FRAME CONSTRUCTION MANUAL)
ROUGH OPENING REQUIREMENTS FOR WINDOW OPENINGS

Rough Opening	Notation					
	A	B	C	D	E	F
2'-0"	2	(2) 2x4	1	1	1	1
4'-0"	4	(2) 2x4	2	2	2	2
6'-0"	6	(2) 2x4 or (2) 2x6	3	3	3	3
8'-0"	8	(2) 2x4 or (2) 2x6	3	3	3	3
10'-0"	10	(2) 2x6	4	4	4	4
12'-0"	12	(2) 2x6	5	5	5	5



FLOOR BRACING ENDWALL
PROVIDE SOLID BLOCKING 4" O.C. MAX. AT 1st & 2nd BAYS

** ALL STRAPPING TO BE 1 1/4" X 20 GAUGE STL. **
" SIMPSON " EQUIVALENT - CS20 (COILED STRAP)

AT RAFTER TO RIDGE CONNECTION.
FOR STRAP - 3 8d COMMON NAILS @ EA. END OF STRAP
FOR NOTED COLLAR / CLG. TIE - 3 10d COMMON NAILS @ EA.

AT RAFTER TO TOP PLATE TO STUD CONNECTION.
FOR STRAP - 3 8d COMMON NAILS @ EA. END OF STRAP
FOR TOENAILING - 3 8d COMMON NAILS.
FOR C.J. TO R.R. - 3 16d COMMON NAILS (FOR 7 PITCH)

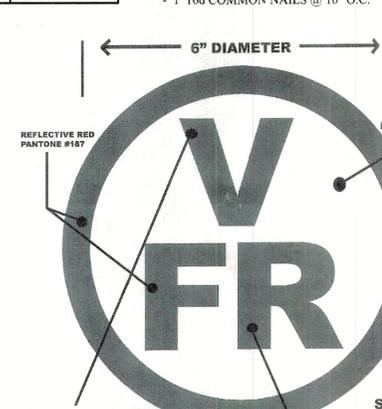
FOR C OF EA. PLATE TO PLATFORM ABOVE - 1 16d COMMON NAILS @ 16" O.C.
AT STUD TO FLOOR ASSEMBLY TO STUD CONNECTION
(ONLY APPLICABLE FOR TWO STORY CONFIGURATIONS)

FOR STRAP - 3 8d COMMON NAILS @ EA. END OF STRAP
FOR C OF EA. PLATE TO PLATFORM ABOVE - 1 @ C OF EA. PLATE TO PLATFORM BELOW - 1 16d COMMON NAILS @ 16" O.C.

AT STUD TO FLOOR ASSEMBLY TO SILL PLATE (S) CONNECTION.
CRAWLSPACE OR BASEMENT APPLICATION
FOR STRAP - 3 8d COMMON NAILS @ EA. END OF STRAP
FOR C OF EA. PLATE TO PLATFORM PLATFORM BELOW - 1 16d COMMON NAILS @ 16" O.C.

AT STUD TO FLOOR ASSEMBLY TO SILL PLATE (S) CONNECTION.
SLAB ON GRADE APPLICATION
FOR STRAP - 3 8d COMMON NAILS @ EA. END OF STRAP
FOR C OF EA. PLATE TO PLATFORM BELOW - 1 16d COMMON NAILS @ 16" O.C.

1 1/2" X 20 GAGE STRAPPING IS CONSIDERED PRESCRIPTIVE. ALL NAILING MUST BE IN ACCORDANCE WITH TABLES 3.4B AND 3.6A FROM THE 2015 WFCM. ALL PREFORMED CONNECTIONS ARE TO BE NAILED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS



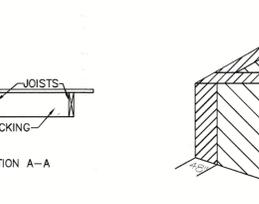
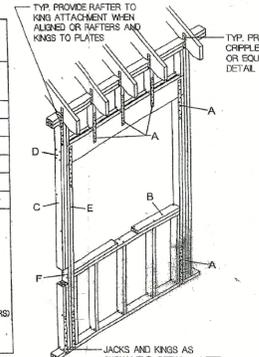
The construction type designation shall be "VFR" to indicate the construction classification of the structure under section 602 of the BCNYS

DESIGNATION FOR STRUCTURAL COMPONENTS THAT ARE OF TRUSS TYPE CONSTRUCTION

4"FR	FLOOR FRAMING, INCLUDING GIRDERS AND BEAMS
4"RF	ROOF FRAMING
4"FR	FLOOR AND ROOF FRAMING

Each new residential structure and each addition to or rehabilitation of an existing residential structure that utilizes truss type construction, pre-engineered wood construction and/or timber construction shall be identified by a sign/symbol in accordance with the provisions of this part. The sign/symbol required by this Part shall be affixed to the electric box

NOTE:
ALL STRAPPING TO BE 1 1/4" X 20 GAUGE STEEL OR SIMPSON EQUIVALENT - CS20 (COILED STRAP)
ALL STRAPPING SHALL BE INSTALLED PRIOR TO SHEATHING



ANCHOR BOLT AND BEARING PLATE DETAIL

PROVIDE 1/2" ANCHOR BOLTS AT 30" O.C. W/ 3" X 3" X 1/4" PLATE WASHERS - ANCHOR BOLTS ARE TO BE PLACED WITHIN 12" FROM ANY CORNER AND 6" TO 12" FROM THE END OF EACH PLATE SECTION PER 3.2.1.7.

FOUNDATION WALL
WALL STUD
BOTTOM PLATE
ANCHOR BOLT (SEE 3.2.1.7 & 3.2.2.3)
FLOOR JOIST
SILL PLATE
STEEL STRAP LAPPED UNDER PER WFCM 3.2.2.3

ADJUSTABLE HANGER
SIMPSON STRONG-TIE (LSSU28)

RAFTER TO DOUBLE TOP PLATE
SIMPSON STRONG-TIE (H2A) N.T.S.
H2A INSTALL @ 16" O.C.

RIDGE STRAP TIE
SIMPSON STRONG-TIE (LSTA) N.T.S.
LSTA STRAP TIE INSTALL @ 16" O.C.

HIP CORNER PLATE
SIMPSON STRONG-TIE (HCP) N.T.S.
HCP2- 2X MEMBER SIZE
HCP4- 4X MEMBER SIZE

FACE MOUNT HANGER
SIMPSON STRONG-TIE (LUS) N.T.S.
LUS26, LUS28, LUS26-2, LUS28-2, LUS210, LUS210-2

POST TO GIRDER
SIMPSON STRONG-TIE Model CC

JOIST TO JOIST
SIMPSON STRONG-TIE (LTB40) N.T.S.
INSTALL AS SHOWN

CORNER HOLDDOWN
SIMPSON STRONG-TIE (HD15) SCALE N.T.S.

CORNER STUD HOLDDOWN DETAIL - 4 STUDS
SIMPSON STRONG-TIE (HD15) SCALE N.T.S.

STAIRWAY DETAIL
SCALE: N.T.S.

RAILING DETAIL
SCALE: N.T.S.

POST TO GIRDER
SIMPSON STRONG-TIE Model CC

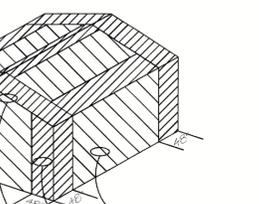
JOIST TO JOIST
SIMPSON STRONG-TIE (LTB40) N.T.S.
INSTALL AS SHOWN

CORNER HOLDDOWN
SIMPSON STRONG-TIE (HD15) SCALE N.T.S.

CORNER STUD HOLDDOWN DETAIL - 4 STUDS
SIMPSON STRONG-TIE (HD15) SCALE N.T.S.

STUD TO STUD CONNECTION
EPOXY INTO EXISTING FOUNDATION WALLS WHERE REQ'D.
SIMPSON STRONG-TIE CS16 - INSTALL @ 16" O.C. N.T.S.

STAIRWAY DETAIL
SCALE: N.T.S.



POST TO GIRDER
SIMPSON STRONG-TIE Model CC

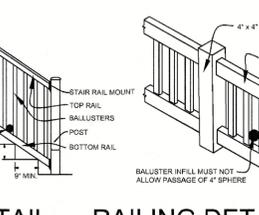
JOIST TO JOIST
SIMPSON STRONG-TIE (LTB40) N.T.S.
INSTALL AS SHOWN

CORNER HOLDDOWN
SIMPSON STRONG-TIE (HD15) SCALE N.T.S.

CORNER STUD HOLDDOWN DETAIL - 4 STUDS
SIMPSON STRONG-TIE (HD15) SCALE N.T.S.

STUD TO STUD CONNECTION
EPOXY INTO EXISTING FOUNDATION WALLS WHERE REQ'D.
SIMPSON STRONG-TIE CS16 - INSTALL @ 16" O.C. N.T.S.

COLUMN CONNECTION DETAIL
N.T.S.

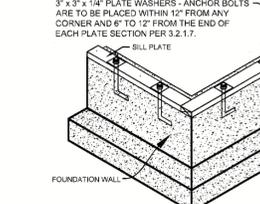
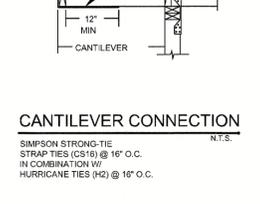
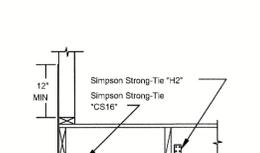


1st & 2nd. FL. CONNECTION
N.T.S.

STUD TO STUD CONNECTION
SIMPSON STRONG-TIE CS16 - INSTALL @ 16" O.C. N.T.S.

COLUMN CONNECTION DETAIL
N.T.S.

CANTILEVER CONNECTION
N.T.S.



ANCHOR BOLT AND BEARING PLATE DETAIL
N.T.S.

ADJUSTABLE HANGER
SIMPSON STRONG-TIE (LSSU28)

RAFTER TO DOUBLE TOP PLATE
SIMPSON STRONG-TIE (H2A) N.T.S.
H2A INSTALL @ 16" O.C.

RIDGE STRAP TIE
SIMPSON STRONG-TIE (LSTA) N.T.S.
LSTA STRAP TIE INSTALL @ 16" O.C.

HIP CORNER PLATE
SIMPSON STRONG-TIE (HCP) N.T.S.
HCP2- 2X MEMBER SIZE
HCP4- 4X MEMBER SIZE

FACE MOUNT HANGER
SIMPSON STRONG-TIE (LUS) N.T.S.
LUS26, LUS28, LUS26-2, LUS28-2, LUS210, LUS210-2

POST TO GIRDER
SIMPSON STRONG-TIE Model CC

JOIST TO JOIST
SIMPSON STRONG-TIE (LTB40) N.T.S.
INSTALL AS SHOWN

CORNER HOLDDOWN
SIMPSON STRONG-TIE (HD15) SCALE N.T.S.

CORNER STUD HOLDDOWN DETAIL - 4 STUDS
SIMPSON STRONG-TIE (HD15) SCALE N.T.S.

STAIRWAY DETAIL
SCALE: N.T.S.

RAILING DETAIL
SCALE: N.T.S.

POST TO GIRDER
SIMPSON STRONG-TIE Model CC

JOIST TO JOIST
SIMPSON STRONG-TIE (LTB40) N.T.S.
INSTALL AS SHOWN

CORNER HOLDDOWN
SIMPSON STRONG-TIE (HD15) SCALE N.T.S.

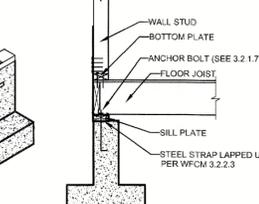
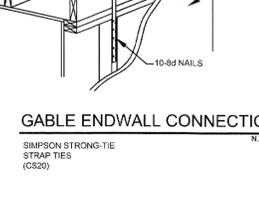
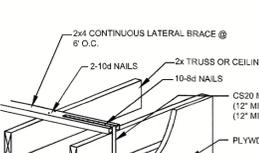
CORNER STUD HOLDDOWN DETAIL - 4 STUDS
SIMPSON STRONG-TIE (HD15) SCALE N.T.S.

