



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE

FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A MAURAS
SUPERINTENDENT OF BUILDINGS

LETTER OF DENIAL

June 27, 2024

Aaron Kadosh
147 Woodcleft Ave
Freeport, NY 11520

RE: 147 Woodcleft Avenue, Freeport, NY

Zoning District: Marine Commerce Sec. 62 Blk. 177 Lot 534

Building Permit Application #20243675

Description: Proposed 1-story side addition (224 Sq.ft) , 1-story addition (169 Sq.ft) , 2nd story terrace (930 Sq.ft) , roof over deck (424 Sq.ft) and wood shades (240 Sq.ft)

Dear Mr. Kadosh

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. Conformity Required. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-240. Required Yards.

Every structure shall be so situated on its lot as to provide front and rear yards of not less than five feet in width and one side yard of not less than 10 feet in width, except where such lot has a width of 40 feet or less, in which case no side yard is required, and except along streets where greater setbacks have been established. No rear yard shall be required where the rear yard of the lot abuts on a canal or waterway and said lot has a depth of less than 60 feet. According to the drawings indicates that you have a .20' front yard. You will be seeking a variance of 4.8'.

Village Ordinance §210-172. Required parking spaces.

(4) Restaurants, discotheques, cabarets and bars: at least one parking space for each three authorized occupants. The drawings indicate 8 tables with 4 seats with a total of 32 seats provided. You will need a total of 11 parking spaces and only 3 are provided. You will be seeking a variance of 8 parking spaces.

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FREEPORT, NY

Please be further advised that if you intend to appeal this decision you must file a Zoning Board of Appeals application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-2202 to make an appointment to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. Only after this initial appointment should the additional copies be made.

In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application only, please call the VILLAGE CLERK'S OFFICE at 377-2202.

Very truly yours,



Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez, Plans Examiner
cc: Village Clerk

SITE PLAN APPROVAL NEEDED: Yes

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VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20243675

Location: 147 Woodcleft Ave

Applicant: Aaron Kadosh

Description: Proposed 1-story side addition (224 Sq.ft), 1-story addition (169 Sq.ft), 2nd story terrace (930 Sq.ft), roof over deck (424 Sq.ft) and wood shades (240 Sq.ft)

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: June 27, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

**617.20
Appendix B
Short Environmental Assessment Form**

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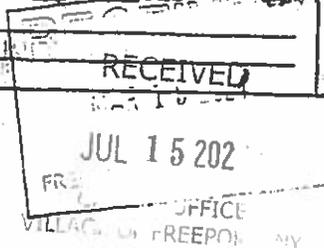
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: KADOSH FAST FOOD			
Project Location (describe, and attach a location map): 147 A WOODCREEK AVE. FREEPORT NY 11520			
Brief Description of Proposed Action: PROPOSED 1 STORY SIDE ADDITION 224 SQ. FT. + WOOD SHADES 240 SQ. FT. + 1 STORY ADDITION 169 SQ. FT. + ROOF OVER DECK 424 SQ. FT. + INTERIOR ALTERATIONS (2 BATHROOMS 2 PIECES + 2 KITCHENS 12 SINKS + 2 GREASE TRAPS) 2ND STORY OPEN TERRACE 930 SQ. FT.			
Name of Applicant or Sponsor: ROBERT PANIPEZ		Telephone: 631-245-2888	
Address: 990 MOTOR PKWY.		E-Mail: PANIREZ@AMIGOS20@gmail.com	
City/PO: CENTRAL ISIP		State: NY	Zip Code: 11722
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>ROBERT RAMIREZ</u>	Date: <u>3-19-24</u>	
Signature: <u>[Signature]</u>		

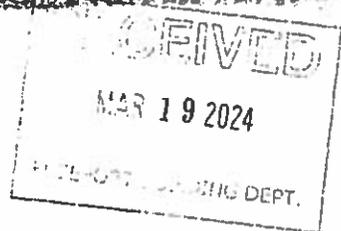
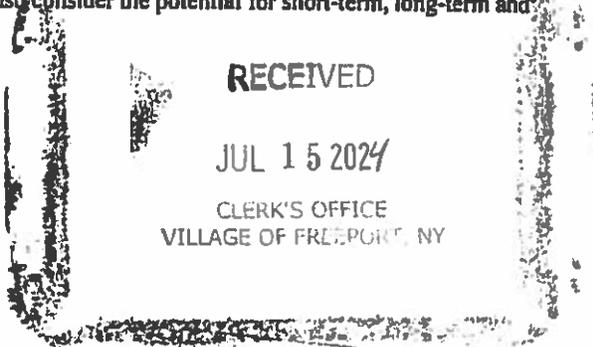
Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.



<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. _____

JUL 15 2024

Filing Date _____

CLERK'S OFFICE
VILLAGE OF FREEPORT, N.Y.

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>147 A Woodcliff Ave</u> (No.) (Street)	ZONING DISTRICT <u>Marine Com</u>
	BETWEEN <u>Woodcliff Ave</u> (Cross Street) AND _____ (Cross Street)	
	SECTION <u>62</u> BLOCK <u>177</u> LOT <u>534</u> APPROX. LOT SIZE <u>20 x 50</u> (Cross Street) LOT <u>5900 S.F.</u>	

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D	
A. TYPE OF IMPROVEMENT	B. PROPOSED OR EXISTING USE
1 New building 2 <input checked="" type="checkbox"/> Addition-Alteration (If residential, enter number of new housing units added. If none-state none) 3 Swimming Pool 4 Repair (replacement) 5 Bulkhead (New, Repair) 6 Fence 7 Moving (relocation)	RECEIVED MAR 19 2024 MAR 18 2024 RESIDENTIAL 11 One Family 12 Two families 13 Apartment - Enter No. of Units 14 Transient hotel, motel, dormitory - Enter No. of Units 15 Garage or Accessory Structure 16 Other - Specify NON-RESIDENTIAL - Complete Part "E" 17 Industrial 18 Office, bank, professional 19 Stores, mercantile 20 Church, other religious 21 Hospital, institutional 22 <input checked="" type="checkbox"/> Other - Specify <u>FAST FOOD</u>

C. COST	D. DESCRIPTION OF PROJECT
10 TOTAL COST OF IMPROVEMENT \$ <u>135,000</u>	PROPOSED 1 STORY SIDE ADDITION 224 SQ. FT. + WOOD SHADES 240 SQ. FT. + 1 STORY ADDITION 169 SQ. FT. + ROOF OVER DECK 424 SQ. FT. + INTERIOR ALTERATIONS W/2 BATHROOM 2 PIECES + 2 KITCHENS W/6 SINKS + 1 GREASE TRAP E.D. + 2ND STORY OPEN TERRACE 930 SQ. FT.

III. IDENTIFICATION - To be completed by all applicants		
NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee <u>ARON KADOSH</u>	<u>1181 HARBOR RD. HEWLETT NY 11557</u>	<u>347 234-3004</u>
2. Contractor <u>FHS</u>		
3. Architect or Engineer <u>THOMAS D. REILLY</u>	<u>4 BEZEL LANE SMITHTOWN, NY 11787</u>	<u>631 724-5140</u>

IV. OWNER - CONTRACTOR STATEMENT	V. FLOOD ZONE
Building permit is issued subject to the provisions of Section 67 of the Workmen's Compensation Law. Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____ Contractor or Owner _____ (Print) Address _____ Phone _____ State of New York County of Nassau <u>ARON KADOSH</u> being duly sworn, says that <u>He</u> is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of <u>HIS</u> knowledge and belief and agrees to conform to all applicable laws of this State.	IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES <input checked="" type="checkbox"/> NO _____ IF YES, WHICH ZONE? _____ IS PROJECT TO REPAIR FLOOD DAMAGE? YES _____ NO _____ PROJECT DESCRIPTION Total/First Flr Square Feet <u>11507</u> Upper Flrs Square Feet <u>930</u>



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SEC. 62 BLK. 177 LOT. 53A

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
Of
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH
ORIGINAL NOTES

The application of ARON KADOSH 147 WOODLEFT AVE. FREEPORT, NY

respectfully states and alleges:

Strike out
inapplicable
phrase

1. That the applicant (resides at) (has its principal office for the conducting of its business at)
990 MOTOR PKWY. CENTRAL ISLIP, NY 11722

State whether
applicant is owner,
lessee, or has option
or contract. If other
than owner, state
briefly terms of
agreement.

2. That the premises affected by this application is located at 147 WOODLEFT AVE. FREEPORT, NY 11520 Land Map of Nassau County Sec. 62 Blk. 177 Lot(s) 53A
and that the interest which the applicant has in the property concerned is that of
VARIANCE OF REQUIRED YARDS AND PARKING SPACES

3. That (the applicant) (the applicant's duly authorized ROBERT RAMIREZ) on or about the
12 day of MARCH 2024, filed in the office of the Department of Buildings of the Village of
Freeport, New York, an application for a Building Permit. Documents filed with said application were
as follows:

PROPOSED 1 STORY SIDE ADDITION (224 S.F.) + 1 STORY ADDITION (169 S.F.) + 2ND STORY TERRACE (930 S.F.) + ROOF OVER DECK (424 S.F.) + WOOD SHADES (240 S.F.)

Obtain reason for
denial from
Department of
Buildings.

4. That on or about the 21 day of JUNE, 20 24, the Department of Buildings denied said
application; upon information and belief that the reason for said denial was as follows:

VILLAGE ORDINANCE 210-6A CONFORMITY REQD. + VILLAGE ORDINANCE 210-240 REQD. YARDS + VILLAGE ORDINANCE 210-172 REQD. PARKING SPACES

Describe by
construction and
number of stories. If
none, so state.

5. That the nature of the improvements now upon said premises is as follows:
COMMERCIAL BUSINESS

State nature of use of
property. If a
business, give brief
description.

6. That said premises are now being used as follows: COMMERCIAL BUSINESS

Describe fully and
clearly the use
desired.

7. That the applicant seeks authority to make use of said premises as follows:
TAKE OUT FOOD

Strike out whichever
word is not
applicable. Follow
language in
ordinance.

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by
virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the
State of New York CODE 210-6A
CODE 210-240
CODE 210-172

Refer where possible
to paragraphs and
section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the
application involves a subdivision of property, describe the existing property:
N/A

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

10. That the grounds for this application are as follows:

COMMERCIAL BUSINESS

11. That any deed restrictions running with the land prohibiting the desired use are as follows:

NO

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: JULY 3RD, 20 24.

[Signature]

BY: _____
ITS: _____

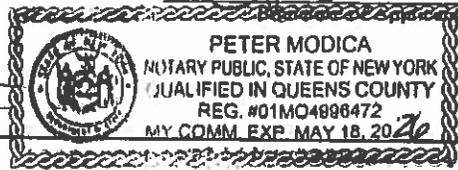
If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York)
County of Nassau) ss:

The applicant ROBERT RAMIRO named in the foregoing application, being duly sworn, depose and say that I read the foregoing application subscribed by MYSELF and know the contents thereof; and that the same is true to MYSELF own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters MYSELF believe MYSELF to be true.

Sworn to before me this 3rd day
of July, 20 24.

Notary Public _____



**Notice
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

JULY 3RD, 20 24.
Date Year

[Signature]
Signature

Affidavit of Owner

To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:

I AARON KADOSH being duly sworn, depose and say:

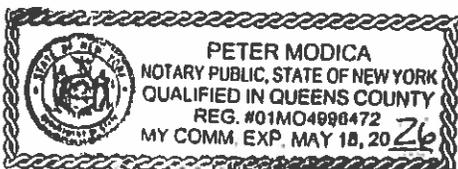
That he/she (the owner of 147 WOODCLEFT AVE (is the _____ of FREEPORT, NY 11520 the property concerned is correct to the best of the knowledge of deponent _____.)

That the owner AARON KADOSH consents to the granting of the authority sought in the above application.

Sworn to before me this 3rd day
of July, 20 24.

Notary Public _____

[Signature]
Signature



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VILLAGE OF FREEPORT, NY

Tuesdays

Carbide Bakery Take Out & Delivery

516-632-0091



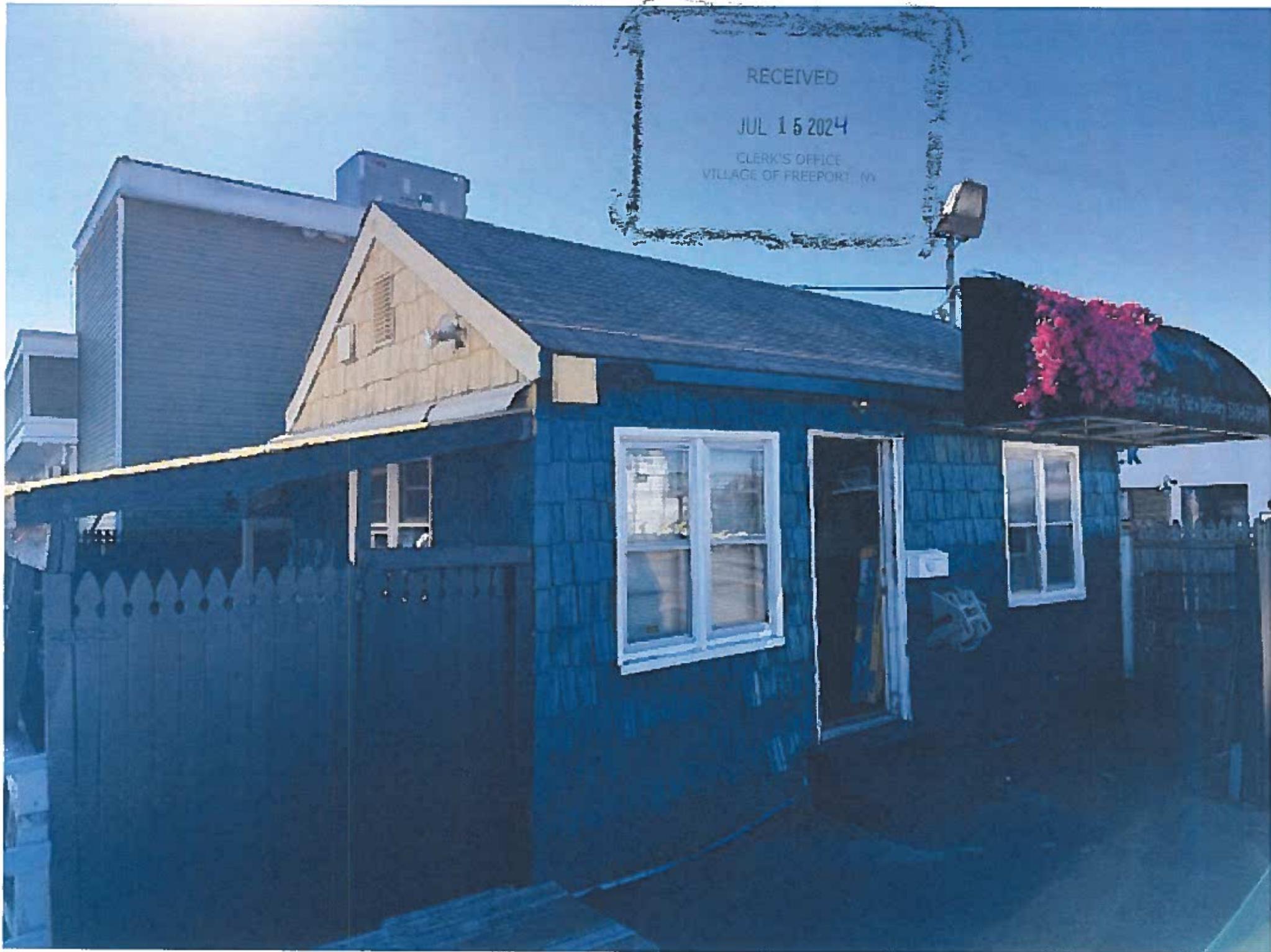
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BELOW-CURTAIN
AVAILABLE