STUD TO STUD CONNECTION
EPOXY INTO EXISTING FOUNDATION WALLS WHERE REQ'D.
SIMPSON STRONG-TIE CS16 - INSTALL @ 16" O.C. N.T.S.

COLUMN CONNECTION DETAIL
N.T.S.

1st & 2nd. FL. CONNECTION
N.T.S.

POST TO CONC. FOOTING
N.T.S.



ANCHOR BOLT AND BEARING PLATE DETAIL
N.T.S.

ADJUSTABLE HANGER
SIMPSON STRONG-TIE (LSSU28)

RAFTER TO DOUBLE TOP PLATE
SIMPSON STRONG-TIE (H2A) N.T.S.
H2A INSTALL @ 16" O.C.

RIDGE STRAP TIE
SIMPSON STRONG-TIE (LSTA) N.T.S.
LSTA STRAP TIE INSTALL @ 16" O.C.

HIP CORNER PLATE

Application Date: 4/4/25
Fees Paid: \$325.00

SP# 3821

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 10 ARCHER STREET ZONING DISTRICT RES. "A"
SECTION 62 BLOCK 48 LOT 4 LOT SIZE: 58 * 158
(8,226 SQ. FT)

<input type="checkbox"/> TENANT	<u>APPLICANT</u>	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>JOSE GUTIERREZ</u>			Name: <u>JOSE GUTIERREZ</u>
Address: <u>124 BISMARCK AVENUE</u> <u>VALLEY STREAM, NY 11581</u>			Address: <u>124 BISMARCK AVENUE</u> <u>VALLEY STREAM, NY 11581</u>
Telephone #: <u>(347) 739-6096</u>			Telephone #: <u>(347) 739-6096</u>

Attorney Name: MIGUEL RAMIREZ Address: 33 LAMONT PLACE
(optional) Phone #: (631) 704-6601 WEST BABYLON, NY 11704

Present Land Use: VACANT LOT Proposed Land Use: 1-FAMILY RES.

Description of Proposed Work: NEW (4,212 S.F.) WOOD FRAME WITH VINYL
SIDING 2-STORY 1-FAMILY RESIDENCE TO EXISTING VACANT LOT

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
 YES NO

RECEIVED
2025 APR -4 P 1:06 PM
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Jose A Gutierrez
APPLICANT'S SIGNATURE DATE 03-20-2025
Sworn to before me this 20th
day of March, 2025
Doris Ramirez
Notary Public
DORIS ALEXANDRA RAMIREZ
NOTARY PUBLIC STATE OF NEW YORK
SUFFOLK COUNTY
LIC. # 01RA6359378
COMM. EXP. May 30 of 2025

Property Owner's Consent:
I, JOSE GUTIERREZ am (are) the owner(s) of the subject property and consent to the filing of this application.

Jose A Gutierrez
PROPERTY OWNER'S SIGNATURE DATE 03-20-2025
Sworn to before me this 20th
day of March, 2025
Doris Ramirez
Notary Public
DORIS ALEXANDRA RAMIREZ
NOTARY PUBLIC STATE OF NEW YORK
SUFFOLK COUNTY
LIC. # 01RA6359378
COMM. EXP. May 30 of 2025

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
Planning Board Signature: _____	Date: _____

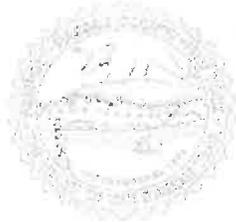
SUBMISSION CHECKLIST

YES	NO	N/A	
		✓	1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only).
✓			2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.
			3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:
✓			a. Title of drawing, including name and address of applicant.
✓			b. North point, scale, and date.
✓			c. Boundaries of the project.
		✓	d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
		✓	e. Floodplain boundaries as determined by the Federal Emergency Management Agency.
		✓	f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.
		✓	g. Location of outdoor storage and description of materials to be stored.
		✓	h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
		✓	i. Location and description of all proposed waterfront public access/recreation provisions.
		✓	j. Description of sewage disposal and water supply systems and locations of such facilities.
		✓	k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
		✓	l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
		✓	m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
		✓	n. Location, design and size of all signs and lighting facilities.
		✓	o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
		✓	p. Building orientation and site design for energy efficiency and visual quality.
		✓	q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
		✓	r. Description and location of erosion control measures including proposed location of sediment sink/setting pond and interceptor swales, etc..
		✓	s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
		✓	t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.
		✓	u. Estimated project construction schedule.
✓			v. Record of application for approval status of all necessary permits from federal, state and county officials.
		✓	w. Identification of any federal, state or county permits required for project execution.
✓			x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

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2025 APR -4 P 3:06

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER

March 21, 2025

Jose Gutierrez
16 Archer St
Freeport, NY 11520

RE: 16 Archer St, Freeport, NY 11520

Zoning District: Residence A Sec 62, Blk 048, Lot 4

Building Permit Application #20243644

Description: Construct new 4,212 sq. ft wood frame vinyl siding 2-Story 1-family dwelling to vacant lot.

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

ZBA Approval Needed: **NO**

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VILLAGE OF FREEPORT
Department of Buildings
Recommendation

2025 APR 14 P 3:06

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

 The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20243644

Location: 16 Archer St., Freeport NY 11520

Applicant : Jose Gutierrez

Description : Construct new 4,212 sq. ft. wood frame vinyl siding 2-Story 1-family dwelling to vacant lot.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: March 21, 2025

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

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CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project:		Proposed New 2-Story 1-Family Residence to existing vacant lot	
Project Location (describe, and attach a location map):		No.16 on North side of Archer Street At 159.38 ft. West of South Main Street	
Brief Description of Proposed Action: Proposed New (4,212 s.f.) Wood frame with vinyl siding 2-Story 1-Family Residence to existing vacant lot			
Name of Applicant or Sponsor:		Telephone: (347) 739-6096	
Jose Gutierrez		E-Mail: jjjgutierrez@hotmail.com	
Address: 124 Bismark Avenue			
City/PO: Valley Stream		State: New York	Zip Code: 11581
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES ✓
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES ✓
3.a. Total acreage of the site of the proposed action?		0.19 acres	
b. Total acreage to be physically disturbed?		0.19 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.19 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
		✓	
b. Consistent with the adopted comprehensive plan?		✓	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
			✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		✓	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		✓	
b. Are public transportation service(s) available at or near the site of the proposed action?			✓
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		✓	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
			✓
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
			✓
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
			✓
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	✓		
b. Is the proposed action located in an archeological sensitive area?		✓	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		✓	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		✓	
		✓	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: > Shoreline > Forest > Agricultural/grasslands > Early mid-successional > Wetland > Urban > Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	✓		
16. Is the project site located in the 100 year flood plain?	NO	YES	
	✓		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? > NO > YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains?) If Yes, briefly describe: _____	NO	YES	
	✓		
	✓		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	✓	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Jose Gutierrez</u> Date: <u>03/15/2025</u>		
Signature: <u><i>Jose A Gutierrez</i></u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer a **ff** the f llowing questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Mo derate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	✓	
2. Will the proposed action result in a change in the use or intensity of use of land?	✓	
3. Will the proposed action impair the character or quality of the existing commu ty? ni	✓	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	✓	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	✓	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	✓	
7. Will the proposed action impact existing: a. public / private water supplies?	✓	
b. public / private wastewater treatment utilities?	✓	
8. Will the proposed action impair the character or quality of important historic, arch aeological, architectural or aesthetic resources?'	✓	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	✓	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	✓	
11. Will the proposed action create a hazard to environmental resources or human health?	✓	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impact. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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VILLAGE OF FREEDPORT, NY

9 Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
9 Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



SUBJECT PROPERTY FRONTAGE (WEST SIDE CORNER)
ACTUAL CONDITION



SUBJECT PROPERTY FRONTAGE (EAST SIDE)
ACTUAL CONDITION



SUBJECT PROPERTY FRONT VIEW
(BEFORE DEMOLITION)



SUBJECT PROPERTY REAR VIEW
(BEFORE DEMOLITION)



CONSULTANT



33 LAMONT PLACE
WEST BABYLON, NY 11791
OFF. (631)920-2445
MOBILE (631)704-6600

2025 APR - 4 P 3:07
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

APPLICATION NO.

APPLICANT/OWNER

ADDRESS:
16 Archer Street
Freeport, N.Y. 11520
PHONE:
(347)739-6096
EMERGENCY CONTACT:
NAME: MIGUEL RAMIREZ
PHONE:
(631)704-6601

PROJECT TITLE

PROPOSED 2-STORY
WOOD FRAME W/SHINGLES
SIDING 1-FAMILY

16 ARCHER STREET
FREEPORT, N.Y. 11520
SEC 62 BLK 48 LOT 4

DRAWING TITLE

EXISTING SUBJECT PROPERTY
PICTURES AFTER DEMOLITION
BEFORE DEMOLITION

DRAWN/DESIGN BY:

MIGUEL RAMIREZ

CHECKED BY:

VALDIMIR CONSTANTINO

DATE:

PROJECT NO.



9 ARCHER STREET (FRONT PROPERTY)



NO.15 ARCHER STREE (FRONT PROPERTY)



260 MAIN STREET (EAST SIDE PROPERTY)



20 ARCHER STREET (WEST SIDE PROPERTY)

Address: 20 A
Village: Incorp
School: Freep
Town: Hempst

For translation

Section: 62
Condo:

7 Melrick Court
 Westbury, New York 11591
 Phone: (516) 779-2343
 E-MAIL: v.constant@yaho

STATE OF NEW YORK
 VALDIMIR CONSTANTINOU
 LICENSED PROFESSIONAL ARCHITECT
 080951

CONSULTANT

MAI
 DRAFTING CORPORATION
 RESIDENTIAL & COMMERCIAL DESIGN
 33 LAMONT PLACE
 WEST BABYLON, NY 11704
 OFF: (631)920-2415
 MOBILE:(631)704-6601

VILLAGE OF FREEPORT, NY
 2025 APR - 4 P 3:07
 CLERK'S OFFICE

APPLICATION NO.

APPLICANT/OWNER

ADDRESS:
 16 Archer Street
 Freeport, N.Y. 11520
 PHONE:
 (347)739-6096
 EMERGENCY CONTACT
 NAME: MIGUEL RAMIREZ
 PHONE:
 (631)704-6601

PROJECT TITLE

PROPOSED 2-STORY
 WOOD FRAME WITH
 SIDING 1-FAMILY RES

16 ARCHER STREET
 FREEPORT, N.Y. 11520
 SEC. 62 BLK 48 LOT 4

DRAWING TITLE

EXISTING NEIGHBORHOOD
 PROPERTY PICTURE

DRAWN/DESIGN BY:
 MIGUEL RAMIREZ

CHECKED BY:
 VALDIMIR CONSTANTINOU

DATE:

DRAWN BY:
 P-
 PROJECT NO.