RESERV FOR
CUSTOMER
PARKING
PERMITS
LIMIT



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VILLAGE OF FREEPORT, NY



AVAILABLE
STATION

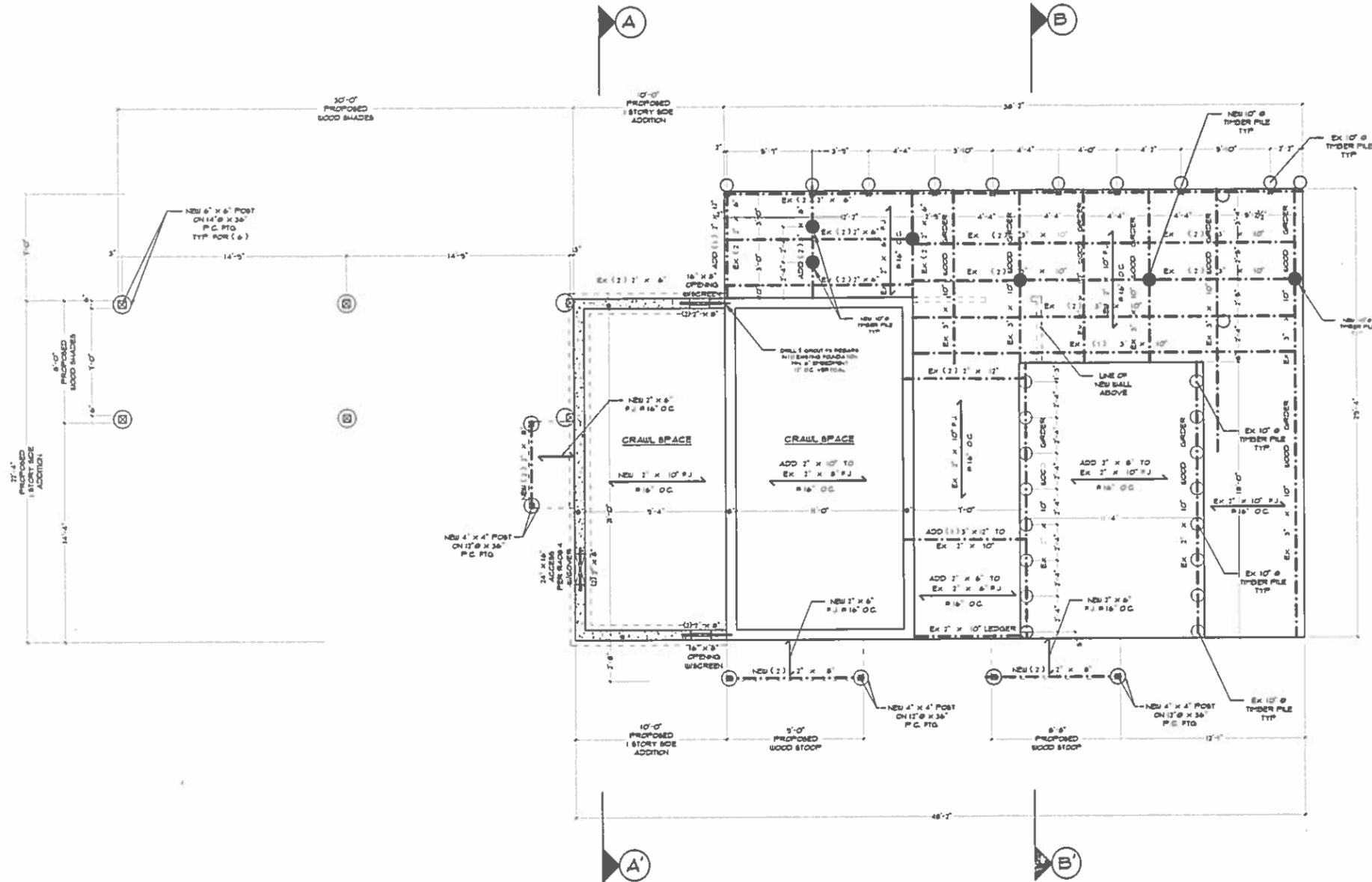


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VILLAGE OF FREEPORT, NY





PROPOSED FOUNDATION FLOOR PLAN
SCALE: 1" = 1'-0"

- LEGEND:**
- EXISTING WALL
 - NEW WALL
 - ▨ BEARING WALL
 - - - - WALL TO REMOVE
 - ⊙ SD SMOKE DETECTOR
 - ⊙ CMO CARBON MONOXIDE DETECTOR
 - ⊗ EXHAUST FAN 50 CFM
 - EXISTING 10" TIMBER PILE
 - NEW 10" TIMBER PILE

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NOTE:
ALL NEEDED REPAIRS INDICATED IN REPORT BY CHCE DATED 3-21-23 WILL BE IMPLEMENTED DURING CONSTRUCTION WORK.

ZONING ANALYSIS

ZONE MARINE COMMERCE DISTRICT
RESTAURANT - PERMITTED USE (210-2314)

HEIGHT: (LESS THAN 40 FEET)

REAR YARD: (LESS THAN 60 FEET DEPTH) NO REAR YARD REQUIRED

FRONT YARD: 5 FEET REQUIRED 10' PROVIDED

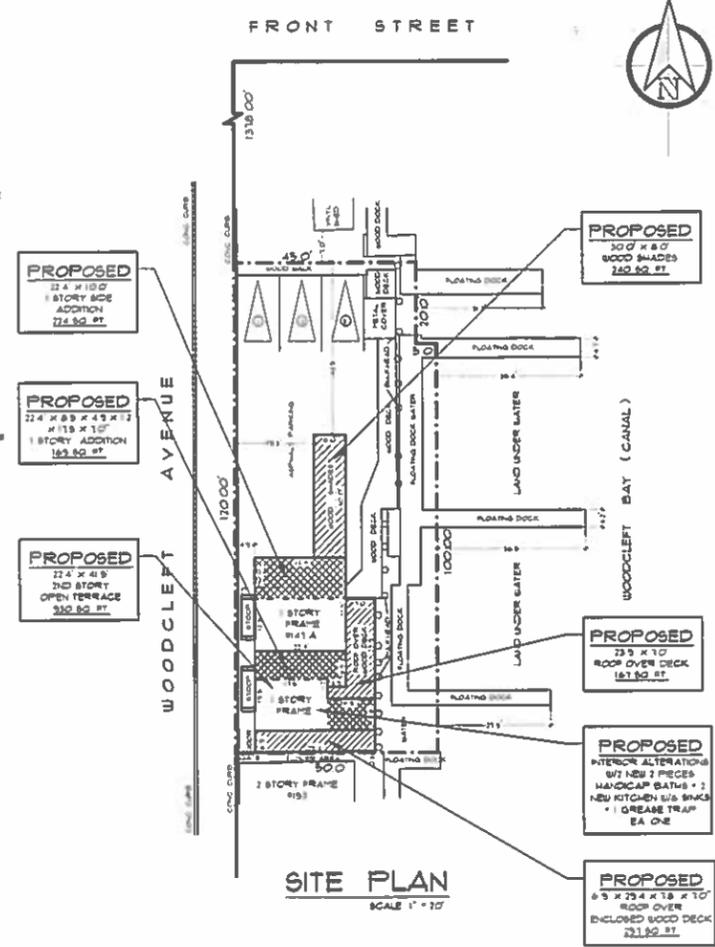
SIDE YARD: 5 FEET REQUIRED 0' PROVIDED

PARKING SPACE REQUIRED:

- CUSTOMERS (12 • 20 X3 = 11)

TOTAL = 11 REQUIRED
3 PROVIDED

PERCENTAGE OF LOT OCCUPANCY = 1601 FT²/5500 = 29% < 50% ok.



SITE PLAN
SCALE: 1" = 10'



REVISED:
DATE: 6-4-24
SCALE: 1" = 1'-0"
DRAWN BY: ANDESBAN TAYLORS
PROJECT NO: 07-1024

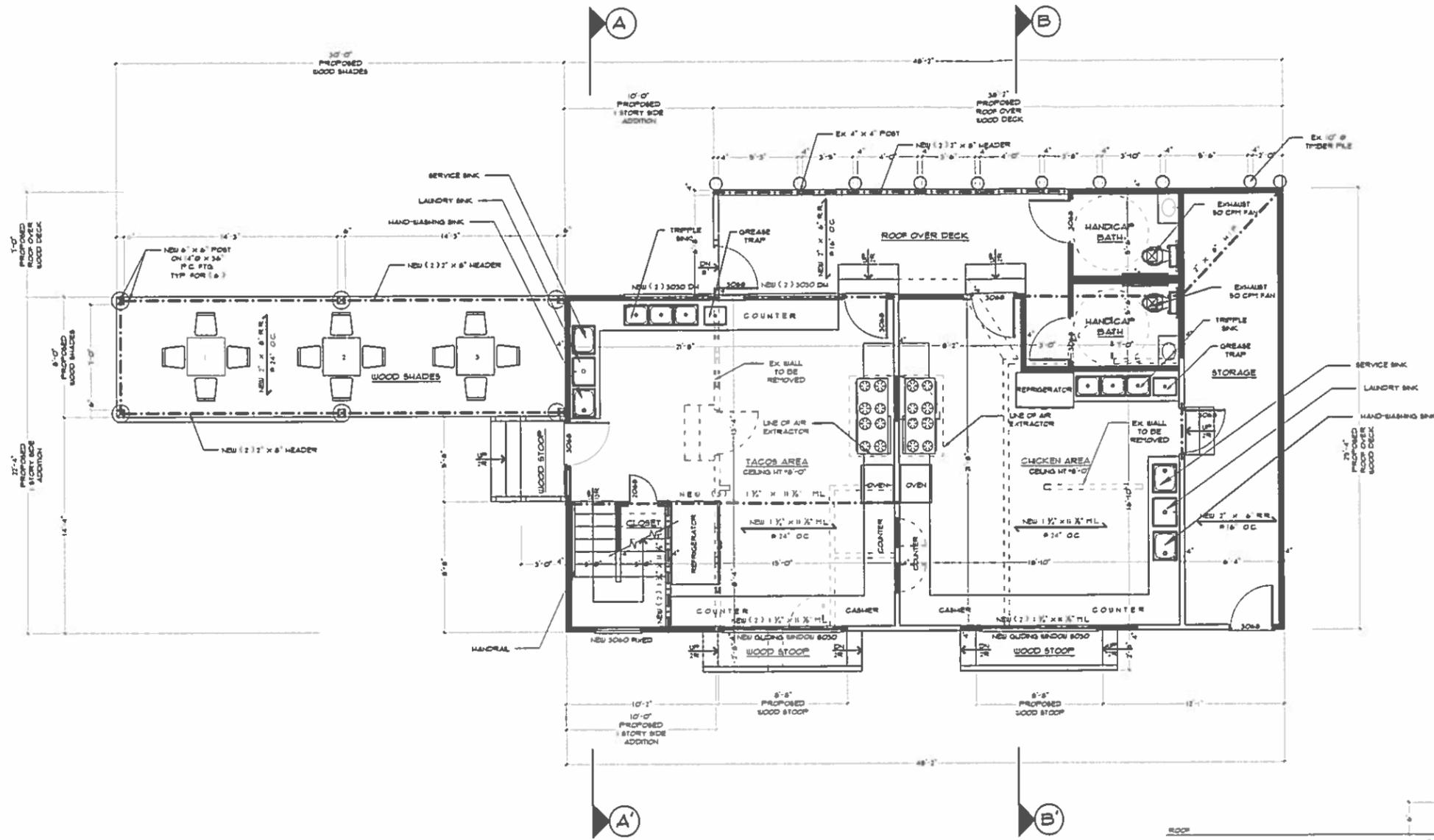
R.A.R. DESIGN & DRAFTING SERVICES
ROBERT RAMIREZ
890 MOTOR HIGHWAY
CENTRAL BLDG. NY 11722
TEL: (609) 245-7881
OFFICE: (609) 549-4294
EMAIL: PASTOR@RAREDESIGN.COM

THOMAS D. REILLY, P.E.
CONSULTING ENGINEER
4 BEZEL LANE
SMITHTOWN, NY 11787
TEL: (609) 704-5140
EMAIL: TDREILLY@PE.COM

PROJECT: KADOSH FAST FOOD
1474 WOODCLEFT AVE
FREEPORT, NY 11520
EMAIL: AARON@KADOSHFASTFOOD.COM

TITLE: FOUNDATION PLAN AND SITE PLAN

DRAWING NO:
1 OF 5



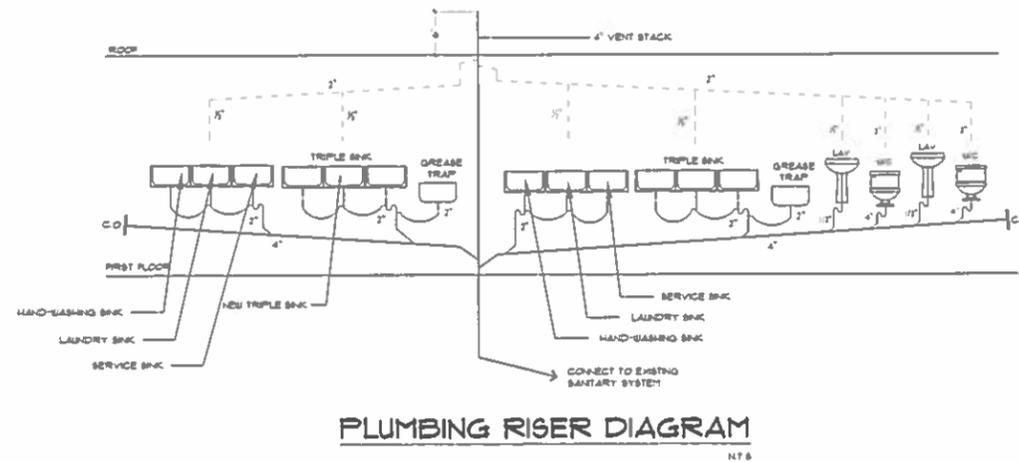
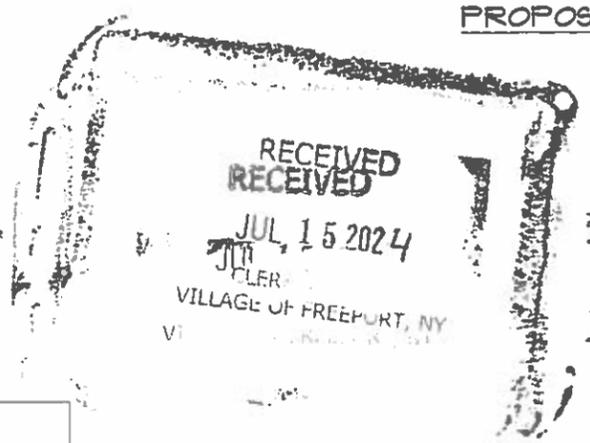
PROPOSED FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

LEGEND:

- EXISTING WALL
- NEW WALL
- ▤ BEARING WALL
- - - - - WALL TO REMOVE
- ⊕ SMOKE DETECTOR
- ⊙ CHD CARBONE MONOXIDE DETECTOR
- ⊗ EXHAUST FAN 50 CFM
- EXISTING 10" TIMBER PILE
- NEW 10" TIMBER PILE

NOTE:

ALL NEEDED REPAIRS INDICATED IN REPORT BY CMCE DATED 5-21-23 WILL BE IMPLEMENTED DURING CONSTRUCTION WORK.