1-FAMILY RESIDENCE

(VACANT LOT) 16 ARCHER STREET, FREEPORT, N.Y., 11520

SBL.: 62 48 04

RESIDENTIAL CODE OF NEW YORK STATE -2020

TABLE R301.2(1)
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOWLOAD As per figure R301.2(5)	WIND SPEED (mph) As per figure R301.2(4)	SEISMIC DESIGN CATEGORY As per figure R301.2(2)	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP As per Table N1101.2	ICE SHIELD UNDER-LAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX As per Table R403.3(1)
			WEATHERING As per figure R301.2(3)	FROST LINE DEPTH	TERMITE As per figure R301.2(6)	DECAY As per figure R301.2(7)				
20 psf	120 mph	B	SEVERE	3 FT.	MODERATE TO HEAVY	SLIGHT TO MODERATE	NASSAU - 13	YES		NASSAU - 496



GENERAL CODE NOTES 2

1. All work shall be done in strict accordance with provisions of local, state, and federal codes, laws, ordinances, and regulations wherever applicable.
2. Each contractor shall be held to have visited the site and to have verified all existing conditions prior to submission of bid.
3. In all cases, drawings shall not be scaled for information. Figured dimensions and conditions must be verified in the field.
4. Contractor shall verify and be responsible for all field dimensions and job conditions, and shall notify the Architect of any discrepancies, conflicts, and/or omissions which would interfere with the satisfactory completion of the work. Should he fail to follow this procedure and continue with the work, he shall assume responsibility and liability arising therefrom.
5. All items of work identified on the drawings by name, note, or material designation are new, unless otherwise noted.
6. All new materials and installations shall be in accordance with manufacturer's latest printed specifications, and with all applicable code requirements.
7. All work shall be performed in accordance with best standard trade practices. Each trade shall cooperate with the Owner and other trades to facilitate job scheduling and completion.
8. Proprietary names identifying items of work are used to designate the standard of construction. Items of equal quality may be submitted for the Architect's review.
9. Each contractor shall be responsible for any damage to adjoining remaining areas as a result of his work, and shall repair damaged surfaces to their pre-existing conditions or as may be required to complete the entire scope of work.
10. Indications of work to be removed are general only, and are not intended to show all items which may require removal. Such items shall be removed, relocated, and/or reinstalled as required for installation of new work.
11. Existing equipment and materials to be removed, which are not required to be relocated or retained by the Owner, shall become the property of the Contractor and removed from the premises.
12. At the completion of each workday, each trade shall be responsible for cleaning up the work. Rubbish removal shall be done in a dust-inhibitive fashion, and the job site shall be free of all debris and broom cleaned upon completion.
13. Drywall Construction
 - a. Provide sizes and types as shown on the drawings, lapped and spackled with three (3) coats and sanded smooth.
 - b. Provide all metal corner beads, stops, edge trim, casing, beads, etc. as required to finish all drywall surfaces with flush, level edges.
 - c. Use Firecode "X" gypsum board where required to obtain fire ratings per N.Y.S. Building Codes. See Partition Types and plans for exact locations.
14. Alterations to existing work shall be patched and finished, as necessary, to match existing contiguous surfaces or new finishes shown.
15. Clean all floors, walls, doors, misc. metals, glass, etc. leaving job free of dust and debris, prior to project completion.
16. All existing floor slabs which are damaged as a result of any demolition and new work are to be restored as required to match and be level with contiguous surfaces.
17. Flame spread of all interior finishes shall meet or exceed Class "B" (ASTM E-84) or Class "1" (Resistant Panel Test) requirements.
18. All mechanical and electrical work shall be in full conformance with the Building Codes of N.Y. State, and all other applicable codes and regulations.
19. Plumbing work shall be installed by a plumber licensed with the Village of Freeport, in accordance with New York State and National Plumbing Codes.
20. Electrical work shall be installed by an electrician licensed in Nassau County, in accordance with New York State and National Electrical Codes. A Fire Underwriter's Laboratory certificate shall be obtained for all electrical work, and supplied to the Owner and the Architect.
21. All cabinetry and casework to be fabricated and installed in conformance with the N.Y.S. Building Code.
22. During demolition work, properly protect all existing work scheduled to remain. Provide any shoring, bracing, and temporary partitions as required to protect adjoining existing areas so that the owner can continue daily operations with minimal interruptions.
23. Soil pressure assumed at 3,000 Lbs. per sq. ft.
24. All new construction is to conform to the latest Energy Conservation Code of N.Y. State effective August 5, 2007.

GENERAL STRUCTURAL NOTES

ALLOWABLE WOOD STRESSES
CONSTRUCTION GRADE DOUGLAS FIR - SOUTH #1
F_b = 1300 PSI
F_t = 675 or 525 PSI IF > 4" WIDTH (COMPRESSION PARALLEL TO GRAIN)
F_c = 800 PSI (COMPRESSION PARALLEL TO GRAIN)
F_v = 245 PSI (COMPRESSION PERPENDICULAR TO GRAIN)
F_v = 90 PSI (HORIZONTAL SHEAR)

REFERENCES
BUILDING CODE OF NEW YORK STATE
RESIDENTIAL CODE OF NEW YORK STATE
AMERICAN FOREST & PAPER ASSOCIATION (AF&PA) 2021 EDITION
TIMBER CONSTRUCTION MANUAL (AITC) MANUAL OF STEEL CONSTRUCTION (AISC) AMERICAN CONCRETE INSTITUTE (ACI)

CONCRETE
1. Design, materials and methods of construction shall comply with the Building Code Requirements for Reinforced Concrete ACI 318-99 of the American Concrete Institute. Compressive strength at 28 days (f_c) for reinforced concrete in footings and slabs shall be 3500 psi.

2. Concrete and reinforcing materials shall conform to the following standards:
A. Portland cement as per ASTM C150-84
B. Air-entraining Admixtures shall conform to ASTM C-260-77 & Section R 402.2 of R.C. of N.Y.S.
C. Concrete aggregates as per ASTM C33-84
D. Water shall be clean and free from injurious amounts of oils, acids, alkalis, salt, organic materials and deleterious substances.
E. Deformed reinforcing bars shall conform to ASTM A615-92(31) Grade 60
F. Welded smooth wire fabric for concrete reinforcement shall conform to ASTM A185-79 and A82-79

3. All bars shall be securely held in proper position while placing concrete. If required, additional bars or stirrups shall be provided by the contractor to that effect.

4. Minimum concrete cover of reinforcement shall be as follows:
A. Footings and other principal structural members cast against ground, 3"
B. Concrete, after removal of forms exposed to weather or in contact with ground to be 2" for bars larger than #5, and 1 1/2" for #5 or smaller.
C. Slabs and walls not exposed to ground or weather to be 3/4" and beams and girders to be 1 1/2".
5. All dowels, anchor bolts, embedded steel, electrical conduits, pipe sleeves, waterstops, inserts, grooves and all other embedded items shall be in place before placement of concrete.

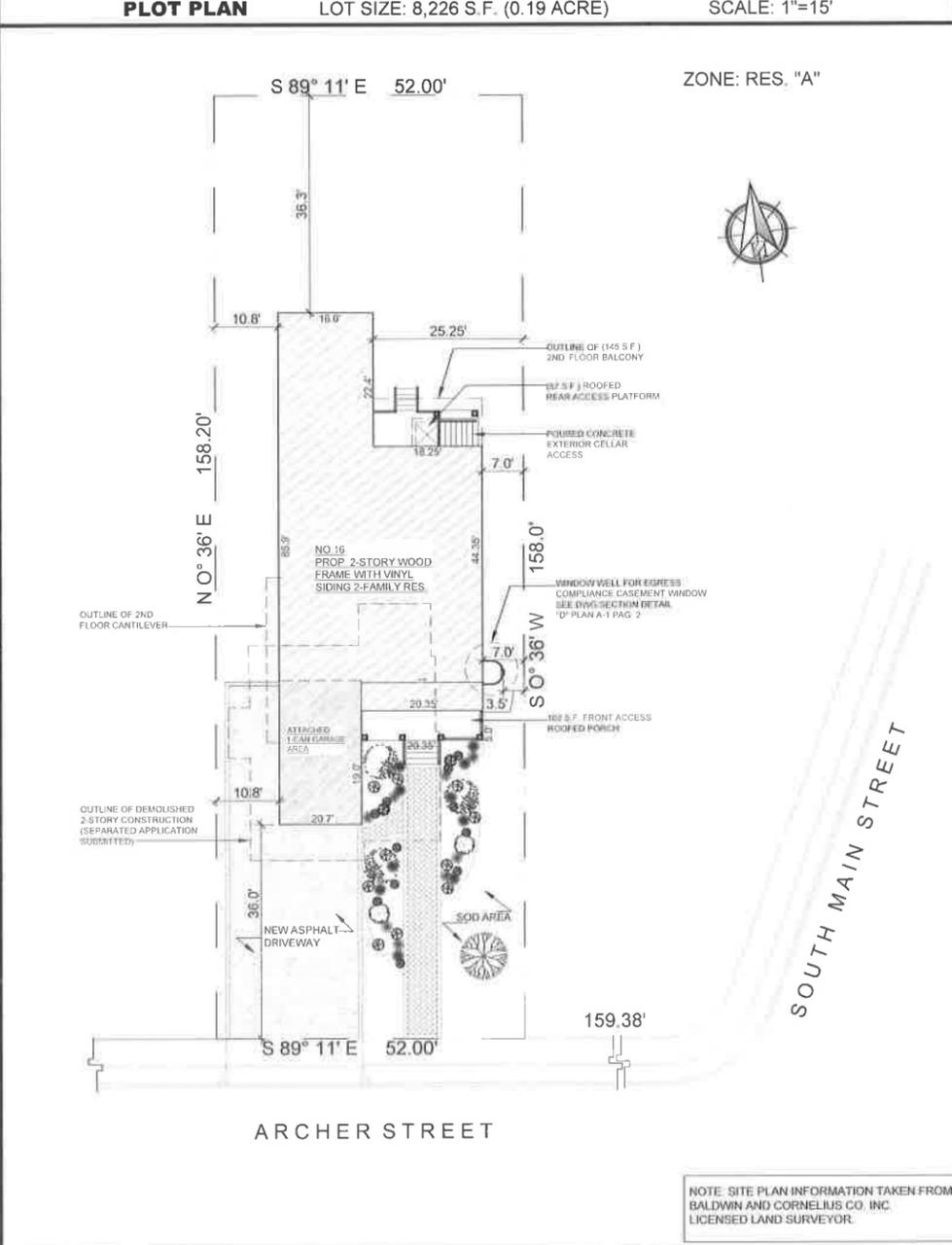
SYMBOL LIST

	North Arrow
	Detail No.
	Detail Description
	Section No.
	Section Description
	New Window Number (to be on (S)ide Window Schedule Sheet (PC-2))
	New Floor Number (to be on (E)ach Floor Schedule Sheet (PC-2))
	Finish Designation
	Partition Type Designation
	Free Edge Where (Parting)
	Existing Construction to Remain
	Existing Construction to be Removed (R.O.N.)
	New Drywall Partition
	Existing Door & Frame to Remain
	Existing Door & Frame to Remove

2020 IECC CODE NOTES

2020 IECC, Section R403.3 Mechanical system piping insulation (Mandatory)
Mechanical system piping capable of carrying fluids above 105 °F (41 °C) or below 55 °F (13 °C) shall be insulated to a minimum of R-3.
Protection of piping insulation
1.-Piping from the water heater to kitchen outlets.
4. Piping located outside the conditio space.
5. Piping from the water heater to a distribution manifold.
6. Piping located under a floor slab.
7. Buried piping.
8. Supply and return piping in recirculation systems other than demand recirculation systems.
9. Piping with run lengths greater than the maximum run lengths for the nominal pipe diameter given in Table 403.4.2. All remaining piping shall be insulated to at least R-3 or meet the run length requirements of Table R403.4.2.

2015 IECC, Electrical Power and Lighting System
Section R404.1 Lighting Equipment.
Not less than 75 percent of the permanently installed lighting fixtures to be high efficacy lamps as required.