PLUMBING RISER DIAGRAM
NT 6



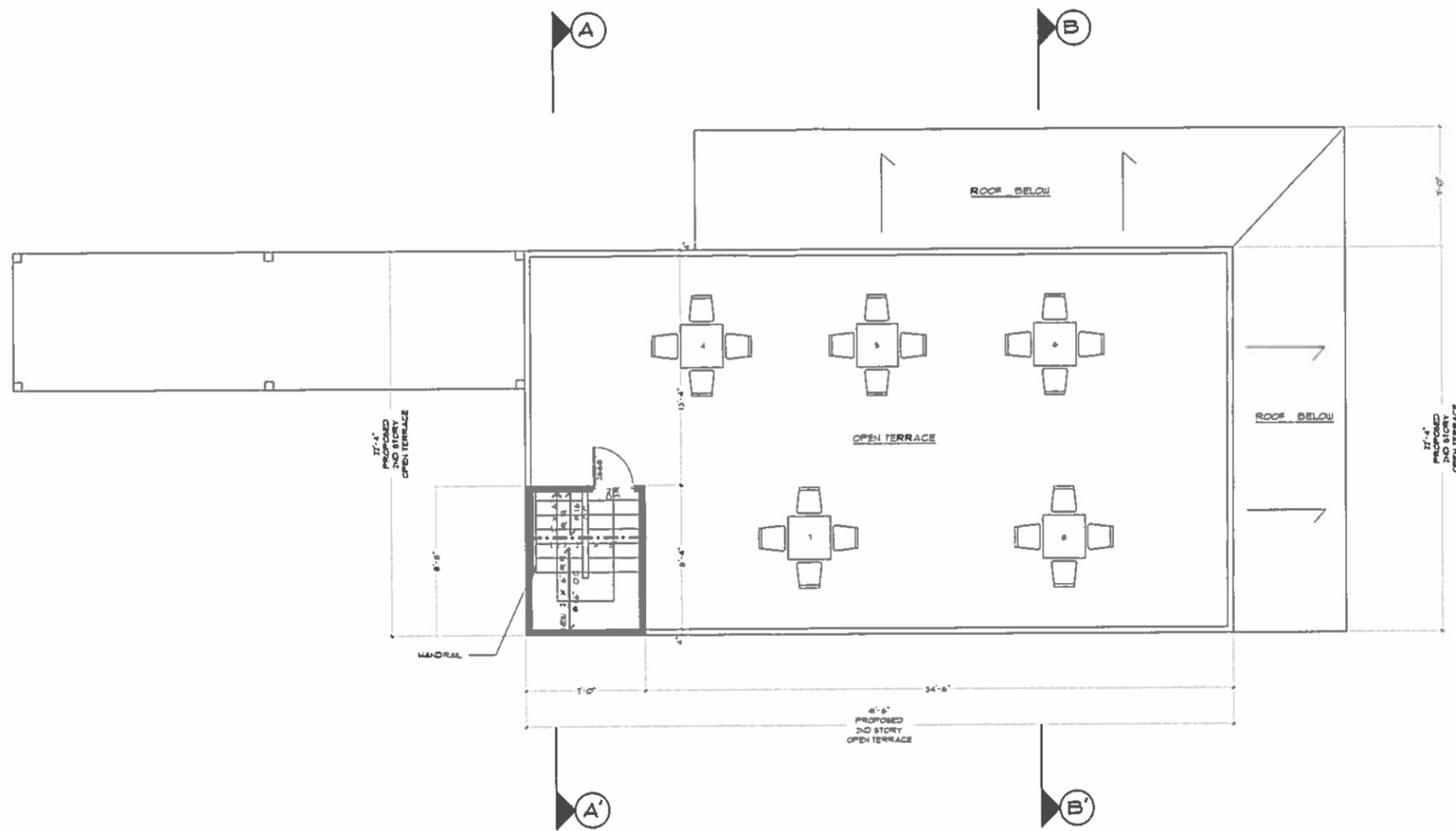
REVISED:
DATE: 9-14-24
SCALE: 1/4" = 1'-0"
DRAWN BY: ARISTARH TAVRAS
PROJECT NO: 07-2024

R.A.R. DESIGN & DRAFTING SERVICES
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990 MOTOR HIGHWAY
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TEL: (631) 724-5140
EMAIL: TDREILLY@DRPE.COM

PROJECT: KADOSH FAST FOOD
141A WOODCLEFT AVE
FREEPORT, NY 11520
EMAIL: AARON@KADOSHMAIL.COM
TITLE: FIRST FLOOR PLAN AND PLUMBING RISER DIAGRAM

DRAWING NO:
2 OF 5



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- LEGEND:**
- EXISTING WALL
 - NEW WALL
 - ▤ BEARING WALL
 - - - - - WALL TO REMOVE
 - ⊕ SMOKE DETECTOR
 - ⊙ CO2 CARBON MONOXIDE DETECTOR
 - ⊗ EXHAUST FAN 50 CFM
 - EXISTING 10"Ø TIMBER PILE
 - NEW 10"Ø TIMBER PILE

NOTE:
ALL NEEDED REPAIRS INDICATED IN REPORT BY CMCE DATED 9 - 21 - 23 WILL BE IMPLEMENTED DURING CONSTRUCTION WORK.

RECEIVED
JUL 15 2024
CL. 5 OFFICE
VILLAGE OF FREEPORT, NY



REVISED:
6 - 21 - 24

DATE: 6 - 4 - 24
SCALE: 1/4" = 1'-0"
DRAWN BY: ARISTEBAL TAVERAS
PROJECT NO: 07-2024

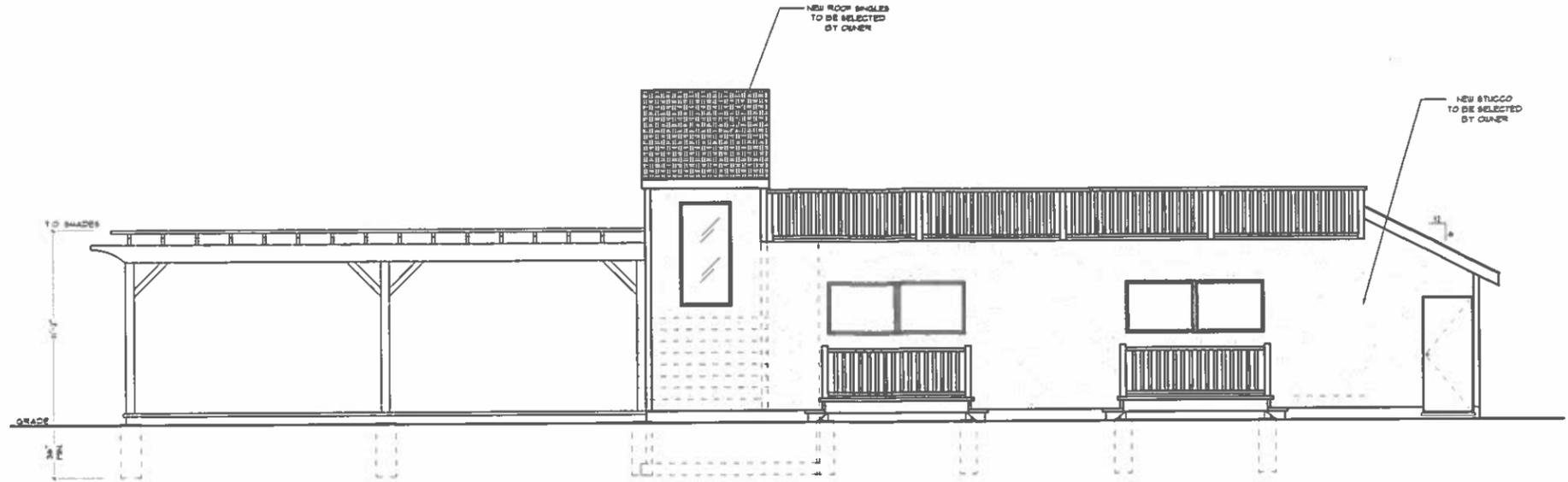
R.A.R. DESIGN & DRAFTING SERVICES
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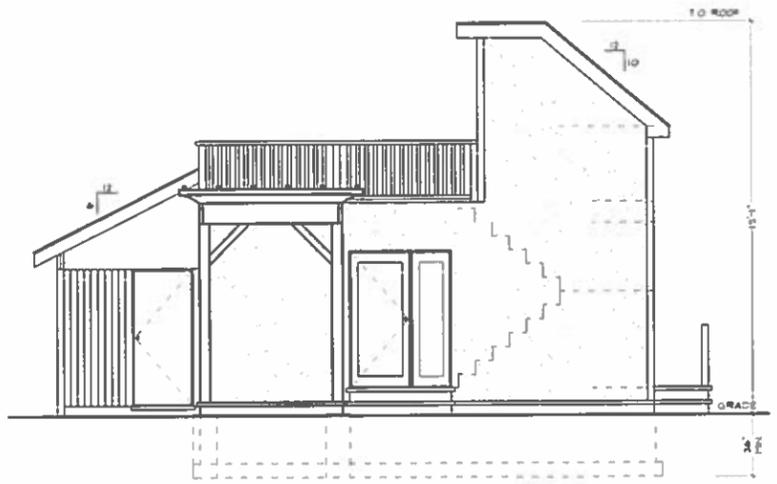
PROJECT:
KADOSH FAST FOOD
147A WOODCLEFT AVE
FREEPORT, NY 11520
EMAIL: AARON@KADOSHMAIL.COM

TITLE:
SECOND FLOOR PLAN

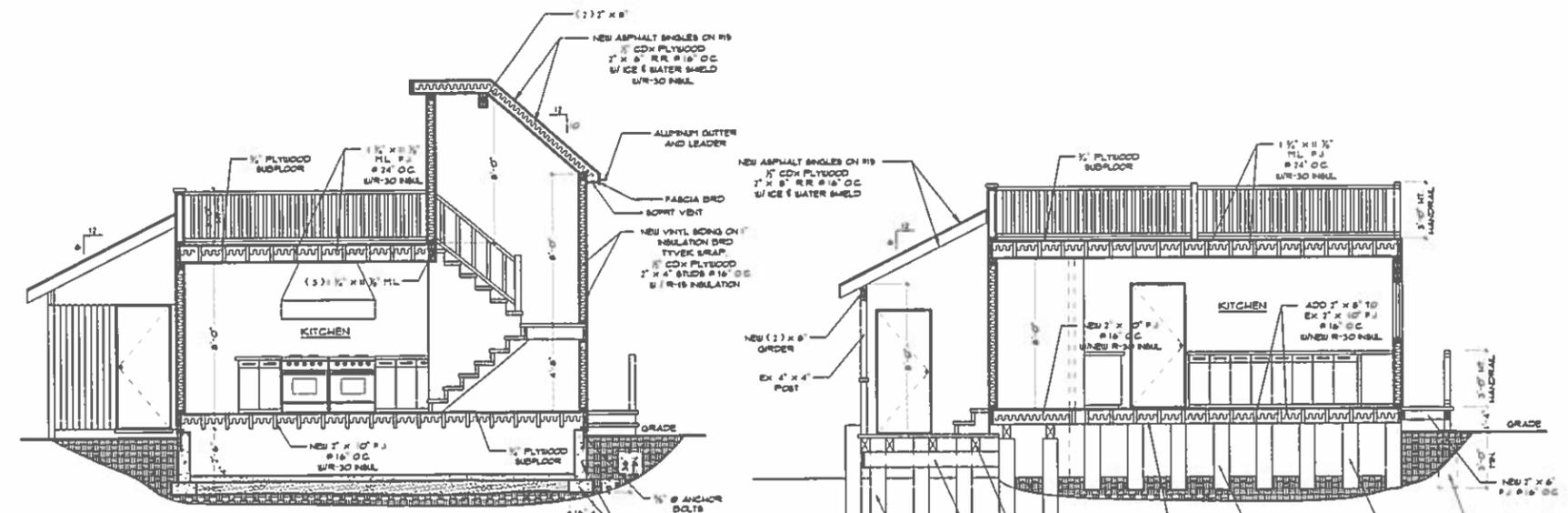
DRAWING NO.
3 OF 5



FRONT ELEVATION
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"



SECTION A-A'
SCALE 1/4" = 1'-0"

SECTION B-B'
SCALE 1/4" = 1'-0"

NOTE:
ALL NEEDED REPAIRS INDICATED IN REPORT BY CMCE DATED 9-21-23 WILL BE IMPLEMENTED DURING CONSTRUCTION WORK.