GENERAL CODE NOTES 2

1. SEE DRAWING A-4 FOR NEW DOOR AND WINDOW SCHEDULES
2. SEE DRAWING C-1 AND C-2 FOR THE RESIDENTIAL CODE OF NEW YORK STATE GENERAL CONSTRUCTION DETAILS, FASTENING, NAILING & STRAPPING SCHEDULES
3. NEW SMOKE ALARM DETECTOR TO BE INSTALLED AT EACH SLEEPING ROOM, HALLWAY & BASEMENT. ALL SMOKE DETECTORS TO BE INTERCONNECTED IN ACCORDANCE WITH SECTION R313.1 AND POWER SOURCE FOR SMOKE DETECTORS IS TO COMPLY WITH SECTION R313.1.2 OF THE NYS RESIDENTIAL CODE (TYP)
4. NEW CARBON MONOXIDE DETECTOR IS TO BE INSTALLED, LISTED AND LABELED AS COMPLYING WITH 2014-2020 STANDARD AND TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS, AND PER RULYS SECTION R 313.4
5. MINIMUM DUCT INSULATION IS TO BE IN ACCORDANCE WITH TABLE 503.3.3 OF THE ENERGY CONSERVATION CODE OF NEW YORK STATE
6. PLEASE CONFIRM THAT ALL APPLIANCES WILL BE DIRECTLY VENTED TO THE OUTSIDE. SIZING OF VENTING SYSTEM IS TO COMPLY WITH SECTION G242.7 (5)4. FURTHERMORE FLECK CROSS SECTIONAL AREA IS TO COMPLY WITH SECTION 1101.11 EXTERIOR AIR INTAKE IS TO COMPLY WITH SECTION R1055 OF R.C. OF N.Y.S.
7. MOISTURE VAPOR RETARDERS ARE TO BE INSTALLED ON THE WARMER/WINTER SIDE OF THE INSULATION IN ALL FRAMED WALLS, FLOORS AND ROOF/CEILING/CEILING ELEMENTS OF THE BUILDING THERMAL ENVELOPE, IN ACCORDANCE WITH SECTION R318 OF R.C. OF N.Y.S.
8. PIPE INSULATION FOR THE WATER DISTRIBUTION SYSTEMS IS TO COMPLY WITH TABLE 503.3.1 OF THE ENERGY CONSERVATION CONSTRUCTION CODE. SEE TABLE 501.0.1 FOR MORE INFORMATION. WATER DISTRIBUTION TO BE 1/2" COPPER OR BETTER. VENTS TO BE P.V.C. SCHEDULE 40 OR BETTER. DRAINS TO BE BLACK IRON PIPE OR BETTER.
9. ELECTRICAL EQUIPMENT WIRING AND INSTALLATION ARE TO COMPLY WITH CHAPTER 55 THROUGH 42 OF R.C. OF N.Y.S. WIRE INSULATION TO BE RIVOLVOR BETTER (FRO-C MAX CONDUCTOR TEMP.) ALL GARAGE, OUTDOOR, UNDERFLOOR SPACES TO BE PROVIDED WITH GFI PROTECTION IN ACCORDANCE WITH SECTION E 3802 OF R.C. OF N.Y.S.
10. THE WIRING SYSTEM OF THE PREMISES IS TO BE GROUNDED AT THE WATER SERVICE OR WITH A GROUNDING ELECTRODE CONNECTED IN ACCORDANCE WITH SECTION E3801. SEE IN ACCORDANCE WITH SECTION E3801.1 THE GROUND ELECTRODE IS TO BE MADE OF ZINC COATED IRON OR STEEL SHALL HAVE 3/8" MINIMUM DIAMETER AND SHALL BE A MINIMUM OF 8 FT. LONG. NON-FERROUS ROD SHALL BE 1/2" IN MINIMUM DIAMETER IN ACCORDANCE WITH SECTION E 3508 OF R.C. OF N.Y.S.
11. CIRCUIT BREAKERS AND OTHER ELECTRICAL DEVICES ARE TO BE SIZED TO PROTECT THE FEEDER IN EACH PARTICULAR BRANCH CIRCUIT
12. A MINIMUM OF ONE 20 AMPERE BRANCH CIRCUIT IS TO BE PROVIDED TO SUPPLY THE BATHROOM RECEPTACLE OUTLETS. SUCH CIRCUITS ARE TO HAVE NO OTHER OUTLET
13. CIRCUITS RATINGS TO BE IN ACCORDANCE WITH SECTION E3602. GROUNDING FAULT INTERRUPTER PROTECTION IS TO BE PROVIDED FOR BATHROOM CIRCUITS. ALL CIRCUITS LISTED IN SECTION E3532 OF R.C. OF N.Y.S.

BUILDING CODE OF NYS 2020 ANALYSIS

CONSTRUCTION CLASSIFICATION:
TYPE VB- WOOD FRAME

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:
AS PER TABLE 601-NO FIRE RESISTANCE RATING REQUIRED FOR ANY BUILDING

CHAPTER 11 - ACCESSIBILITY (SECTION 1103)

1103.2.4 DETACHED ONE AND TWO FAMILY DWELLINGS AND ACCESSORY STRUCTURES, AND THEIR ASSOCIATED SITES AND FACILITIES AS APPLICABLE IN SECTION 101.2, ARE NOT REQUIRED TO BE ACCESSIBLE.

ZONING CALCULATIONS

ZONING: PER VILLAGE OF FREEPORT (ZONED-RES-"A")
BUILDING HEIGHT: 35' OR 3 STORIES MAX. HEIGHT)

PROPOSED BUILDING AREAS:
CELLAR: 1,818 S.F.
ATTACHED 1-CAR GARAGE: 335
FIRST FLOOR: 1,810 S.F.
SECOND FLOOR: 1,875 S.F.

ROOFED OVER PORCHES & DECKS: 315 S.F.

ACCESSORY STRUCTURES: 0 S.F.

TOTAL BUILDING AREA: 4,335 S.F. (INCLUDING FIRST FL., SECOND FLOOR & ATTACHED GARAGE)

LOT COVERAGE: 30% MAX = 8,226 x 0.30 = 2,468 S.F.
ACTUAL COVERAGE: 2,314 < 2,468 S.F. = 28 %
(ACTUAL COVERAGE INCLUDES 1ST FL., PORCHES AND ACCESSORY STRUCTURES)

SCOPE OF PROJECT

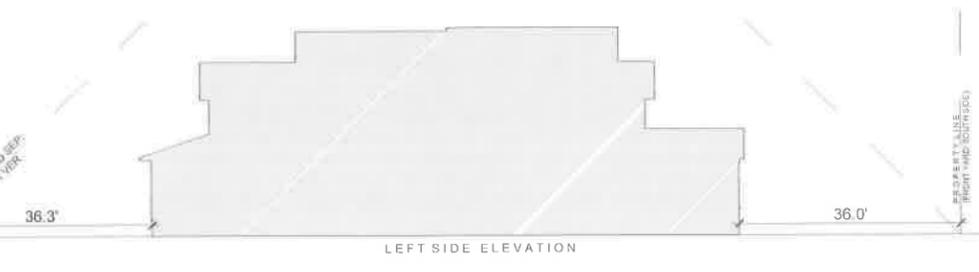
CELLAR FLOOR:
1-1,818 S.F. FINISHED (FOR STORAGE ONLY) WITH REAR CONCRETE EXTERIOR CELLAR ACCESS, 3-PC BATHROOM, ENCLOSED LAUNDRY & MECHANICAL ROOM

FIRST FLOOR:
1-335 S.F. ATTACHED 1-CAR GARAGE; 1,810 S.F. LIVING AREA WITH 3-BEDROOMS 2 FULL BATHROOM, LIVING ROOM, DINING ROOM AND KITCHEN.

SECOND FLOOR (APARTMENT):
1-1,875 S.F. WITH 3-BEDROOMS, 2 FULL BATHROOM,

DRAWINGS LIST

- 1.- T-1 TITLE/INFORMATION SHEET, SITE PLAN GENERAL NOTES LOCATION MAP & SKY EXPOSURE PLANE
- 2.- A-1 CELLAR FOUNDATION, FIRST FLOOR PLAN, BEAM POCKET DETAIL, DOORS AND WINDOWS SCHEDULE
- 3.- A-2 SECOND FLOOR, ROOF FRAMING PLAN, EXTERIOR AND INTERIOR AIR SEALING DETAIL
- 4.- A-3 FRONT & LEFT SIDE ELEVATIONS AND GENERAL CONSTRUCTION DETAILS



7 Melick Court
Westbury, New York
Phone: (516) 779-2...
E-MAIL: vconstan@y...

STATE OF NEW YORK
BALDWIN COUNTY
PROFESSIONAL ENGINEER

CONSULTANT

MA
DRAFTING CORP.
RESIDENTIAL & COMMERCIAL DESIGN

33 LAMONT PLACE
WEST BABYLON, NY 11791
OFF: (631) 202-2445
MOBILE: (631) 704-6660

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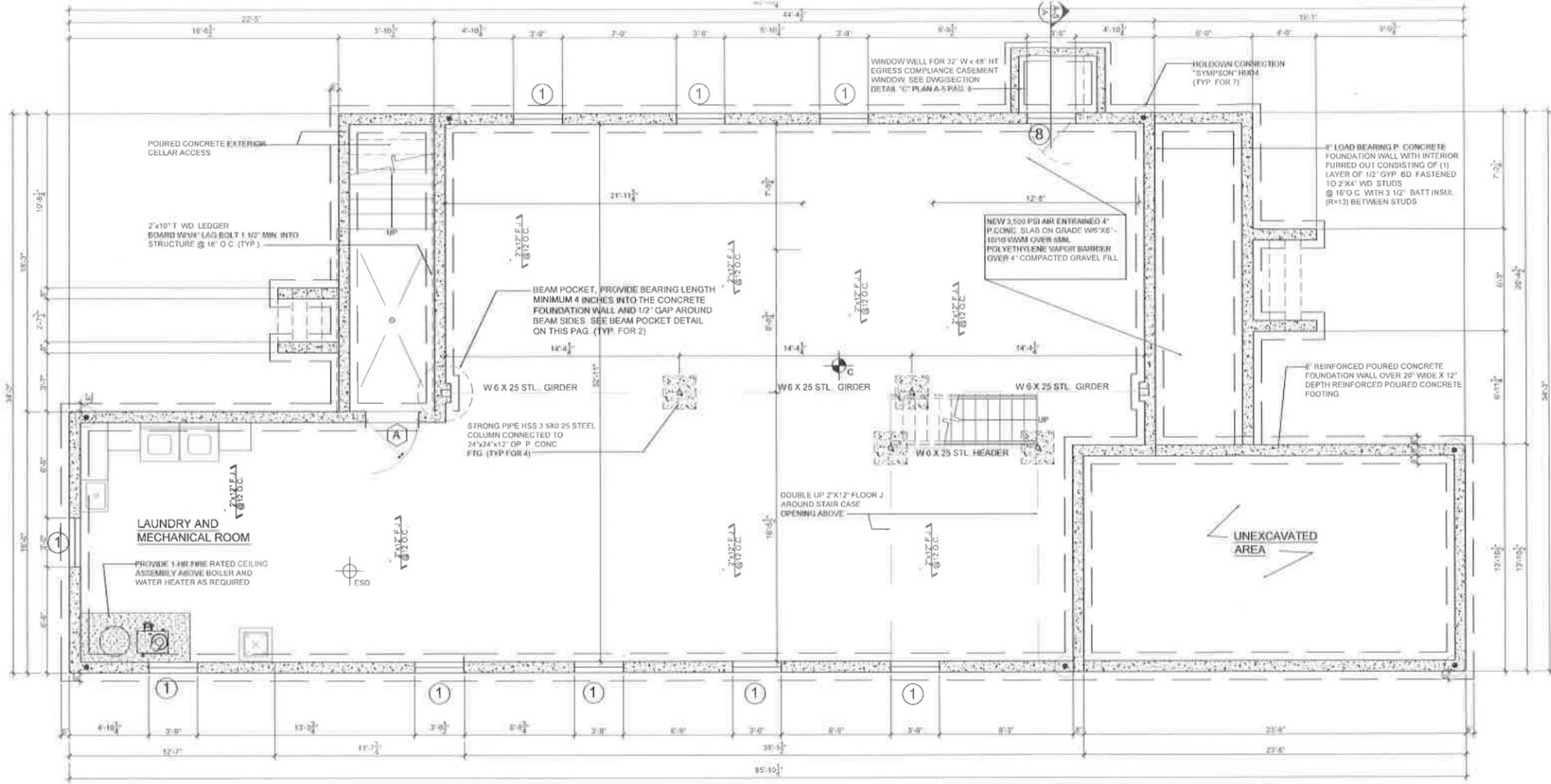
ISSUED TO: WILLIAM...
NO.: 2025 APR - L...
APPLICANT/OWNER: JOSE GUTIERREZ
ADDRESS: 16 Archer Street, Freeport, N.Y. 11520
PHONE: (347) 739-6096
EMERGENCY CONTACT: NAME: MIGUEL RAMIREZ
PHONE: (631) 704-6601

PROJECT TITLE: PROPOSED 2-STORY WOOD FRAME WITH VINYL SIDING 1-FAMILY RESIDENCE

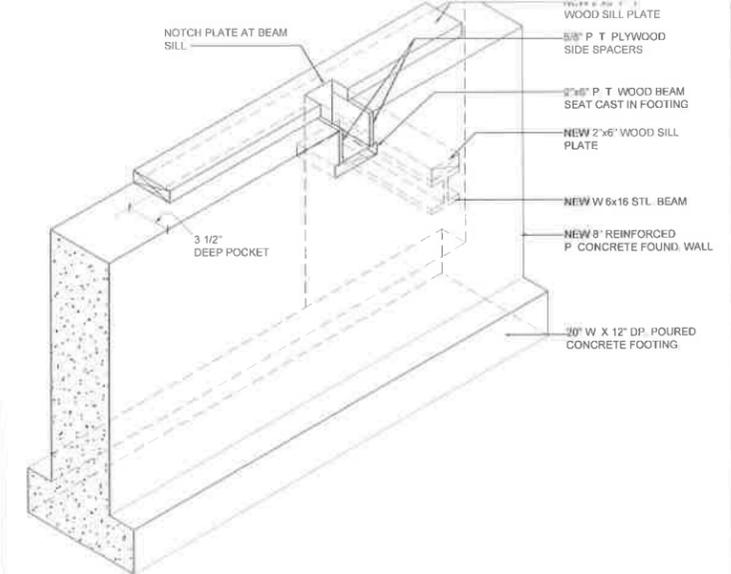
16 ARCHER STREET
FREEPORT, N.Y. 11520
SEC. 62 BLK 48 LOT 4

DRAWING TITLE: TITLE INFORMATION SHEET, LOCATION MAP AND SYMBOLS AND ENERGY CALCULATIONS

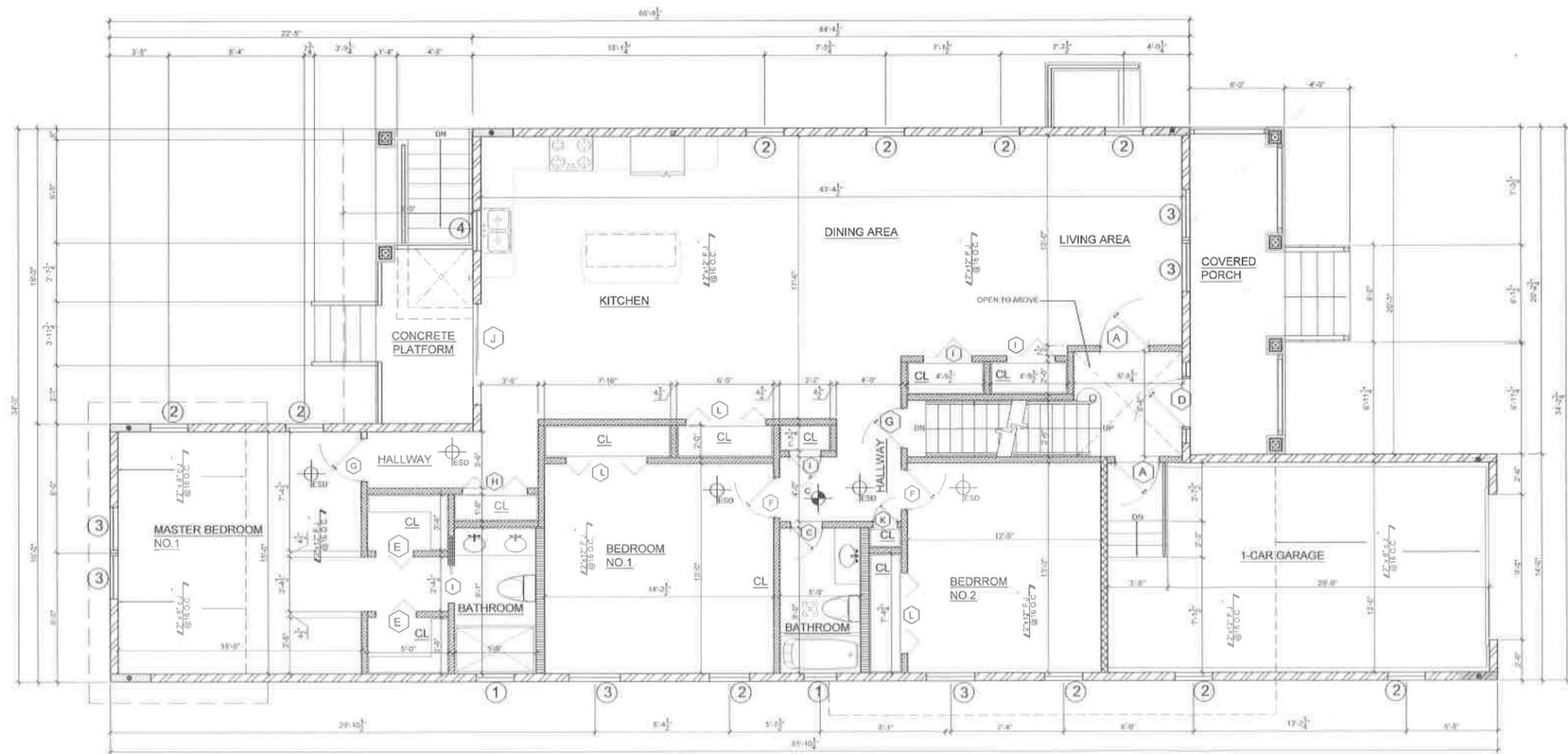
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CHECKED BY: VLADIMIR CONSTANTIN
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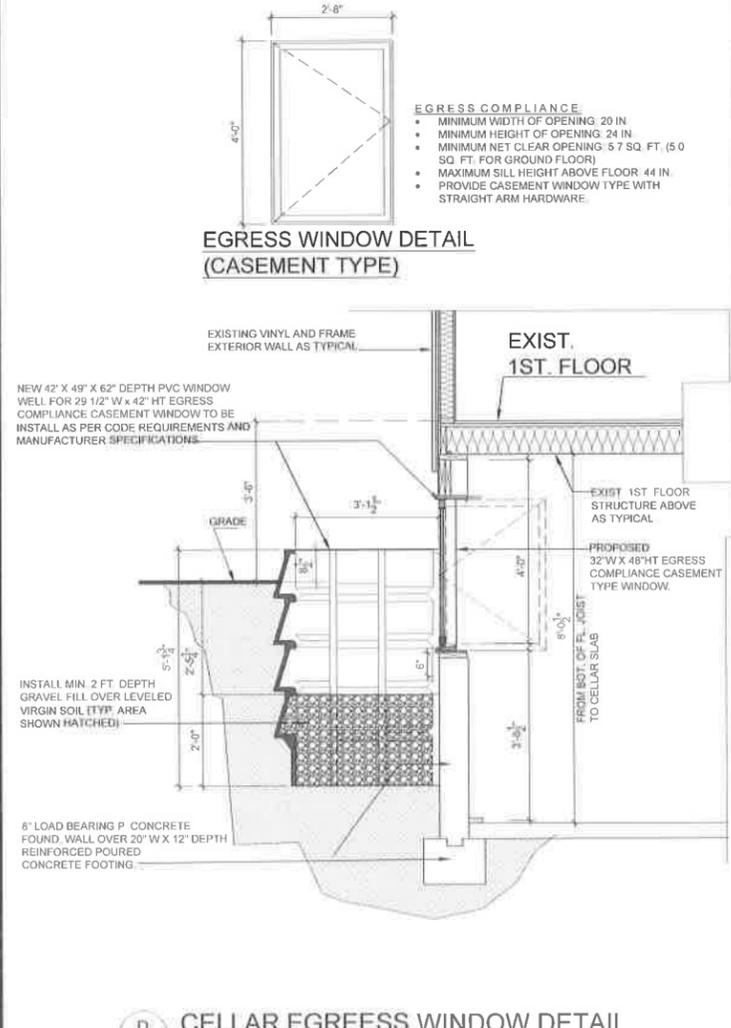
A CELLAR FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



C BEAM POCKET AND FOOTING WALL FOUNDATION DETAIL
SCALE: 1/4" = 1'-0"



B FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



D CELLAR EGRESS WINDOW DETAIL
SCALE: 1/4" = 1'-0"



CONSULTANT
MMA
DRAFTING CORPORATION
RESIDENTIAL & COMMERCIAL DESIGN
33 LAMONT PLACE
WEST BABYLON, NY 11790
OFF: (631) 920-2445
MOBILE: (631) 704-6601

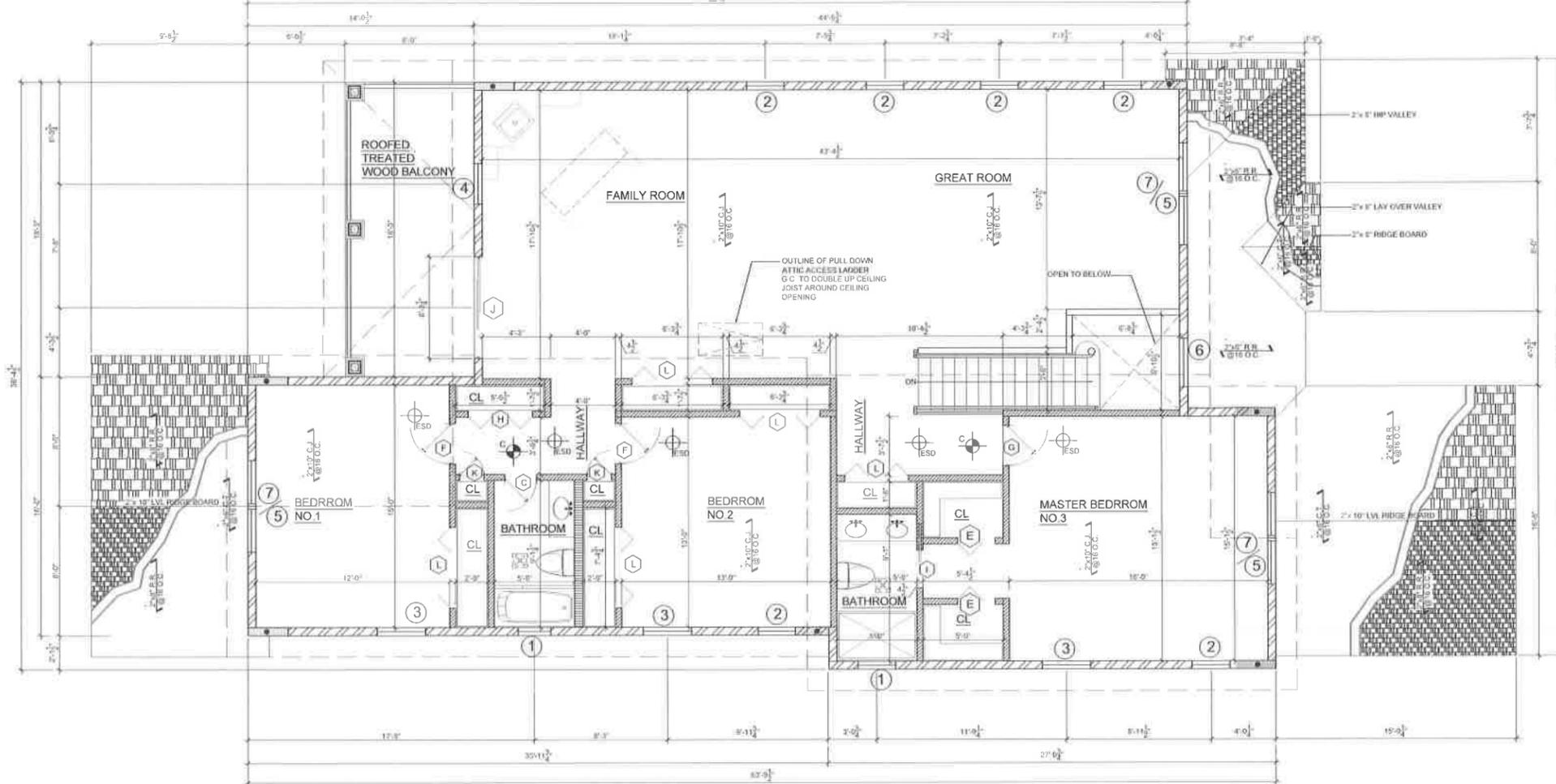
REVISION		
NO.	DATE	DESC.
1	2025 APR - 14	CLIENT'S OFFICE
2		VILLAGE OF FREEPORT, NY
3		
4		
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APPLICATION NO.
APPLICANT/OWNER
JOSE GUTIERREZ
ADDRESS:
16 Archer Street
Freeport, N.Y. 11520
PHONE:
(347) 739-6096
EMERGENCY CONTACT:
NAME: MIGUEL RAMIREZ
PHONE:
(631) 704-6601