RECEIVED
JUL 15 2024
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



REVISED: _____
DATE: 6-4-24
SCALE: 1/4" = 1'-0"
DRAWN BY: _____
PROJECT NO: 07-1024

R.A.R. DESIGN & DRAFTING SERVICES
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SMITHTON, NY 11787
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EMAIL: TDRE@DRPEL.COM

PROJECT: **KADOSH FAST FOOD**
147A WOODCLEFT AVE
FREEPORT, NY 11520
EMAIL: AARON@KADOSHARCH.COM
TITLE: **ELEVATIONS AND SECTION**

DRAWING NO:
4 OF 5

FASTENING SCHEDULE (R602.3(1))

(PER 2020 RESIDENTIAL CODE OF NEW YORK STATE)

JOINT DESCRIPTION	NUMBER OF COMMON NAILS	NAIL SPACING
ROOF FRAMING		
1. BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	3-8d	TOE NAIL
2. CEILING JOIST TO TOP PLATE	3-8d	PER JOIST, TOE NAIL
3. CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS [SEE SECTIONS R602.3.1 R602.3.2 AND TABLE R602.5.1(9)]	3-16d	FACE NAIL
4. CEILING JOIST ATTACHED TO PARALLEL RAFTER (HEEL JOINT) [SEE SECTIONS R602.3.1 R602.3.2 AND TABLE R602.5.1(9)]	PER TABLE R602.5.1(9)	FACE NAIL
5. COLLAR TIE TO RAFTER	3-10d	FACE NAIL EACH RAFTER
6. RAFTER OR ROOF TRUSS TO PLATE	3-10d	2 TOE NAILS ON ONE SIDE AND 1 TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER/TRUSS
WALL FRAMING		
8. STUD TO STUD (NOT AT BRACED WALL PANELS)	16d	24" O.C. FACE NAIL
9. STUD TO STUD AND ABUTTING STUDS AT INTERESTING WALL CORNERS (AT BRACED WALL PANELS)	16d	16" O.C. FACE NAIL
10. BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2" SPACER)	16d	16" O.C. EACH EDGE FACE NAIL
11. CONTINUOUS HEADER TO STUD	4-8d	TOE NAIL
12. TOP PLATE TO TOP PLATE	16d	16" O.C. FACE NAIL
13. TOP PLATE TO TOP PLATE, AT END JOINTS	6-16d	FACE NAIL ON EACH SIDE OF END JOINT (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT)
14. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16d	16" O.C. FACE NAIL
15. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANELS)	2-16d	(2) EACH 16" O.C. FACE NAIL
16. TOP OR BOTTOM PLATE TO STUD	4-8d	TOE NAIL
17. TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	2-16d	END NAIL
18. 1" BRACE TO EACH STUD AND PLATE	2-8d	FACE NAIL
19. 1"x6" SHEATHING TO EACH BEARING	2-8d	FACE NAIL
20. 1"x8" AND WIDER SHEATHING TO EACH BEARING	3-8d	FACE NAIL
FLOOR FRAMING		
21. JOIST TO SILL, TOP PLATE OR GIRDER	3-8d	TOE NAIL
22. RIM JOIST, BAND JOIST, OR BLOCKING TO SILL OR TOP PLATE OR OTHER FRAMING BELOW	8d	6" O.C. TOE NAIL
23. 1"x6" SUBFLOOR OR LESS TO EACH JOIST	2-8d	FACE NAIL
24. 2" SUBFLOOR TO JOIST OR GIRDER	2-16d	BLIND AND FACE NAIL
25. 2" PLANKS (PLANK AND BEAM - FLOOR AND ROOF)	2-16d	EACH BEARING, FACE NAIL
26. BAND OR RIM JOIST TO JOIST	3-16d	END NAIL
27. BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS	20d	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND "STAGGERED"
28. LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3-16d	AT EACH JOIST OR RAFTER, FACE NAIL
29. BRIDGING TO JOIST	2-10d	EACH END, TOE NAIL
		EDGES (INCH.)
30. 3/4" - 1/2"	6d (SUBFLOOR, WALL), 8d (ROOF)	6
31. 1/2" - 1"	8d	6
32. 1 1/4" - 1 1/2"	10d	6
OTHER WALL SHEATHING		
33. 1/2" STRUCTURAL CELLULOSE FIBERBOARD SHEATHING	3	6
34. 3/4" STRUCTURAL CELLULOSE FIBERBOARD SHEATHING	3	6
35. 1/2" GYPSUM SHEATHING	7	7
36. 5/8" GYPSUM SHEATHING	7	7
WOOD STRUCTURAL PANEL COMBINATION SUBFLOOR UNDERLAYER TO FRAMING		
37. 3/4" AND LESS	8d	6
38. 3/4" - 1"	8d	6
39. 1 1/4" - 1 1/2"	10d	6

*SEE TABLE R602.3(1) IN IRC FOR ALTERNATE FASTENING REQUIREMENTS.

WINDOW NOTE FOR LOCATIONS WITHIN ONE MILE OF SHORELINE:

All new windows and glass doors shall meet the requirements of the large missile test of ASTM 1996 and or ASTM E 1886. The Contractor shall provide pre-cut 1/2" plywood panels to cover the glazed openings & shall pre-drill edges at 12" or to accept 2-1/2" #8 wood screws and provide adequate number of screws for fastening.

CODE ANALYSIS

PERMANENCY: Residential-Single Family Detached

APPLICABLE STANDARDS: Plans are in compliance with 2020 Residential Code of New York State and ASCE 7-16

DESIGN LOADS:
 Decks/Balconies: 60 psf
 Attics: 20 psf
 Rooms other than Sleeping Rooms: 40 psf
 Sleeping Rooms: 30 psf
 Stairs: 40 psf
 Hazardous: 200#
 Roof: 20 psf ground snow load
 Basic Wind Speed: 130 mph
 Uplift: 31 psf
 Dead Load: 10 psf

DEFLECTION LIMITS:
 Rafters with no finished ceiling attached: L / 180
 Floors: L / 360

ENERGY NOTES

- Calculations are valid up to 5900 degree days.
- Cellulose insulation for Zone 11B.
- Wood framed floors, walls and ceilings shall have an approved vapor barrier (permeance rating of 1.0 perm) installed on the "warm" or "interior" side of thermal insulation.
- Windows and sliding doors shall have a max. air infiltration rating of 0.3 CFM per square foot of window area. Sliding doors shall have a max. air infiltration rate of 0.5 CFM per square foot of door area.
- Single sheets shall have a minimum insulation value of R-19.
- Corrogs - front, sides, doors, interior shall have max. U=0.40.
- All windows shall be provided with a damper for outside combustion air (150-200 CFM). All doors shall have tight sealed damper with a max. air leakage of 20 CFM. All replacements shall have tight-fitting non-combustible doors.
- The Contractor shall submit the design, size and type of mechanical systems which will be used, in sufficient detail, as required by the Building Department.
- All thermostats shall be adjustable from 55 degrees to 85 degrees Fahrenheit.
- All ducts and pipes shall be insulated as required by code.
- HVAC Contractor shall verify heat loss calculations.
- All boiler and/or basement doors shall be insulated.
- The Engineer certifies that to the best of his knowledge, belief, and professional judgment that the plans are in compliance with the Energy Conservation Construction Code of New York State 2020.

SAFETY GLASS REQUIREMENTS

- SAFETY GLASS REQUIRED AT THE FOLLOWING LOCATIONS:**
- Any glazing in any door type.
 - Glazing in any walls enclosing a shower, tub, sauna or steam room.
 - Any windows within 24" of a door.
 - Any individual pane of glass with an area greater than 9.0 sq. ft. where the bottom is less than 18" above the adjacent finish floor within 36" of the window.
 - Glazing in walls of hot tubs or indoor pools within 5'-0" of the water.
 - Glazing in stairways and landings within 5'-0" horizontally of a walking surface.
- * THE REQUIREMENT DOES NOT APPLY IF THE BOTTOM EDGE OF THE GLASS IS MORE THAN 60" ABOVE THE FLOOR.

ASPHALT ROOF SHINGLE NOTES

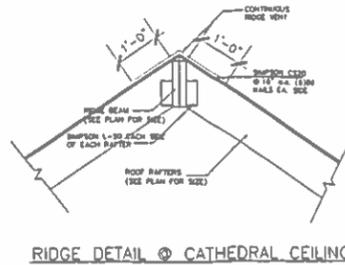
- Asphalt roof shingles shall have self-sealing strips or shall be interlocking and shall comply with the requirements of ASTM D-225 or D-346, installed in accordance with section R602.2.
- All fasteners for asphalt roof shingles shall be galvanized steel, stainless aluminum, or copper roofing nails. Fasteners shall be minimum 12 gauge shank with a minimum 3/8" dia. head, and of sufficient length to penetrate through the roofing materials and the sheathing.
- Asphalt roof shingles shall have the maximum number of fasteners as required by the manufacturer.
- For normal applications, asphalt roof shingles shall be secured to the roof with no less than four (4) fasteners per strip shingle or two (2) fasteners per individual shingle.
- Asphalt strip shingles shall have a minimum of six (6) fasteners per shingle where the eave is 20 feet or higher above grade or where the base wind speed is 120 mph or greater.

GENERAL CONSTRUCTION NOTES

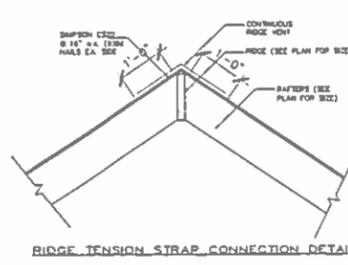
- All work shall conform to the requirements of the 2020 New York State Residential Code. All work shall also conform to the requirements of any other Codes and authorities having jurisdiction. The Contractor shall obtain and arrange for all required permits, inspections, certificates and tests.
- All handrails shall rest on undisturbed soil at 1 1/2" bearing capacity; contractor shall have the level of acceptable bearing strata verified in the field.
- Concrete has been designed in accordance with ACI 318-14 "Building Code Requirements for Structural Concrete". All concrete work shall conform to requirements and recommendations of ACI-308-16 "Specifications for Structural Concrete for Buildings" (C = 3000 psi). All exposed walls, garage slabs, and steps shall be 3000 psi air-entrained. Reinforcing steel shall conform to ASTM A-615 Grade 60.
- All framing members shall be Hem-Fir #1 (Fb = 875psi); provide (2) 2x8 header over all wall openings, unless otherwise noted.
- Members, girders (W4), shall be laminated veneer lumber with E=2,000,000 PSI; Fb = 2,800 PSI, as manufactured by TRUS-JOIST SYSTEM.
- Double frame around all openings, under parallel walls and under bathtubs. Provide Simpson hanger connections at all beam structural load bearing conditions.
- All concrete block shall conform to ASTM C90; Mortar shall be type "M".
- All steel work shall conform to the requirements of the AISC "Specifications for Design, Fabrication and Erection of Structural Steel for Buildings". Steel shall conform to ASTM A-36 (GRADE 50) and A-501.
- All electrical work shall conform to local NEC and Underwriters Laboratory requirements.
- Pre-fabricated Trusses and Rafters shall be UL approved.
- Install smoke detectors and carbon monoxide detectors in accordance with all state and local code requirements.
- The Contractor shall verify all existing conditions before starting construction and shall notify the engineer of any ambiguities or discrepancies before proceeding with the work. If any questions arise before or during construction as to the intent or details of the drawings, the contractor shall call the engineer, Thomas D. Reilly, at (931) 724-5740 for clarification and/or instructions. If the contractor fails to follow the above procedure, he shall assume all responsibility for the consequences of his actions and/or decisions.
- The owner shall arrange for supervision of the construction work to insure compliance with the contract documents.
- When using ACQ pressure treated lumber all nails, screws, all plates and end straps must be hot dipped galvanized or stainless steel fasteners.

EGRESS WINDOW SCHEDULE (ALL SLEEPING ROOMS)

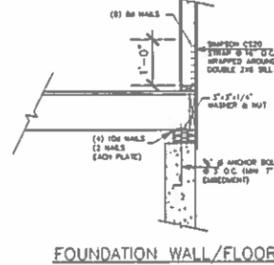
FLOOR	ROOM NAME	EXIST. CLEAR OPENING	PROPOSED (S.F.)
FIRST		5.0	
SECOND		3.7	
THIRD		3.7	



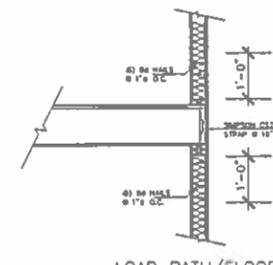
RIDGE DETAIL @ CATHEDRAL CEILING



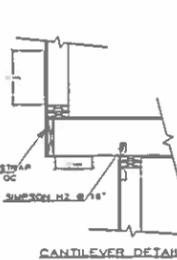
RIDGE TENSION STRAP CONNECTION DETAIL



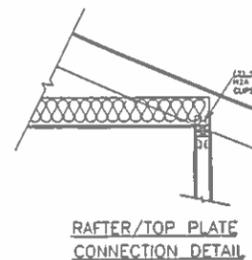
FOUNDATION WALL/FLOOR FRAMING DETAIL



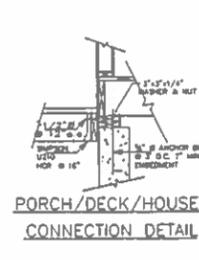
LOAD PATH/FLOOR FRAMING DETAIL



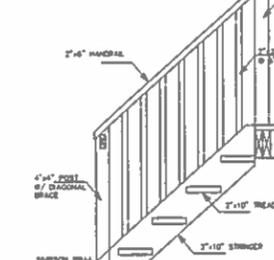
CANTILEVER DETAIL



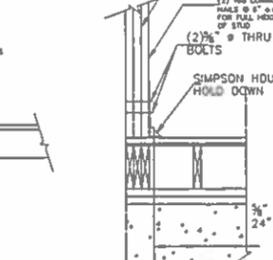
RAFTER/TOP PLATE CONNECTION DETAIL



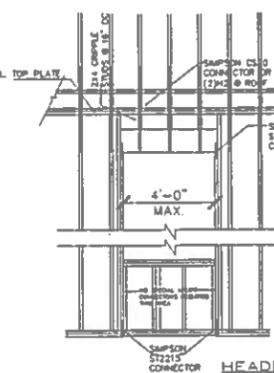
PORCH/DECK/HOUSE CONNECTION DETAIL



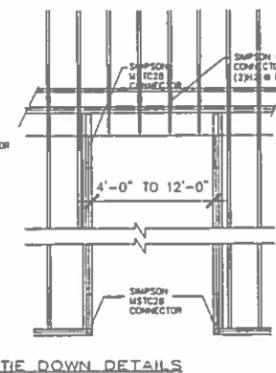
STAIR/RAILING DETAIL



FIRST FLOOR SHEARWALL HOLDDOWN



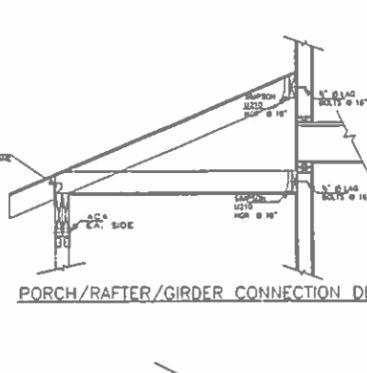
HEADER TIE DOWN DETAILS



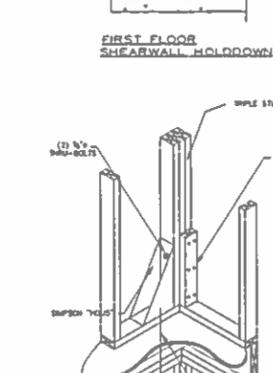
PORCH/RAFTER/GIRDER CONNECTION DETAIL



4x4 POST CONNECTION DETAILS



FOOTING DETAIL



SECOND FLOOR SHEARWALL HOLDDOWN

REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES (R602.3(3))