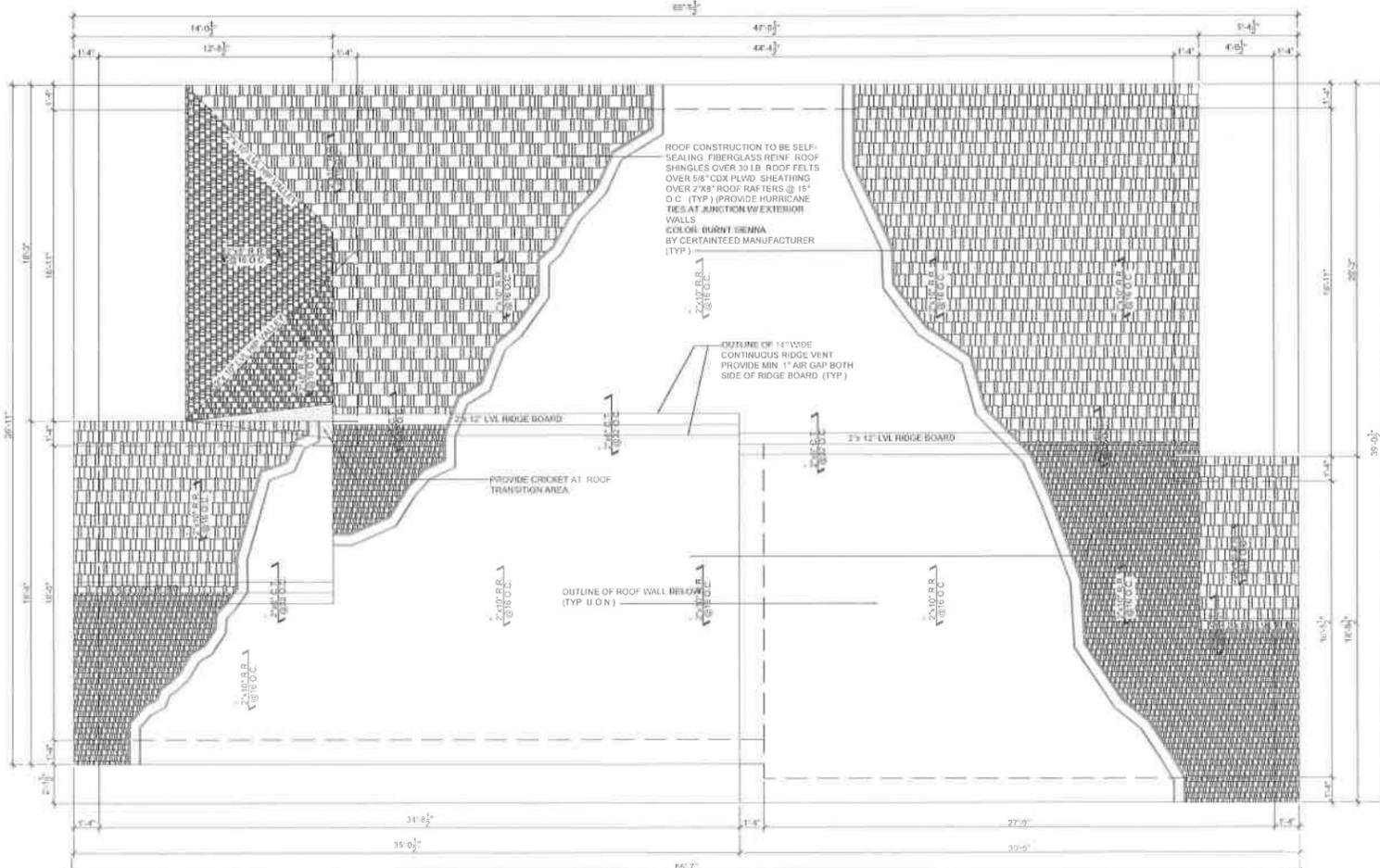
PROJECT TITLE
**PROPOSED 2-STOREY
WOOD FRAME WITH
SIDING 1-FAMILY**
16 ARCHER STREET
FREEPORT, N.Y. 11520
SEC 62 BLK 48 LOT 4

DRAWING TITLE
**CELLAR FLOOR AND
FIRST FLOOR PLAN**

DRAWN/DESIGN BY:
MIGUEL RAMIREZ
CHECKED BY:
VALDIMIR CONSTANT
DATE:
DRAWN/DESIGN BY:
DRAWN/DESIGN BY:
A

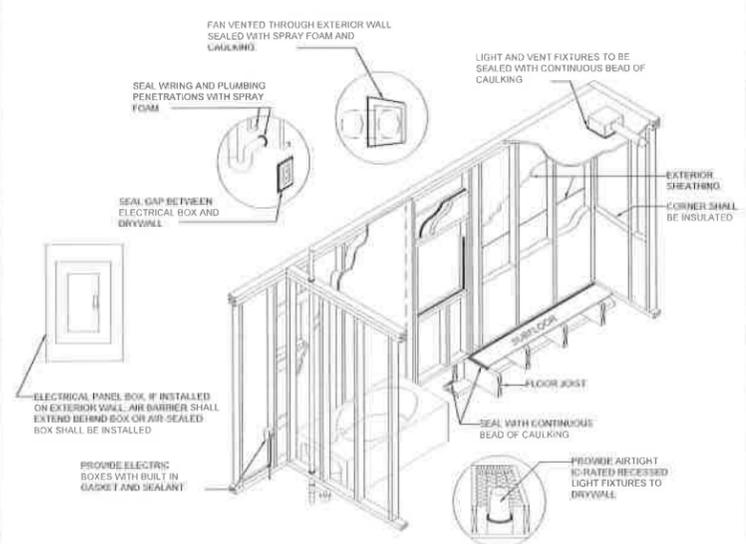
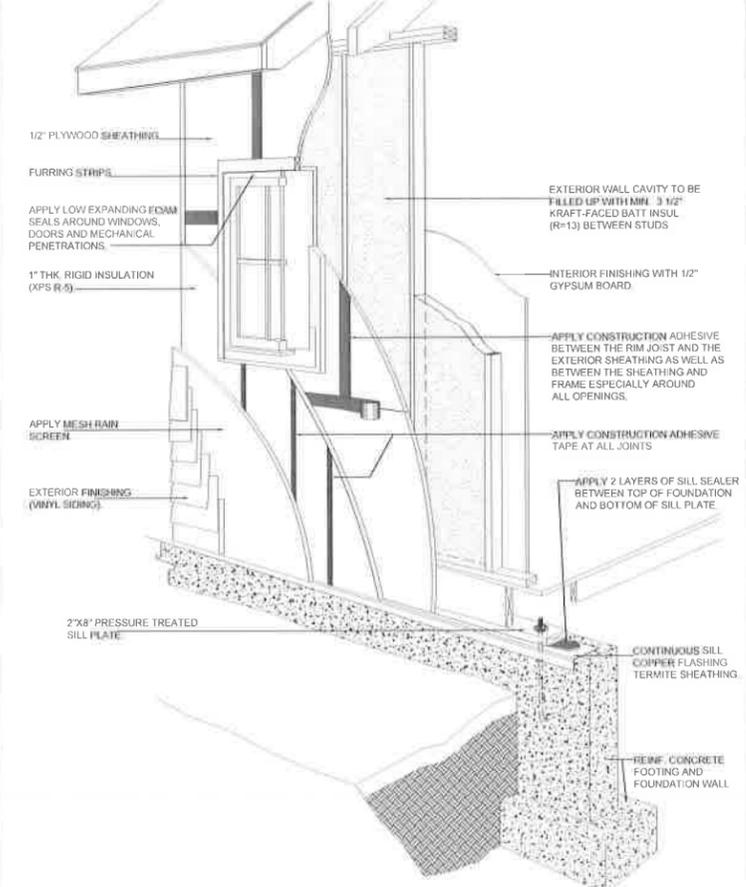


A SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0" (SEE A-1, A-2, A-3)



WALL TYPE LEGEND	
	8" REINFORCED POURED CONCRETE FOUNDATION WALL OVER 20" WIDE X 12" DEPTH REINFORCED POURED CONCRETE FOOTING
	8" LOAD BEARING P. CONCRETE FOUNDATION WALL WITH INTERIOR FURRED OUT CONSISTING OF (1) LAYER OF 1/2" GYP. BD. FASTENED TO 2"x4" WD. STUDS @ 16" O.C. G.C. TO PROVIDE HURRICANE TIES AT JUNCTION W/ EXTERIOR WALLS. PROVIDE 3 1/2" KRAFT FACED INSUL. (R=13) BETWEEN STUDS.
	EXTERIOR WALL CONSTRUCTION OF VINYL SIDING OVER TYVECK VAPOR BARRIER OVER 1" RIGID INSUL. (R=5) OVER 1/2" CDX PLWD. SHEATHING OVER 2"x4" STUDS @ 16" O.C. G.C. TO PROVIDE HURRICANE TIES AT JUNCTION W/ EXTERIOR WALLS. PROVIDE 3 1/2" KRAFT FACED INSUL. (R=13) BETWEEN STUDS. FINISH INTERIOR W/ 1/2" GYP. BD. (TYP.)
	1-HR FIRE RATED INTERIOR BEARING WALL PARTITION CONSISTING OF (1) LAYER OF 5/8" TYPE "X" GYP. BD. EACH SIDE OF 3 1/2" WD. STUDS @ 16" O.C. TIGHT FROM FLOOR AND TO THE UNDERSIDE OF STRUCTURE ABOVE. (TYP.) AT 1-CAR GARAGE AREA ADJACENT WITH HOUSE LIVING AREA) PROVIDE 3 1/2" KRAFT-FACED BATT INSUL. (R=13) BETWEEN STUDS
	NON BEARING INTERIOR WALL PARTITION CONSISTING OF (1) LAYERS OF 1/2" GYP. BD. EACH SIDE OF 3 1/2" WD. STUDS @ 16" O.C. TIGHT FROM FLOOR AND TO THE UNDERSIDE OF STRUCTURE ABOVE
	INTERIOR WALL CONST. TO BE 1/2" GYP. BD. EACH SIDE OF 2" X 6" STUDS @ 16" O.C. AT PLUMBING FIXTURES WALLS AND GREEN BOARD AT ALL WET LOCATIONS
	NEW LOAD BEARING INTERIOR WALL PARTITION CONSISTING OF (1) LAYERS OF 1/2" GYP. BD. EACH SIDE OF 2" X 6" WD. STUDS @ 16" O.C. TIGHT FROM FLOOR AND TO THE UNDERSIDE OF STRUCTURE ABOVE

SYMBOL LIST	
	ELECTRIC INTERCOM. SMOKE DETECTOR (TYP.)
	ELECT. CARBON MONOXIDE DETEC. (TYP.)
	WINDOW NUMBER DESIGNATION (SEE WINDOW SCHEDULE ON PLAN A-7, PAGE 11)
	DOOR LETTER DESIGNATION (SEE DOOR SCHEDULE ON PLAN A-7, PAGE 11)
	EXHAUST FAN FOR MECHANICAL VENTILATION TO EXTERIOR W/ MIN. 90 CFM. CAPACITY.
	1-HR FIRE RATED CEILING ABOVE BOILER AREA WITH (2) LAYERS OF TYPE "X" GYPSUM BOARD.