(PER 2020 RESIDENTIAL CODE OF NEW YORK STATE)

MINIMUM COMMON NAIL SIZE	MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (in)	MAXIMUM WALL STUD SPACING (in)	PANEL NAIL SPACING		ULTIMATE DESIGN WIND SPEED (mph)		
				EDGES ("O.C.)	FIELD ("O.C.)	W	C	D
6d	1.5	24/0	16	6	12	140	115	110
8d	1.75	24/16	16	6	12	170	140	135
			24	6	12	140	115	110

TABLE R 302.7 (3) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN		SUSJECT TO DAMAGE FROM WEATHERING	PROT LINE DEFN	TERRS	ICE BARRER UNDERLYMENT REQUIRED	FLOOD HAZARD	AIR PRESSURE ZONE	HEB ANGLE TEMP
	SPEED (mph)	TOPOGRAPHIC EFFECTS							
30 PSF	140	40	NO	NO	NO	NO	NO	NO	NO



REVISIONS:
 DATE: 6-4-24
 SCALE: 1/8" = 1'-0"
 DRAWN BY: AMERICAN ENGINEERS
 PROJECT NO: 24-0074

R.A.R. DESIGN & DRAFTING SERVICES
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 SMYTHOUN, NY 11781
 TEL: (631) 724-5740
 EMAIL: TDREILLY@PELCON

PROJECT: KADOSH FAST FOOD
 114 WOODGETT AVE
 FREEPORT, NY 11520
 EUNY@KADOSHFASTFOOD.COM
 KADOSH'S OFFICE
 LARGE OF FREEPORT, NY
 STRUCTURAL DRAWINGS AND NOTES

RECEIVED

DRAWING NO: 5 OF 5



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2024 NOV 14 A 10:50

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

September 26, 2024
LETTER OF DENIAL

David Riemer
691 S Bayview Ave
Freeport, NY 11520

RE: **691 S Bayview Ave, Freeport, NY**
Zoning District – Residence A Sec. 62 Blk. 187, Lot 13
Building Permit Application #20243871
Description – Construct new (4,829.71SF) 3-story house with attached garage, 2 front balconies (42.6 SF each), 2 rear decks (188.94 SF & 189.09 SF) and maintain hot tub.

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-39. Building height; sky exposure plane.

A. No dwelling shall exceed 35 feet in height nor have more than three stories, and no structure of any kind shall be erected to a height in excess of 40 feet, except that this provision shall not apply to restrict the height of a church spire or belfry or of a monument, flagpole, water tank, elevator bulkhead, or stage tower or home television or radio receiving aerial. No building shall penetrate the sky exposure plane, except for those portions as permitted in § 210-3. No accessory building and/or detached garage shall exceed 15 feet in height if erected with a roof pitched less than six units vertically to 12 units horizontally, and 20 feet in height if erected with a roof pitched six units vertically to 12 units horizontally or steeper.

Village Ordinance §210-40. Lot area; street frontage; lot width.

No building shall be erected on a lot whose area is less than 5,000 square feet the drawings submitted indicates that this property is 3,995 SF, you will be seeking a variance of 1,005 SF and on any lot which has a street frontage of less than 50 feet and on any lot whose width is less than 50 feet at a point between the side lines from the front property line to the rear building line of the proposed structure. The drawings submitted indicates that the street frontage is 43'. You will be seeking a variance of 7'.

Village Ordinance §210-41. Lot coverage; floor area ratio.

The principal building on any lot shall not cover more than 30% of the lot area, and no more than an additional

10% of the total area of the lot may be used for the erection of an accessory building(s) and/or detached garage with the aggregate maximum lot coverage of said accessory building(s) and/or detached garage to be limited to a maximum of 500 square feet, and no more than an additional 5% of the total area of the lot may be used for the erection of an unenclosed porch with the aggregate maximum lot coverage of said porch to be limited to a maximum of 250 square feet. The floor area of the principal building shall not exceed a floor area ratio of 50% of the lot area. The drawings submitted indicates that the lot area is 48.18% when only 30% is permitted. The floor area of the building is 4,892.71 and only 1,997.5 is allowed. You will be seeking a variance of 2,895.21.

Village Ordinance §210-43. Required yards.

A. Yards of the following depths or widths shall be provided for the principal building on the lot:

(1) Front yard depth: minimum 20 feet or the average depth of all residential front yards on the same side of the street within two hundred 200 feet in either direction, whichever is greater, but in no case more than 40 feet. The drawings submitted indicates that the front yard is 7'-8 3/4" including the attached front decks. You will be seeking a variance of 12'-3 1/4".

(2) Rear yard depth: minimum 20 feet or 20% of the lot depth, whichever is greater, with the exception that for lots abutting canals and other navigable bodies of water, the rear yard depth shall equal the average depths of all residential rear yards abutting the water on the same side of the canal or navigable body of water within 200 feet in either direction or 20 feet measured landwards of the average line of the bulkhead, whichever is greater, or, if no bulkhead exists, measured 20 feet landwards of the rear property line, whichever is greater. The drawings submitted indicates that the rear yard is 6'-9 1/8" including the attached rear decks. You will be seeking a variance of 13'-2 7/8".

C. Yards of the following depths or widths shall be provided for accessory buildings, detached garages, accessory structures, barbecue pits, and breezeways on the lot:

(2) Rear yard depth: minimum five feet, except for lots which abut canals or navigable waters, a minimum depth of 20 feet measured landwards of the average line of the bulkhead shall be provided; if no bulkhead exists, measured 20 feet landwards of the rear property line. The drawings submitted indicates that the hot tub is 10" off the bulkhead. You will be seeking a variance of 19'-2" for the hot tub.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-2202 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only

ONE complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the VILLAGE CLERK'S OFFICE at 377-2202

Very truly yours,



Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez

SITE PLAN APPROVAL NEEDED: YES

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20243871

Location: 691 S Bayview Ave

Applicant: David Riemer

Description: Construct new (4,829.71SF) 3-story house with attached garage, 2 front balconies (42.6 SF each), 2 rear decks (188.94 SF & 189.09 SF) and maintain hot tub.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: September 26, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.



SEC. 62 BLK. 187 LOT. 13

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
Of
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH
ORIGINAL NOTES

Strike out
inapplicable
phrase

State whether
applicant is owner,
lessee, or has option
or contract. If other
than owner, state
briefly terms of
agreement.

Obtain reason for
denial from
Department of
Buildings.

Describe by
construction and
number of stories. If
none, so state.

State nature of use of
property. If a
business, give brief
description.

Describe fully and
clearly the use
desired.

Strike out whichever
word is not
applicable. Follow
language in
ordinance.

Refer where possible
to paragraphs and
section by numbers.

- That the applicant (resides at) (has its principal office for the conducting of its business at) 6915 Bayview Ave
- That the premises affected by this application is located at 6915 Bayview Ave ¹¹⁵²⁰ Land Map of Nassau County Sec. 62 Blk. 187 Lot(s) 13 and that the interest which the applicant has in the property concerned is that of owner
- That (the applicant) (the applicant's duly authorized St) on or about the 16 day of May 20 24, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows: Flood Resistant Home, House Survey, Site plans Approval
- That on or about the 26 day of Sept, 20 24, the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows: Lot Area, ~~Wood~~ Floor Area coverage
- That the nature of the improvements now upon said premises is as follows: Wood Constn on pile with ~~Wood~~ Breakaway walls Single family
- That said premises are now being used as follows: Single Family Residence
- That the applicant seeks authority to make use of said premises as follows: Single Family Residence
- Upon information and belief that a (permit) (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York 210-6A 210-39 210-40
210-41 210-43
- That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property: Single Family Residence

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

10. That the grounds for this application are as follows: Fractal Difficult

11. That any deed restrictions running with the land prohibiting the desired use are as follows: None

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous preceding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: 7-11, 2024

BY: _____
ITS: _____

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York)
County of Nassau) ss:

The applicant DAVID B. RIEPER named in the foregoing application, being duly sworn, depose and say that _____ read the foregoing application subscribed by _____ and know the contents thereof; and that the same is true to _____ own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters _____ believe _____ to be true.

Sworn to before me this 4TH day
of NOV., 2024

Notary Public Peggy M. Lester

Peggy M. Lester
Notary Public, State of New York
No. 01LE6293122
Qualified in Nassau County
Commission Expires Nov. 25, 2025

**Notice
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

7-11, 2024
Date Year

David Rieper
Signature

Affidavit of Owner

To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:

I David Rieper being duly sworn, depose and say:

That he/she (the owner of 691 S Bayville Ave) (is the _____ of _____ the property concerned is correct to the best of the knowledge of deponent _____)

That the owner David Rieper consents to the granting of the authority sought in the above application.

Sworn to before me this 4th day
of November, 2024

Notary Public Amarilis Ledesma

David Rieper
Signature

AMARILIS A LEDESMA
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01LE6382087
Qualified in Nassau County
Commission Expires October 15, 2026

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
David Riemer			
Name of Action or Project: Riemer Residence			
Project Location (describe, and attach a location map): 691 S Bayview Ave Freeport, NY 11520			
Brief Description of Proposed Action: build new house			
Name of Applicant or Sponsor: David Riemer		Telephone: 516-578-0526	
		E-Mail: ljwcpro@gmail.com	
Address: 691 South Bayview Ave			
City/PO: Freeport		State: NY	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		0.09 acres	
b. Total acreage to be physically disturbed?		0.03 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.09 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: Insulation is better than code requirements	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>David Riemer</u>	Date: <u>7-28-24</u>	
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y. APPLICATION NO. _____

Filing Date _____

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) (No.) <u>691</u> (Street) <u>S Bayview Ave</u> ZONING DISTRICT <u>A</u>
	BETWEEN <u>BRYANT ST</u> (Cross Street) AND <u>NONE</u> (Cross Street)
	SECTION <u>62</u> BLOCK <u>187</u> BY <u>132769</u> APPROX. LOT SIZE <u>43'</u> X <u>78'</u> LOT ANSA <u>3,994.47</u>

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

<p>A. TYPE OF IMPROVEMENT</p> <p>1 <input checked="" type="checkbox"/> New building</p> <p>2 <input type="checkbox"/> Addition/Alteration (if residential, enter number of new housing units added. If non-residential name _____)</p> <p>3 <input type="checkbox"/> Swimming Pool</p> <p>4 <input type="checkbox"/> Repair (replacement)</p> <p>5 <input type="checkbox"/> Bulkhead (New, Repair)</p> <p>6 <input type="checkbox"/> Fence</p> <p>7 <input type="checkbox"/> Moving (relaxation)</p>	<p>B. PROPOSED OR EXISTING USE</p> <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>RESIDENTIAL</p> <p>11 <input type="checkbox"/> One Family</p> <p>12 <input type="checkbox"/> Two families</p> <p>13 <input type="checkbox"/> Apartment - Enter No. of Units _____</p> <p>14 <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15 <input type="checkbox"/> Garage or Accessory Structure</p> <p>16 <input type="checkbox"/> Other - Specify _____</p> </td> <td style="width: 50%; vertical-align: top;"> <p>NON-RESIDENTIAL - Complete Part "E"</p> <p>17 <input type="checkbox"/> Industrial</p> <p>18 <input type="checkbox"/> Office, bank, professional</p> <p>19 <input type="checkbox"/> Store, mercantile</p> <p>20 <input type="checkbox"/> Church, other religious</p> <p>21 <input type="checkbox"/> Hospital, institutional</p> <p>22 <input type="checkbox"/> Other - Specify _____</p> </td> </tr> </table>	<p>RESIDENTIAL</p> <p>11 <input type="checkbox"/> One Family</p> <p>12 <input type="checkbox"/> Two families</p> <p>13 <input type="checkbox"/> Apartment - Enter No. of Units _____</p> <p>14 <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15 <input type="checkbox"/> Garage or Accessory Structure</p> <p>16 <input type="checkbox"/> Other - Specify _____</p>	<p>NON-RESIDENTIAL - Complete Part "E"</p> <p>17 <input type="checkbox"/> Industrial</p> <p>18 <input type="checkbox"/> Office, bank, professional</p> <p>19 <input type="checkbox"/> Store, mercantile</p> <p>20 <input type="checkbox"/> Church, other religious</p> <p>21 <input type="checkbox"/> Hospital, institutional</p> <p>22 <input type="checkbox"/> Other - Specify _____</p>
<p>RESIDENTIAL</p> <p>11 <input type="checkbox"/> One Family</p> <p>12 <input type="checkbox"/> Two families</p> <p>13 <input type="checkbox"/> Apartment - Enter No. of Units _____</p> <p>14 <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15 <input type="checkbox"/> Garage or Accessory Structure</p> <p>16 <input type="checkbox"/> Other - Specify _____</p>	<p>NON-RESIDENTIAL - Complete Part "E"</p> <p>17 <input type="checkbox"/> Industrial</p> <p>18 <input type="checkbox"/> Office, bank, professional</p> <p>19 <input type="checkbox"/> Store, mercantile</p> <p>20 <input type="checkbox"/> Church, other religious</p> <p>21 <input type="checkbox"/> Hospital, institutional</p> <p>22 <input type="checkbox"/> Other - Specify _____</p>		

<p>C. COST</p> <p>10 TOTAL COST OF IMPROVEMENT <u>\$ 100,000</u></p>	<p>D. DESCRIPTION OF PROJECT</p> <p><u>NEW HOUSE</u></p> <p>GARAGE = <u>1,626 SF</u></p> <p>HOUSE (LIVING SPACE) = <u>3,199.8 SF</u></p> <p>DECKS = <u>435 SF</u></p>
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III. IDENTIFICATION - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>DAVID RIEMER</u>	<u>691 SOUTH BAYVIEW AVE</u> <u>FREEPORT, NY 11520</u>	<u>516</u> <u>578</u> <u>0526</u>
2. Contractor			
3. Architect or Engineer	<u>RICHARD BOYD</u>	<u>206 N. RICHMOND AVE</u> <u>MASSAPEQUA, NY 11758</u>	<u>631</u> <u>220</u> <u>0969</u>

<p>IV. OWNER - CONTRACTOR STATEMENT</p> <p>Building permit is issued subject to the provisions of Section 67 of the Workmen's Compensation Law.</p> <p>Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____</p> <p style="text-align: center;">Contractor <u>DAVID RIEMER</u> (Print) Address <u>691 SOUTH BAYVIEW AVE</u> Phone <u>516-578-0526</u></p> <p>State of New York County of Nassau <u>David Riemer</u> being duly sworn, says that <u>he</u> is the contractor or owner of the above mentioned building. That the items of the above application also the terms and cost of said building or alteration, is correct to the best of <u>his</u> knowledge and belief and subject to verification to all applicable laws of this jurisdiction. (His or Her) <u>JENNA PETTAS</u> NOTARY PUBLIC-STATE OF NEW YORK No. 01PE6370301 Qualified in Nassau County My Commission Expires 01-29-2026</p> <p>Sworn to before me this <u>16th</u> day of <u>May</u>, 20<u>24</u> <u>Jenna Pettas</u> Notary Public, County, N.Y. <u>[Signature]</u> (Applicant Signature)</p>	<p>V. FLOOD ZONE</p> <p>IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> IF YES, WHICH ZONE? <u>AEB</u></p> <p>IS PROJECT TO REPAIR FLOOD DAMAGE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/></p> <p>PROJECT DESCRIPTION</p> <p>Total/First Floor Square Feet <u>1,626</u> (GARAGE)</p> <p>Upper Floor Square Feet <u>3,266</u> (1ST FLOOR)</p> <p># of Fixtures <u>14</u></p> <p># of Floors <u>3</u></p> <p>Occup. Type <u>RES</u></p>
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<p>VI. VALIDATION (Official Use Only)</p> <p>Building Permit Number _____</p> <p>Building Permit Issued _____</p> <p>Building Permit Fee \$ _____</p>	<p style="text-align: center;">Approved by: _____</p> <p style="text-align: center;">Superintendent of Buildings</p>
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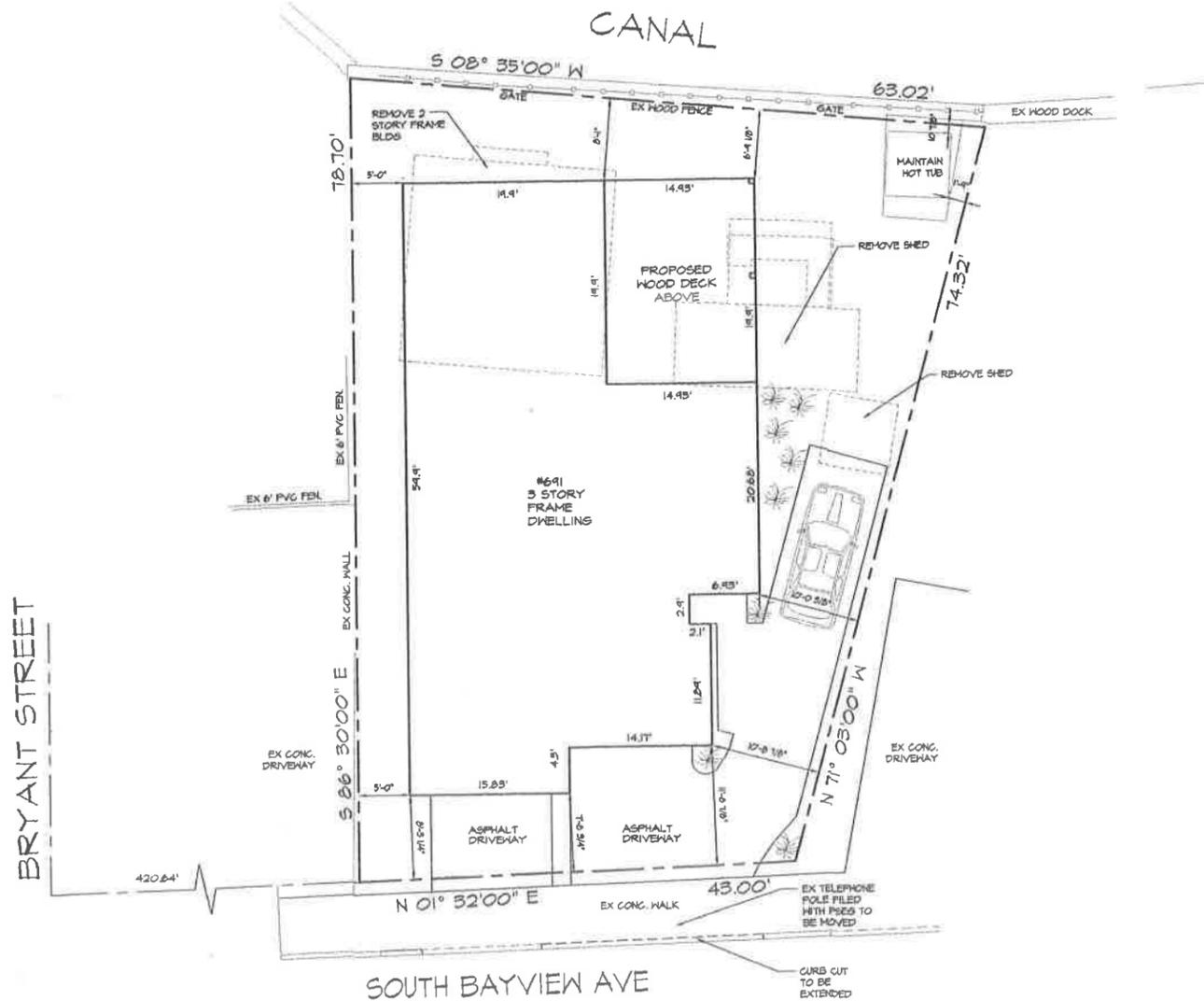
RIEMER RESIDENCE

691 SOUTH BAYVIEW AVE FREEPORT, NEW YORK 11520

THIS PROJECT CONFORMS TO THE FOLLOWING CODES:
 2020 RESIDENTIAL CODE OF NEW YORK STATE,
 2020 UNIFORM CODE SUPPLEMENT 2018 WFCM,
 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

BUILDING COMPLES WITH APPENDIX J, SECTION A.800.4, SECTION A.8.0, AND STRUCTURAL WIND LOAD PER A.304.2

SECTION A.800.4 STRUCTURAL WIND LOAD PROVISIONS SHALL COMPLY WITH THE WIND PROVISIONS OF THIS CODE AS APPLICABLE EXCEPT WHERE SHOWN OTHERWISE.
 1. DETACHED ONE AND TWO FAMILY DWELLINGS WHERE WIND LOADS AT THE NEW LOCATION ARE NOT HIGHER THAN THOSE AT THE PREVIOUS LOCATION.
 2. STRUCTURAL ELEMENTS WHOSE STRESS IS NOT INCREASED BY MORE THAN 5 PERCENT.
 BUILDING COMPLES



PLOT PLAN 1/8" = 1'-0"

SITE INFORMATION OBTAINED FROM SURVEY PREPARED BY AREK SURVEYING COMPANY BROOKLYN, NY - DATED 7-22-14

PROPERTY AREA = 3,994.47 SQ.FT.
 GROUND FLOOR AREA = 1,626 SQ.FT.
 FIRST FLOOR AREA = 1,728.34 SQ.FT.
 SECOND FLOOR AREA = 1,538.37 SQ.FT.

ZONING ANALYSIS		SECTION: 62 BLOCK: 187 LOT: 13 & P.O. 12 (769)	
RESIDENCE ZONE 'A' - SO BAYVIEW AVE, NY			
	REQUIRED	EXISTING	PROPOSED
USES	RESIDENTIAL - SINGLE FAMILY	RESIDENTIAL - SINGLE FAMILY	RESIDENTIAL - SINGLE FAMILY
LOT AREA	5000 SF	3995 SF	NO CHANGE
LOT AREA OCCUPIED	30% x 5000 SF = 1,500 SF	683 sf HOUSE & SHEDS 683 / 3995 = 17.1%	1st FLOOR COVERAGE = 1627SF 2nd FLOOR DECK = 298SF 1627 / 3995 = 40.7% 1627+298=1925 / 3995 = 48.18% (W/ DECK)
BUILDING HEIGHT	3 STORY OR 35' MAX.	21.52' 2 STORY	35'-0" 3 STORY
FRONT YARD	20' FRONT YARD OR AVG DEPTH WITHIN 200' = AVERAGE SETBACK XX'	48.3' EXISTING	7'-8 3/4" GROUND LEVEL ENTRY
SIDE YARD - NORTH SIDE YARD - SOUTH	MIN. 5' SUM OF 2 SIDE YDS EQUAL 25% MIN	4.3' NORTH 30.6' SOUTH	5'-0" NORTH 10'-0 3/8" SOUTH
REAR YARD	20' OR 20% OF LOT DEPTH	7'-0"	8'-1" TO HOUSE 6'-9 1/8" TO 2ND FL DECK



LOCATION MAP

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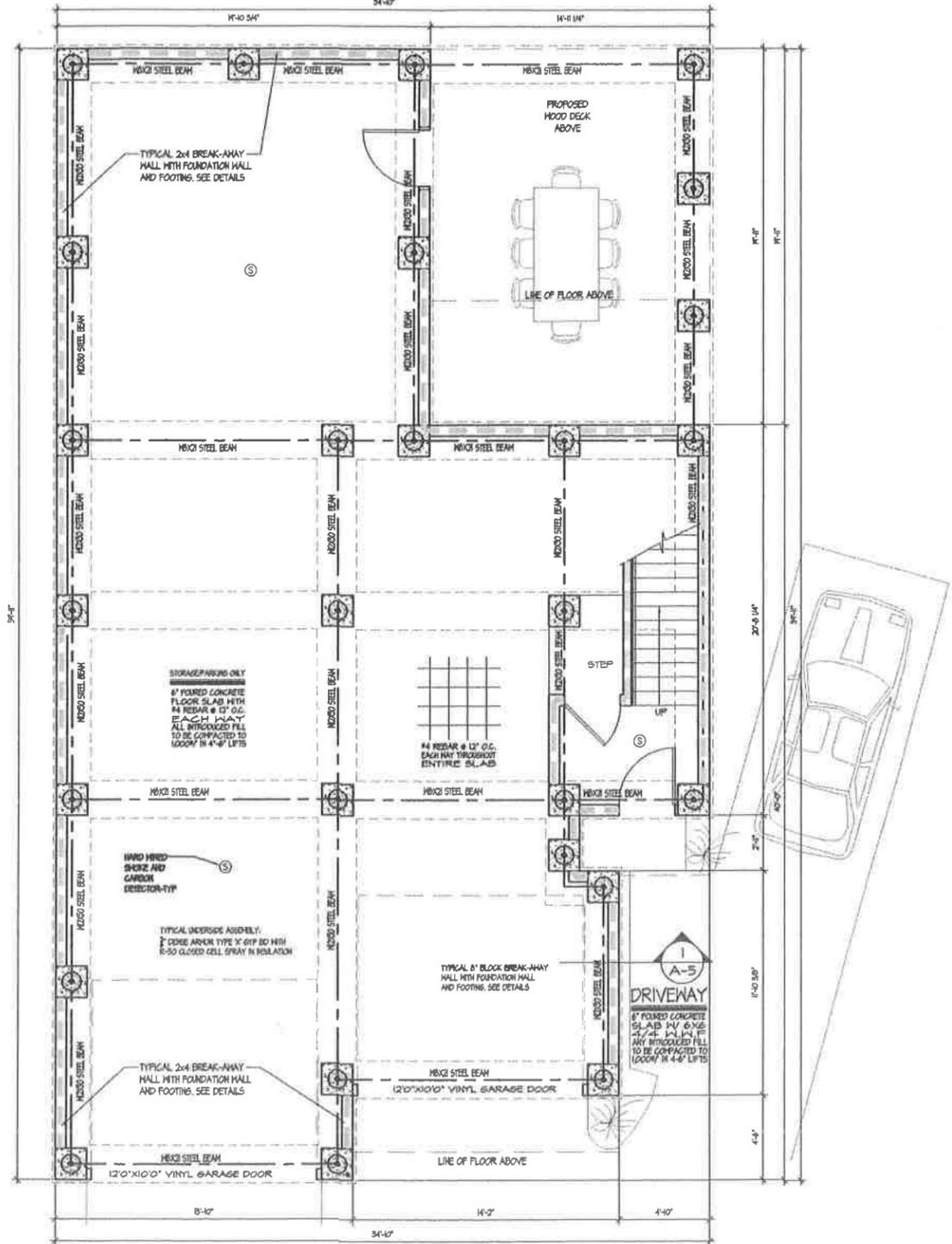
COVER SHEET
 SITE PLAN
 ZONING INFORMATION

REVISIONS
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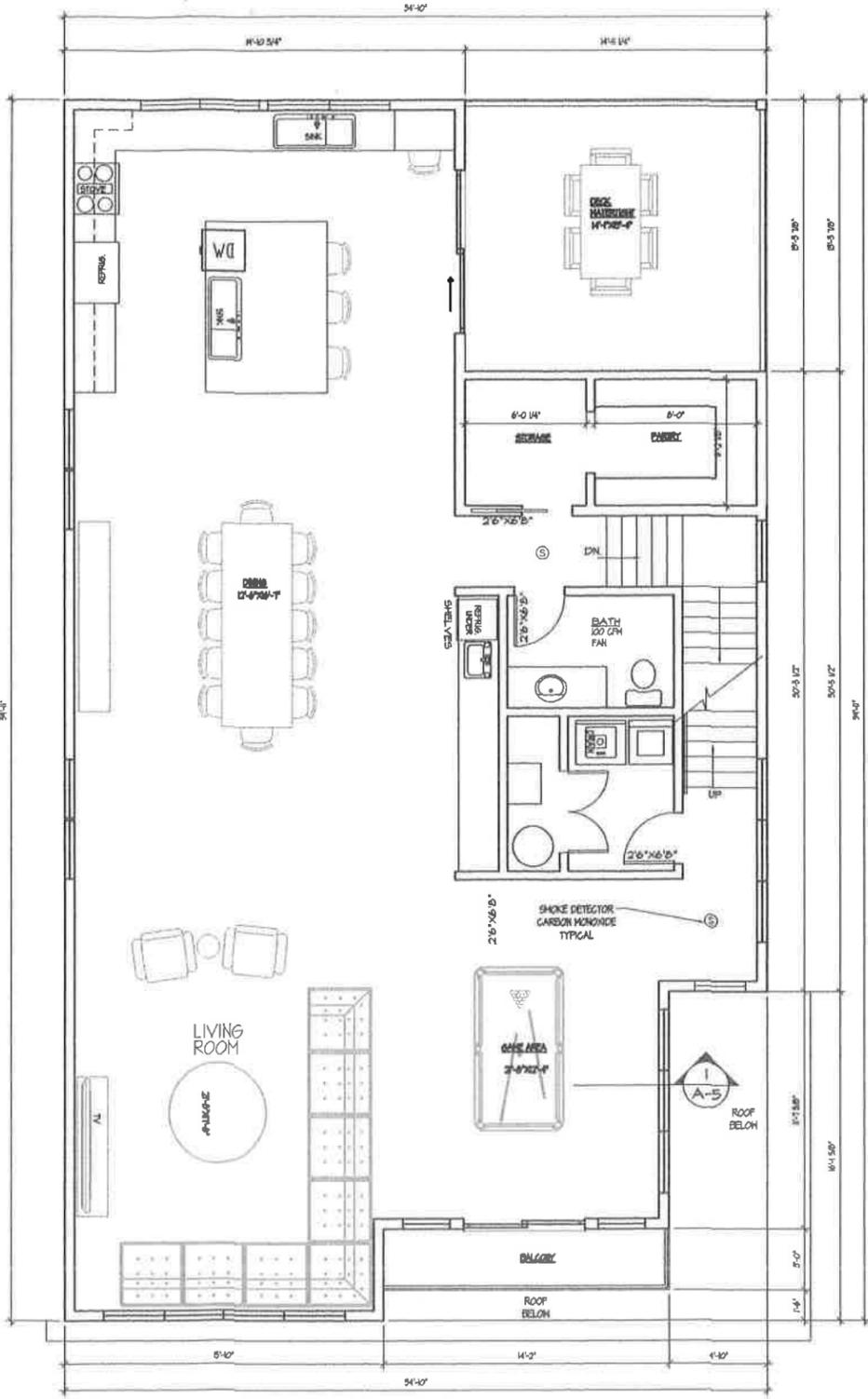
JOB NO.
24-43