INTERIOR AND EXTERIOR AIR SEALING DRAWING DETAIL
C A-2 NOT TO SCALE

- GENERAL NOTES:**
- NEW SMOKE ALARM DETECTOR TO BE INSTALLED AT EACH SLEEPING ROOM, HALLWAY & BASEMENT. ALL SMOKE DETECTORS TO BE INTERCONNECTED IN ACCORDANCE W/ SECTION R317.1 AND POWER SOURCE FOR SMOKE DETECTORS IS TO COMPLY W/ SECTION R317.2 OF THE NYS RESIDENTIAL CODE. (TYP.)
 - NEW CARBON MONOXIDE DETECTOR IS TO BE INSTALLED LISTED AND LABELED AS COMPLYING W/ U.L. 2034-2002 STANDARD AND TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS
 - FOR BASEMENT & 4th CELLAR WALLS, FOUND. WALLS, EXT. WALLS AND OTHER VERTICAL CONC. WORK EXPOSED TO THE WEATHER USE 3,000 PSI AIR ENTRAINED CONCRETE
 - PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS USE 3,500 PSI AIR ENTRAINED CONCRETE
 - G.C. TO REMOVE EXIST. FIRST FLOOR MAIN ROOF STRUCTURE UP TO EXISTING TOP OF PLATE IN ORDER TO INSTALL NEW ROOF AND CEILING STRUCTURE AS PROPOSED 1-STY. ADDITION
 - PROVIDE FIRE STOPPING AND SOLID BLOCKING AS PER CODE @ ALL FLOOR LEVELS

HEADER SCHEDULE:
ALL HEADERS OVER WINDOWS AND OPENINGS TO BE AS FOLLOWS



CONSULTANT
MA
DRAFTING CORPORATION
RESIDENTIAL & COMMERCIAL DESIGN
33 LAMONT PLACE
WEST BABYLON, NY 11790
OFF. (631) 920-2445
MOBILE (631) 704-6601

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2025 APR - 4 P 3:07
OWNER'S OFFICE
VILLAGE OF FREEPORT, NY

APPLICATION NO.
APPLICANT/OWNER
JOSE GUTIERREZ
ADDRESS:
16 Archer Street
Freeport, N.Y. 11520
PHONE:
(347) 739-6096
EMERGENCY CONTACT:
NAME: MIGUEL RAMIREZ
PHONE:
(631) 704-6601

PROJECT TITLE
**PROPOSED 2-STOREY
WOOD FRAME WALL
SIDING 1-FAMILY**

16 ARCHER STREET
FREEPORT, N.Y. 11520
SEC. 62 BLK 48 LOT 4

DRAWING TITLE
**SECOND FLOOR AND
ROOF FRAMING PLAN**

16 ARCHER STREET
FREEPORT, N.Y. 11520
SEC. 62 BLK 48 LOT 4

DRAWN/DESIGN BY:
MIGUEL RAMIREZ

CHECKED BY:
VALDIMIR CONSTANT

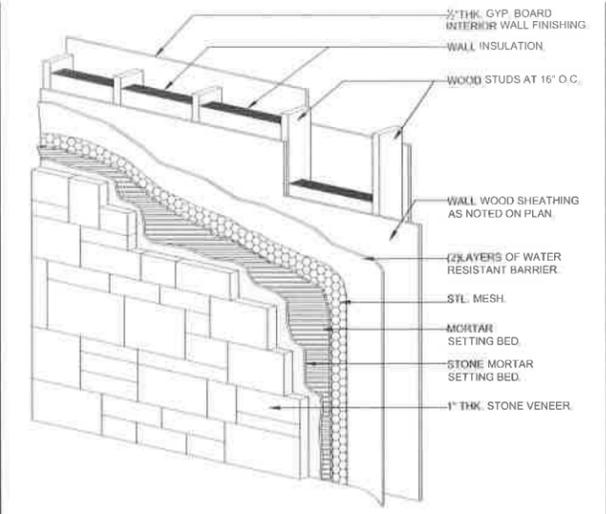
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PROJECT NO.:



A
A-3
SCALE: 1/4"=1'-0"



C
A-3
STONE VENEER DETAIL
NOT TO SCALE

WINDOW SCHEDULE 1.,2., (NEW)

NUMBER	ROUGH OPENING DIM.	WINDOW MODEL	STYLE	QTY.
1	2'-8 5/8" W x 2'-0" H	2820	AWNING	14
2	2'-4" W x 4'-9 1/4" H	2449	DOUBLE-HUNG	16
3	3'-0" W x 4'-9 1/4" H	3049	DOUBLE-HUNG (EGRESS COMPLIANCE)	9
4	2'-6" x 3'-0 1/2" H	2830	DOUBLE-HUNG	2
5	6'-0" x 1'-6" H	AFFW6006	ARCHED TRAMSON	3
6	3'-0 1/2" W x 4'-0" H ARCH 4 3/4"	AFCP3035	SPECIALTY WINDOW	1
7	2'-8 1/2" x 3'-6" H	2836 DH	DOUBLE-HUNG	6
8	2'-7 1/2" x 4'-0 1/2" H	CX14	CASEMENT WINDOW	
TOTAL QUANTITY NEEDED FOR THIS JOB				45

1. WINDOWS MEET EGRESS REQUIREMENTS (SEE CARPENTRY NOTES)
 PROVIDE AT LEAST (1) WINDOW (OR DOOR) IN EACH HABITABLE SPACE FOR EMERGENCY ESCAPE IN CONFORMANCE WITH N.Y.S. CODE SEC. R3010 MIN. OPENING OF 5.7 SQ. FEET (5.0 SQ. FEET @ GRADE LEVEL WHEN GRADE TO SILL IS LESS THAN 44" OR LESS) W/ MINIMUM NET HEIGHT 24" AND MINIMUM NET WIDTH OF 20" (OPERATION W/O NEED FOR TOOLS) BOTTOM OF OPENING @ 44" MAXIMUM A.F.F.
2. ALL WINDOW MODEL NUMBERS SHOWN ARE ANDERSEN WINDOW 400 SERIES BRAND, U.O.N. (NOTE: G.C. CAN SUBSTITUTE WITH ANOTHER WINDOW MANUF. AS LONG AS IT MEETS THE SAME CODE REQUIREMENTS)
3. ALL WINDOWS MUST BE ANDERSEN "LOW E"
4. FOR ALL EXISTING WINDOWS TO REMAIN, SEE PLANS
5. ALL WINDOWS TO MEET 110 MPH WIND CRITERIA WITH CODE REQUIRED GLAZING.

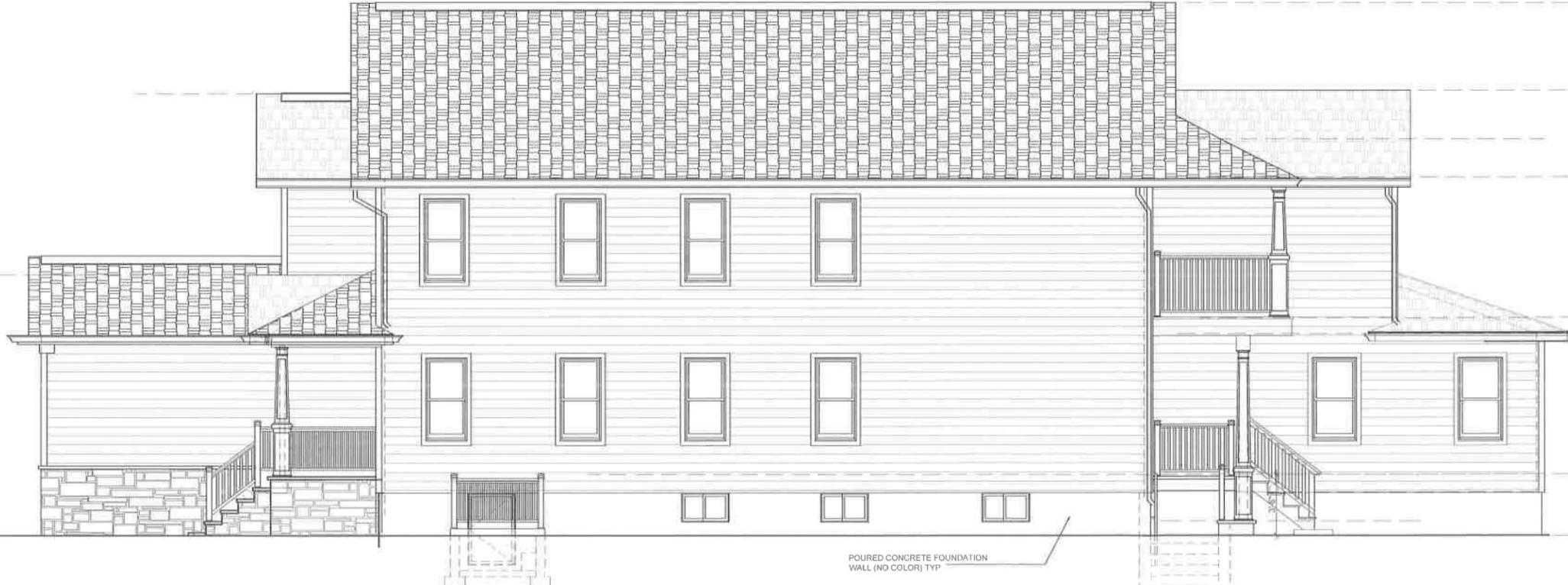
LIGHT, VENTILATION AND HEATING

USE	AREA (ft) ²	WIDTH	AVERAGE CEILING	MINIMUM CEILING	NATURAL LIGHT	NATURAL VENTILATION*	COMPLIES
LIVING	120	7'-0"	7'-6"	5'-0"	8% FLOOR AREA	4% FLOOR AREA	COMPLIES
DINING	70	7'-0"	7'-6"	5'-0"	8% FLOOR AREA	4% FLOOR AREA	COMPLIES
KITCHEN	50	N.A.	7'-6"	5'-0"	8% FLOOR AREA	4% FLOOR AREA	COMPLIES
BEDROOM	70	7'-0"	7'-6"	5'-0"	8% FLOOR AREA	4% FLOOR AREA	COMPLIES
BATHROOM	N.A.	N.A.	7'-0"	5'-0"	3 SQUARE FEET	1-1/2 SQUARE FEET	COMPLIES
BASEMENT	-	-	7'-0"	5'-0"	-	-	COMPLIES

* See sections R303.1 & R303.3 for mechanical ventilation and artificial light.