SHEET NO.
T-1



LOWER LEVEL/FOUNDATION PLAN
SCALE: = 1/4" = 1'-0"

NOTES:
GARAGE: TO BE 6" BREAK AWAY WALLS
ADDITIONAL SILLS AS REQUIRED TO ALLOW HOUSE TO SIT LEVEL
HOMEOWNER TO INSTALL TRUSS SASH ON THE FRONT OF THE HOUSE
R302.2.2 ENCLOSED AREA BELONG DESIGN FLOOR ELEVATION ENCLOSED AREA, INCLUDING GRAVE SPACES, THAT ARE BELOW THE DESIGN FLOOR ELEVATION SHALL:
1. BE USED SOLELY FOR PARKING OF VEHICLES, INCLUDING ACCESS TO STORAGE;
2. BE PROVIDED WITH FLOOR OPENINGS THAT MEET THE FOLLOWING CRITERIA:
2.1 THERE SHALL BE A MINIMUM OF TWO OPENINGS ON DIFFERENT SIDES OF EACH ENCLOSED AREA, IF A BUILDING HAS MORE THAN ONE ENCLOSED AREA BELOW THE DESIGN FLOOR ELEVATION EACH AREA SHALL HAVE OPENINGS
2.2 THE TOTAL NET AREA OF ALL OPENINGS SHALL BE AT LEAST 1 SQUARE FOOT (96 IN²) FOR EACH SQUARE FOOT (100 IN²) OF ENCLOSED AREA, OR THE OPENINGS SHALL BE DESIGNED AND THE CONSTRUCTION DOCUMENTS SHALL INCLUDE A STATEMENT THAT THE DESIGN AND INSTALLATION WILL PROVIDE FOR EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS BY ALLOWING FOR THE AUTOMATIC ENTRY AND EXIT OF FLOODWATERS.
2.3 THE BOTTOM OF EACH OPENING SHALL BE 1 FOOT (305 MM) OR LESS ABOVE THE ADJACENT GROUND LEVEL.
2.4 OPENINGS SHALL BE AT LEAST 3 FEET (914 MM) IN DIAMETER.
2.5 ANY LEVELING SCREENS OR OTHER OPENING CONTROLS SHALL ALLOW THE AUTOMATIC FLOW OF FLOODWATERS INTO AND OUT OF THE ENCLOSED AREA.
2.6 OPENINGS INSTALLED IN DOORS AND WINDOWS, THAT MEET REQUIREMENTS 2.1 THROUGH 2.5, ARE ACCEPTABLE; HOWEVER, DOORS AND WINDOWS WITHOUT INSTALLED OPENINGS DO NOT MEET THE REQUIREMENTS OF THIS SECTION.
R324.1.5 PROTECTION OF MECHANICAL AND ELECTRICAL SYSTEMS, ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS, AND HEATING, VENTILATING, AIR CONDITIONING AND PLUMBING APPLIANCES, PLUMBING FIXTURES, DUCT SYSTEMS, AND OTHER SERVICE EQUIPMENT SHALL BE LOCATED AT OR ABOVE THE DESIGN FLOOR ELEVATION PLUS FREEBOARD AS SPECIFIED IN SECTION R323.1.3.3. IF REPLACED AS PART OF A SUBSTANTIAL IMPROVEMENT, ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS, AND HEATING, VENTILATING, AIR CONDITIONING, AND PLUMBING APPLIANCES, PLUMBING FIXTURES, DUCT SYSTEMS, AND OTHER SERVICE EQUIPMENT SHALL MEET THE REQUIREMENTS OF THIS SECTION. SYSTEMS, FIXTURES, AND EQUIPMENT AND COMPONENTS SHALL NOT BE MOUNTED ON OR PENETRATE THROUGH WALLS INTENDED TO BREAK AWAY UNDER FLOOD LOADS.
EXCEPTION: ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS, AND HEATING, VENTILATING, AIR CONDITIONING AND PLUMBING APPLIANCES, PLUMBING FIXTURES, DUCT SYSTEMS, AND OTHER SERVICE EQUIPMENT ARE PERMITTED TO BE LOCATED BELOW THE DESIGN FLOOR ELEVATION PROVIDED THAT THEY ARE DESIGNED AND INSTALLED TO PREVENT WATER FROM ENTERING OR ACCUMULATING WITHIN THE COMPONENTS AND TO RESIST HYDROSTATIC AND HYDRODYNAMIC LOADS AND STRESSES, INCLUDING THE EFFECTS OF BUOYANCY, DURING THE OCCURRENCE OF FLOODING TO THE DESIGN FLOOR ELEVATION IN COMPLIANCE WITH THE FLOOD-RESISTANT CONSTRUCTION REQUIREMENTS OF THE BUILDING CODE OF NEW YORK STATE. ELECTRICAL WIRING SYSTEMS ARE PERMITTED TO BE LOCATED BELOW THE DESIGN FLOOR ELEVATION PROVIDED THEY CONFORM TO THE PROVISIONS OF THE ELECTRICAL PART OF THIS CODE FOR NET LOCATIONS.
R324.1.6 CONSTRUCTION DOCUMENTS THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DOCUMENTATION THAT IS PREPARED AND SEALED BY A REGISTERED DESIGN PROFESSIONAL THAT THE DESIGN AND METHODS OF CONSTRUCTION TO BE USED MEET THE APPLICABLE CRITERIA OF THIS SECTION.



FIRST FLOOR PLAN
SCALE: = 1/4" = 1'-0"

ALL NEW WINDOWS BY ANDERSON 400 SERIES U FACTOR=0.3 AND SHGC=0.32. WINDOWS COMPLY WITH THE CODE AND EGRESS AT THE TIME OF ORIGINAL CONSTRUCTION AND A C.O. HAS ISSUED
NOTE: ALL HEADERS ARE TO BE SOLID BLOCKING DOWN TO FOUNDATION OR BEAMS
NOTE: ALL HEADERS TO BE 2-2X10 UNLESS OTHERWISE NOTED
PROVIDE WOOD TRIMMED RETURNS ON THE INTERIOR WITH MOLDINGS SIMILAR TO EXISTING

DESIGN CALCULATIONS

R301.2.2.1 HEIGHTS OF MATERIALS
AVERAGE DEAD LOADS SHALL NOT EXCEED 15 PSF FOR ROOFSCULING ASSEMBLIES OR 10 PSF FOR FLOOR ASSEMBLIES, EXCEPT AS FURTHER LIMITED BY SECTION R301.2.2.2 DEAD LOADS FOR WALLS ABOVE GRADE SHALL NOT EXCEED:
1. FIFTEEN PSF FOR EXTERIOR LIGHT-FRAME WOOD WALLS.
2. FOURTEEN PSF FOR EXTERIOR LIGHT-FRAME COLD-FORMED STEEL WALLS.
3. TEN PSF FOR INTERIOR LIGHT-FRAME WOOD WALLS.
4. FIVE PSF FOR INTERIOR LIGHT-FRAME COLD-FORMED STEEL WALLS.
5. EIGHT PSF FOR 8-INCH THICK MASONRY WALLS.
6. EIGHT PSF FOR 8-INCH THICK CONCRETE WALLS.
7. 10 PSF FOR 8-INCH THICK CONCRETE WALLS.
EXCEPTION: ROOFCEILING DEAD LOADS NOT EXCEEDING 25 PSF SHALL BE PERMITTED PROVIDED THE WALL BRACKETS MOUNTED IN CHAPTER R301.2.2.2 ARE INCREASED IN ACCORDANCE WITH TABLE R302.10.3(4).

MINIMUM UNIFORM DISTRIBUTED LIVE LOADS (TABLE R301.5) IN POUNDS PER SQUARE FOOT

USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE ^B	10 PSF
UNINHABITABLE ATTICS WITH LIMITED STORAGE ^{B,C}	20 PSF
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30 PSF
BALCONIES (EXTERIOR) AND DECKS ^E	40 PSF
FIRE ESCAPES	40 PSF
GUARD AND HANDRAILS ^D	200 PSF
GUARD INFILL COMPONENTS ^F	50 PSF
PASSENGER VEHICLE GARAGES ^A	50 PSF ^A
ROOMS OTHER THAN SLEEPING ROOMS	40 PSF
SLEEPING ROOMS	30 PSF
STAIRS	40 PSF ^C

FOR 50 LBS PER SQUARE FOOT=0.0478 KN/M²; 1 SQ INCH=6.45 MM²; 1 POUND=4.45 N.
A. ELEVATED GARAGE FLOORS SHALL BE CAPABLE OF SUPPORTING A 2,000-POUND LOAD APPLIED OVER A 30-SQUARE-INCH AREA.
B. UNINHABITABLE ATTICS WITHOUT STORAGE ARE THOSE WHERE THE CLEAR HEIGHT BETWEEN JOISTS AND RAFTERS IS NOT MORE THAN 42" OR WHERE THERE ARE TWO OR MORE ADJACENT TRUSSES WITH HEB CONFIGURATIONS CAPABLE OF ACCOMMODATING AN ASSUMED RECTANGLE 42" IN HEIGHT BY 24" IN WIDTH OR GREATER WITH THE PLANE OF TRUSSES THE LIVE LOAD NEED NOT BE APPLIED TO ANY ONE LIVE LOAD MEMBER.
C. DIVISIONAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORM LIVE LOAD REQUIREMENT.
D. A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE DECK SHALL BE PERMITTED FOR DECKS ATTACHED TO EXTERIOR WALLS.
E. GUARD INFILL COMPONENTS (ALL THOSE EXCEPT THE HANDRAIL, BALUSTERS AND PANEL FILLS) SHALL BE DESIGNED TO WITHSTAND A HORIZONTAL APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT. THIS LOAD NEED NOT BE APPLIED TO ACT CONCURRENTLY WITH WITH ANY OTHER LIVE LOAD REQUIREMENT.
F. UNINHABITABLE ATTICS WITH LIMITED STORAGE ARE THOSE WHERE THE CLEAR HEIGHT BETWEEN JOISTS AND RAFTERS IS NOT GREATER THAN 42" OR WHERE THERE ARE TWO OR MORE ADJACENT TRUSSES WITH HEB CONFIGURATIONS CAPABLE OF ACCOMMODATING AN ASSUMED RECTANGLE 42" IN HEIGHT BY 24" IN WIDTH OR GREATER WITHIN THE PLANE OF THE TRUSSES. THE LIVE LOAD NEED ONLY BE APPLIED TO THOSE PORTIONS OF THE JOISTS OR TRUSS BOTTOM CHORDS WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET:
1. THE ATTIC AREA IS ACCESSIBLE FROM AN OPENING NOT LESS THAN 20" IN WIDTH BY 30" IN LENGTH THAT IS LOCATED WHERE THE CLEAR HEIGHT IN THE ATTIC AREA IS NOT LESS THAN 42" IN HEIGHT.
2. THE SLOPE OF THE JOIST OR TRUSS BOTTOM CHORD IS NOT GREATER THAN 10% VERTICAL TO HORIZONTAL.
3. REQUIRED INSULATION DEPTH IS LESS THAN THE JOIST OR TRUSS BOTTOM CHORD MEMBER DEPTH.
THE REMAINING PORTIONS OF THE JOISTS OR TRUSS BOTTOM CHORDS SHALL BE DESIGNED FOR A UNIFORM PERMITTED CONCURRENTLY LIVE LOAD OF NOT LESS THAN 10 LBS PER SQUARE FOOT.
H. GAZING USED IN MANIFOLD ASSEMBLIES AND GUARDS SHALL BE DESIGNED WITH A SAFETY FACTOR OF 4. THE SAFETY FACTOR SHALL BE APPLIED TO EACH OF THE CONCENTRATED LOADS APPLIED TO THE TOP OF THE RAIL AND TO THE LOAD ON THE INFILL COMPONENTS. THESE LOADS SHALL BE DETERMINED INDEPENDENT OF ONE ANOTHER AND LOADS ARE ASSUMED NOT TO OCCUR WITH ANY OTHER LIVE LOAD.

WINDOW EGRESS SCHEDULE (ALL SLEEPING ROOMS)

FLOOR	REQUIRED CLEAR OPENING AS A SECOND MEANS OF EGRESS
FIRST	5.0 SQ FT MINIMUM
SECOND	5.7 SQ FT MINIMUM

1. PROVIDE AT LEAST (1) WINDOW (OR DOOR) IN EACH HABITABLE SPACE FOR EMERGENCY ESCAPE IN CONFORMANCE WITH N.Y.S. CODE SECTION R310 MIN OPENINGS OF 5.7 SQ FT ON SECOND FLOOR AND 5.0 SQ FT AT GRADE LEVEL. MINIMUM CLEAR HEIGHT SHALL BE 20" AND MINIMUM CLEAR WIDTH OF 20" (OPERATION NOT NEED FOR TOOLS) BOTTOM OF OPENING = 44" MAXIMUM AT 4".
2. ALL WINDOWS MUST BE ANDERSON "LOW E" OR APPROVED EQUAL

ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS^{B,C} (TABLE R301.7)

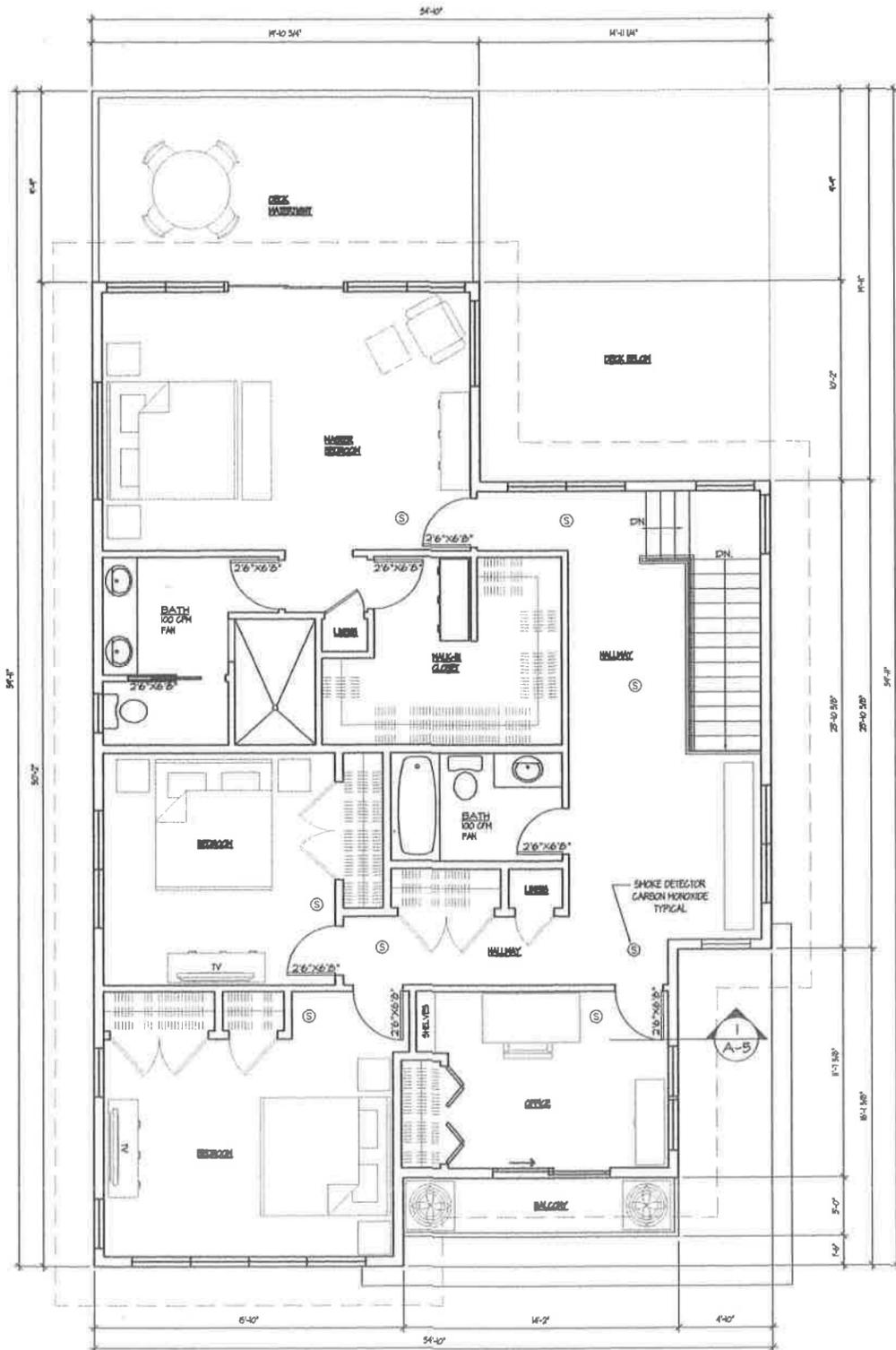
STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GREATER THAN 5/12 WITH FINISHED CEILINGS NOT ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
FLOORS	L/360
CEILINGS WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/360
CEILINGS WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS-WIND LOADS ^A WITH PLASTER OR STUCCO FINISH	H/360
EXTERIOR WALLS-WIND LOADS ^A WITH OTHER BRITTLE FINISH	H/240
EXTERIOR WALLS-WIND LOADS ^A WITH FLEXIBLE FINISHES	H/120
LINTELS SUPPORTING MASONRY VENEER WALLS ^A	L/600

NOTE: L = SPAN LENGTH, H = SPAN HEIGHT
A. FOR THE PURPOSE OF THE DETERMINING DEFLECTION LIMITS HEREIN THE WIND LOAD SHALL BE PERMITTED TO BE TAKEN AS 0.1 TIMES THE COMPONENT AND GLAZING (GAS) LOADS OBTAINED FROM TABLE R301.2(2).
B. FOR CANTILEVER MEMBERS, L SHALL BE TAKEN AS TWICE THE LENGTH OF THE CANTILEVER.
C. FOR ALUMINUM STRUCTURAL MEMBERS OR PANELS USED IN ROOFS OR WALLS OF GARAGES, ACCESSORIES OR PATIO COVERS, NOT SUPPORTING EDGE OF GLASS, GARAGEHOOD PANELS, THE TOTAL LOAD DEFLECTION SHALL NOT EXCEED L/60 FOR CONTINUOUS ALUMINUM STRUCTURAL MEMBERS SUPPORTING EDGE OF GLASS. THE TOTAL LOAD DEFLECTION SHALL NOT EXCEED L/36 FOR EACH GLASS LINE OR LOAD FOR THE ENTIRE LENGTH OF THE MEMBER, UNLESS IT IS MORE SPACED. FOR GARAGEHOOD PANELS USED IN ROOFS OR WALLS OR BROOM ADDITIONS OR PATIO COVERS, THE TOTAL LOAD DEFLECTION SHALL NOT EXCEED L/60. DEFLECTION FOR EXTERIOR WALLS WITH INTERIOR EXTERIOR WALLS SHALL BE LIMITED TO AN ALLOWABLE DEFLECTION OF 1/8" IN FEEL.
R301.7.1.1 TO SECTION R301.7.1.2

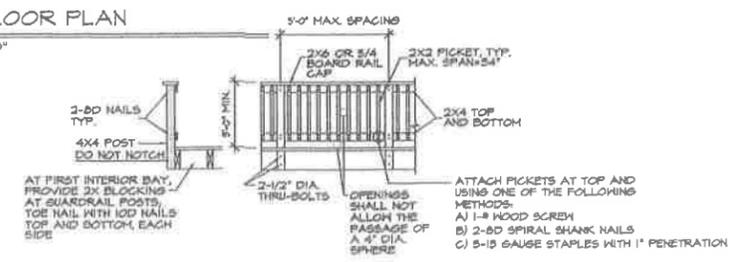
LEGEND

- 24" WIDE FTG WITH PILE AND CONC PIER
- PILE WITH CONC PIER
- WALLS
- BREAK AWAY WALLS
- NEW DOORS

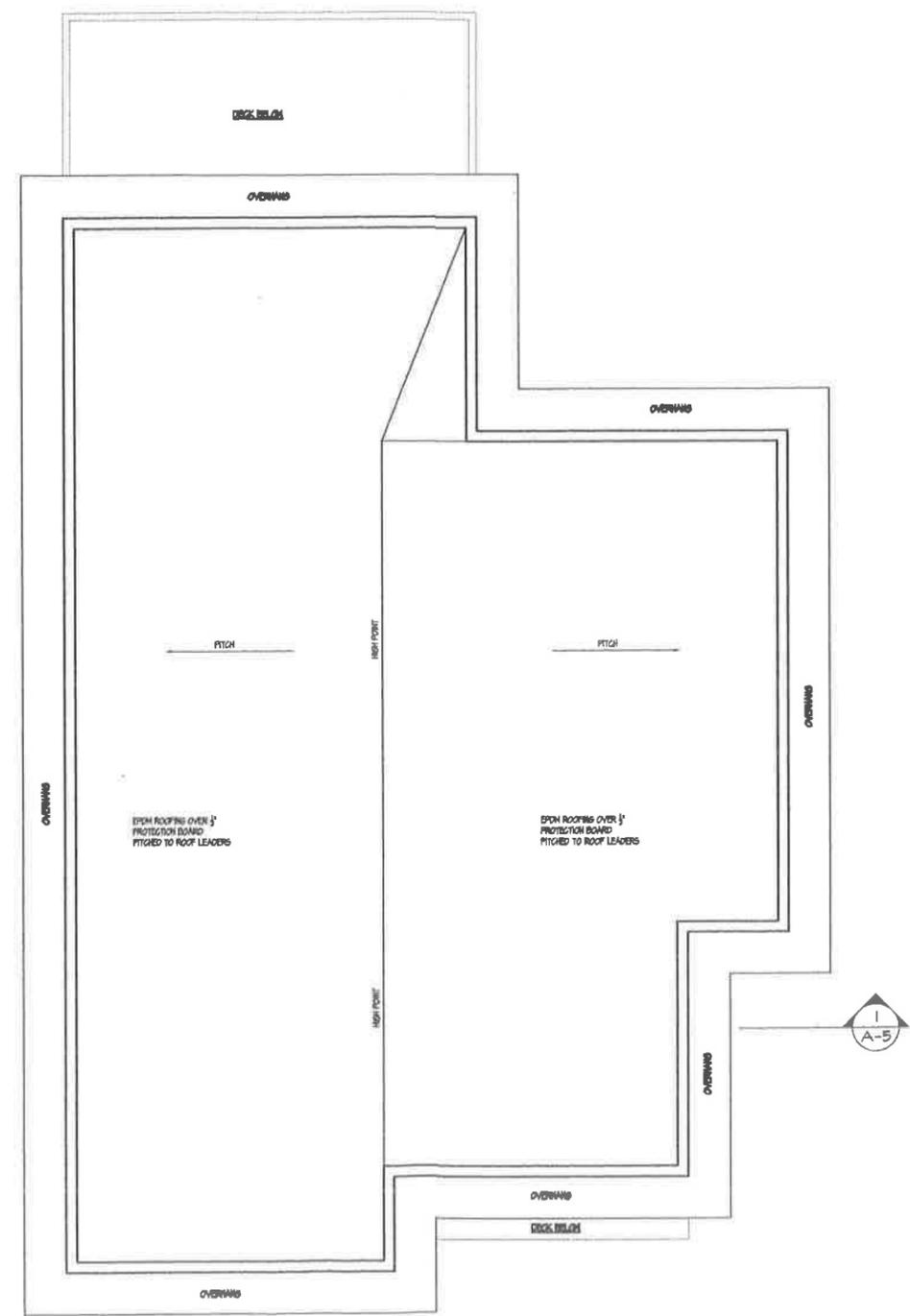
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 LOWER LEVEL PLAN
 FIRST FLOOR PLAN
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 SHEET NO: A-2
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SECOND FLOOR PLAN
SCALE: = 1/4" = 1'-0"



TYPICAL RAILING DETAIL



ROOF PLAN
SCALE: = 1/4" = 1'-0"

LEGEND

- 24" WIDE FTG WITH PILE AND CONC PIER
- PILE WITH CONC PIER
- WALLS
- BREAK AWAY WALLS
- NEW DOORS

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SECOND FLOOR PLAN
ROOF PLAN

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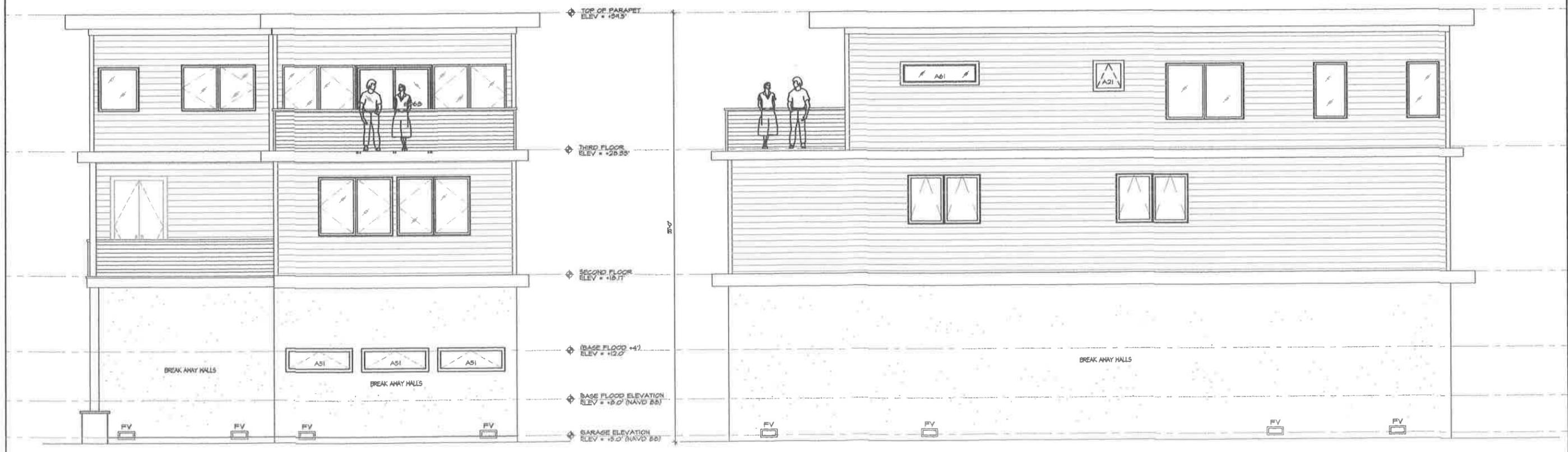
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A-3



PROPOSED FRONT ELEVATION
SCALE: = 1/4" = 1'-0"

PROPOSED SIDE ELEVATION
SCALE: = 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE: = 1/4" = 1'-0"

PROPOSED SIDE ELEVATION
SCALE: = 1/4" = 1'-0"

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ELEVATIONS

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COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING/ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING OR SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
HALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE R-VALUE OF NOT LESS THAN R-5 PER INCH. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN FRAMING AND SKYLIGHTS, AND THE JAMBS OF WINDOWS AND DOORS, SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS, INCLUDING CANTILEVERED FLOORS ABOVE GARAGES	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING. ALTERNATIVELY, FLOOR FRAMING CAVITY INSULATION SHALL BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING, AND SHALL EXTEND FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRANE SPACE WALLS	EXPOSED EARTH IN UNVENTED CRANE SPACES SHALL BE COVERED WITH A CLASS 1 VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	CRANE SPACE INSULATION, WHERE PROVIDED INSTEAD OF FLOOR INSULATION, SHALL BE PERMANENTLY ATTACHED TO THE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS TO BE INSTALLED IN NARROW CAVITIES SHALL BE CUT TO FIT OR NARROW CAVITIES SHALL BE FILLED WITH INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE FINISHED SURFACE.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND FIRING		IN EXTERIOR WALLS, BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND FIRING AND PLUMBING, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE, SHALL EXTEND BEHIND PIPING AND FIRING.
SHOWERS/TUBS ON EXTERIOR HALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THE HALL FROM THE SHOWER OR TUB.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL AND COMMUNICATION BOXES. ALTERNATIVELY, AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC SUPPLY AND RETURN REGISTER BOOTS AND PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR, WALL COVERING OR CEILING PENETRATED BY THE BOOT.	
CONCEALED SPRINKLERS	WHERE REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CALKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS OR CEILINGS.	