DOOR SCHEDULE (NEW)

SYMBOL	DOOR SIZE	DESCRIPTION	QTY.
(A)	3'-0" X 6'-8"	PRE-FIN. STEEL INSULATED paneled door w/ vision panel	3
(B)	3'-0" X 6'-8"	1-HR FIRE RATED, WITH NOCKDOWN AND SELF CLOSING HINGES F.P.S.C PRIMER HOLLOW METAL	1
(C)	2'-4" X 6'-8"	PRE-FIN. SCWD, paneled door	3
(D)	5'-6" X 6'-8"	SCWD paneled door with side lights	1
(E)	3'-0" X 6'-8"	PRE-FIN. HCWD, BI-FOLD DOOR	4
(F)	2'-6" X 6'-8"	PRE-FIN. SCWD, paneled door	3
(G)	2'-6" X 6'-8"	PRE-FIN. SCWD, paneled door	3
(H)	4'-0" X 6'-8"	PRE-FIN. HCWD, BI-FOLD DOOR	9
(I)	32" X 6'-8"	PRE-FIN. SCWD paneled pocket door	2
(J)	6'-0" X 6'-8"	VINYL-CLAD WOOD SLIDER	2
(K)	1'-6" X 6'-8"	PRE-FIN. HCWD, paneled door	
TOTAL QUANTITY NEEDED FOR THIS JOB			26



B
A-3
SCALE: 1/4"=1'-0"

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT (PER TABLE R402.1.1)

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT ^(a) U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT ^(c) WALL R-VALUE	SLAB ^(d) R-VALUE & DEPTH	CRAWL SPACE ^(e) WALL R-VALUE
4 (EXCEPT MARINE)	0.35	0.55	0.40	38	20 or 13+5 ^h	8/13	19	10/13	10, 2 FT.	10/13

For SI 1 foot= 304.8mm.
 a. R-Values are minimums, U-Factors and SHGC are maximums, R-19 shall be permitted to be compressed into a 2x6 cavity.
 b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
 c. The first R-value applies to continuous insulation, the second to framing cavity insulation; either insulation meets the requirement.
 d. R-5 shall be added to the required slab edge R-values for heated slabs.
 e. There are no SHGC requirements in the Marine zone.
 f. Or insulation sufficient to fill the framing cavity, R-19 minimum.
 g. "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less

7 Melrick Court
 Westbury, New York 11591
 Phone: (516) 779-2344
 E-MAIL: v.constant@yahoo.com

STATE OF NEW YORK
 PROFESSIONAL ENGINEER
 V. CONSTANT

CONSULTANT
MAI
 DRAFTING CORPORATION
 RESIDENTIAL & COMMERCIAL DESIGN
 33 LAMONT PLACE
 WEST BABYLON, NY 11705
 OFF: (631)920-2445
 MOBILE: (631)704-6601

REVISIONS

NO.	DATE	DESCR.
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2		
3	2025 APR - 11	VILLAGE OF FREEDOM, NY
4		
5		
6		

CLERK'S OFFICE
 VILLAGE OF FREEDOM, NY
 APR - 11 P 3:08

APPLICATION NO.

APPLICANT/OWNER
JOSE GUTIERREZ
 ADDRESS:
 16 Archer Street
 Freeport, N.Y. 11520
 PHONE:
 (347)739-6096
 EMERGENCY CONTACT:
 NAME: MIGUEL RAMIREZ
 PHONE:
 (631)704-6601

PROJECT TITLE
**PROPOSED 2-STORY
 WOOD FRAME W/
 SIDING 1-FAMILY**

16 ARCHER STREET
 FREEPORT, N.Y. 11520
 SEC. 62 BLK 48 LOT 4

DRAWING TITLE
**FRONT AND RIGHT
 SIDE ELEVATIONS**

DRAWN/DESIGN BY:
 MIGUEL RAMIREZ

CHECKED BY:
 VALDIMIR CONSTANT

DATE:

DRAWN BY:
A-



DUTCH LAP VINYL SIDING WITH WHITE TRIM. AS PER CODE REQ'D. AND MANUFACTURER SPECIFICATIONS (TYP.).
 COLOR: CEDAR BLEND BY CERTAINTEED

PROPOSED EXTERIOR LANTERN WITH DAWN AND MOTION SENSOR.
 COLOR: COPPER

2" STONE VENEER CAP
 COLOR/MODEL: LIGHT BROWN
 WAINSCOT SILL

1" THICKNESS STONE VENEER BASE WITH 3" STONE CAP ON TOP,
 COLOR/MODEL: SLATE GRAY .
 ELDORADO STONE.
 (TYP. AT FRONT FACADE ONLY).

INSULATED VINYL ROLL UP GARAGE DOOR.
 COLOR: WHITE.

22" DIAMETER VINYL GABLE VENT LOUVER WITH INSECT SCREEN
 COLOR: WHITE (TYP. FOR 3) .

ALUMINUM LEADER AND GUTTER FASTENED TO 2"x6" ALUMINUM CLAD WD. FASCIA. COLOR: WHITE (TYP.).

RAISED PANEL VINYL SHUTTER (TYP.). COLOR: WHITE.

PVC HAND-RAILS AND BALUSTERS (TYP.)

NEW 12" SQUARE TAPERED PRE-FAB. VINYL COLUMN WITH 6" X 6" T. WD POST INSIDE ANCHORED ON TOP TO HEADER AND BOTTOM TO P. CONC. FRONT ACCESS PORTICO PLATFORM COLOR: WHITE (TYP. FOR 4).

PORCH STOOP AND PLATFORM TO BE FINISHED WITH BLUESTONE TILES AND SLAB. COLOR: BLUE-GREY.

1.-FRONT ELEVATION



SELF-SEALING ASPHALT/FIBERGLASS ARCHITECTURAL ROOF SHINGLES,
 COLOR TO BE: HICKORY HD
 BY CERTAINTEED MANUFACTURER (TYP.)

POURED CONCRETE FOUNDATION WALL (NO COLOR) TYP.

2. RIGHT SIDE ELEVATION

CONSULTANT

MA
 DRAFTING CORPORATION
 RESIDENTIAL & COMMERCIAL DESIGN
 33 LAMONT PLACE
 WEST BABYLON, NY 11770
 OFF (631)920-2445
 MOBILE (631)704-6601

2025 APR - 4 P 3: 08
 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY

APPLICATION NO.

APPLICANT/OWNER

JOSE GUTIERREZ
 ADDRESS:
 16 Archer Street
 Freeport, N.Y. 11520
 PHONE:
 (347)739-6096
 EMERGENCY CONTACT:
 NAME: MIGUEL RAMIREZ
 PHONE:
 (631)704-6601

PROJECT TITLE

SEC. 62 BLK 48 L
 WOOD FRAME W/
 AND VINYL SIDING
 1-FAMILY RESIDENCE
 (VACANT LOT) 16 ARCHER STREET
 FREEPORT, N.Y. 11520
 SEC. 62 BLK 48 LOT 4

DRAWING TITLE

COLORS FRONT AND
 RIGHT SIDE ELEVATION

DRAWN/DESIGN BY:

MIGUEL RAMIREZ

CHECKED BY:

VLADIMIR CONSTANT

DATE:

DRAWN BY:

R

PROJECT NO.

SELF-SEALING ASPHALT/FIBERGLASS ARCHITECTURAL ROOF SHINGLES; COLOR TO BE: HICKORY HD BY CERTAINTED MANUFACTURER (TYP.).

NEW 10" SQUARE PRE-FAB. WHITE PVC COLUMN ANCHOR ON TOP TO HEADER AND BOTTOM TO WOOD DECK STRUCTURE TYP. FOR 3).

SECOND FLOOR BALCONY WITH WHITE PVC HANDRAILS AND RAILINGS.

NEW 8" SQUARE PRE-FAB. WHITE PVC COLUMN ANCHOR ON TOP TO HEADER AND BOTTOM TO WOOD DECK STRUCTURE TYP. FOR 2).

ROOFED REAR ACCESS FIRST FLOOR AND CELLAR WITH WHITE PVC HANDRAILS & RAILINGS.

REAR ACCESS CONCRETE PORCH STOOP AND PLATFORM TO BE FINISHED WITH BLUESTONE TILES AND SLAB. COLOR: BLUE-GREY.



RAISED PANEL VINYL SHUTTER (TYP.). COLOR: WHITE.

INSULATED LOW "E" DOUBLE PANE GLASS WITH VINYL FRAME WINDOW (TYP.). COLOR: WHITE

POURED CONCRETE FOUNDATION WALL (NO COLOR) TYP.

1.-REAR ELEVATION



CONSULTANT

MAI
DRAFTING CORPORATION
RESIDENTIAL & COMMERCIAL DESIGN
33 LAMONT PLACE
WEST BABYLON, NY 11704
OFF. (631)920-2445
MOBILE:(631)704-6601

2025 APR - 14 P 3: 08
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VILLAGE OF FREEPORT, NY

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PHONE:
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PROJECT TITLE

SEC. 62 BLK 48 L
WOOD FRAME W/
AND VINYL SIDING
1-FAMILY RESIDENTIAL
(VACANT LOT) 16 ARCHER STREET
FREEPORT, N.Y. 11520
SEC. 62 BLK 48 LOT 4

DRAWING TITLE

COLOR REAR AND
LEFT SIDE ELEVATION

DRAWN/DESIGN BY:

MIGUEL RAMIREZ

CHECKED BY:

VLADIMIR CONSTANT

DATE

DRAWN BY:

R-

PROJECT NO.



1.-FRONT ELEVATION
PERSPECTIVE VIEW



2.-REAR ELEVATION
PERSPECTIVE VIEW



CONSULTANT



M.A.I.
DRAFTING CORPORATION
RESIDENTIAL & COMMERCIAL
DESIGN

33 LAMONT PLACE
WEST BABYLON, NY 11790
OFF: (631)920-2445
MOBILE: (631)704-6601

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Freeport, N.Y. 11520

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(347)739-6096

EMERGENCY CONTACT:

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PHONE:

(631)704-6601

PROJECT TITLE

PROPOSED 2-STORY

WOOD FRAME W/

SIDING 1-FAMILY R

16 ARCHER STREET

FREEPORT, N.Y. 11520

SEC 62 BLK 48 LOT 4

DRAWING TITLE

FRONT AND RIGHT S

PERSPECTIVE VIEW

DRAWN/DESIGN

BY:

MIGUEL RAMIREZ

CHECKED BY:

VALDIMIR CONSTANTINO

DATE:

DRAWN

PV

PROJECT

DATE

PROJECT

DATE



9 ARCHER STREET (FRONT PROPERTY)



NO.15 ARCHER STREE (FRONT PROPERTY)



260 MAIN STREET (EAST SIDE PROPERTY)



20 ARCHER STREET (WEST SIDE PROPERTY)

Address: 20 Archer Street
Village: Incorporated
School: Freeport
Town: Hempstead

For translation

Section: 62
Condo:



CONSULTANT
MAI
 DRAFTING CORPORATION
 RESIDENTIAL & COMMERCIAL DESIGN
 13 LAMONT PLACE
 WEST BABYLON, NY 11790
 OFF. (631) 920-2445
 MOBILE (631) 704-6601

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APPLICATION NO.

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 PHONE:
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 EMERGENCY CONTACT
 NAME: MIGUEL RAMIREZ
 PHONE:
 (631)704-6601

PROJECT TITLE

PROPOSED 2-STORY
 WOOD FRAME WITH
 SIDING 1-FAMILY

16 ARCHER STREET
 FREEPORT, N.Y. 11520
 SEC 62 BLK 48 LOT 4

DRAWING TITLE
 EXISTING NEIGHBORHOOD
 PROPERTY PICTURE

DRAWN/DESIGN BY:
 MIGUEL RAMIREZ
 CHECKED BY:
 VALDIMIR CONSTANT
 DATE: