

Application Date: 1/13/25
 Fees Paid: \$305.00

SP# 3801

**INCORPORATED VILLAGE OF FREEPORT
 SITE PLAN REVIEW APPLICATION
 PLANNING BOARD**

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 20 MAYFAIR CT. ZONING DISTRICT RES. AA
 SECTION 54 BLOCK B LOT 453 LOT SIZE: 97.34 x 54.54

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>VINCENT R. LEMMA</u>	Name: <u>SHANA VIALA (CASHWOOD)</u>
Address: <u>2135 NEWBRIDLE ROAD BELLMORE NY, 11710</u>	Address: <u>20 MAYFAIR CT. FREEPORT NY, 11520</u>
Telephone #: <u>516-804-3165</u>	Telephone #: <u>917-412-8446</u>

Attorney Name: _____ Address: _____
 (optional) Phone #: _____

Present Land Use: ONE FAMILY Proposed Land Use: ONE FAMILY

Description of Proposed Work: REBUILD DETACHED GARAGE - DIRECT REPLACEMENT
 AFTER FIRE (197 SQ. FT.)

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
 A. The subject property is zoned Residence A or Residence AA.
 B. The proposed construction is not a new building or dwelling.
 C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.



[Signature]
 APPLICANT'S SIGNATURE
 Sworn to before me this 30th
 day of December, 2024.

[Signature]
 Notary Public

12/30/24
 DATE

[Signature] am (are) the owner(s) of the subject property and consent to the filing of this application.
1/2/25
 DATE

[Signature]
 PROPERTY OWNER'S SIGNATURE
 Sworn to before me this 2nd
 day of January, 2025.
[Signature]
 Notary Public

RUSSELL E. CARLSON
 Notary Public, State of New York
 No. 01CA5078901
 Qualified in Nassau County
 Commission Expires June 2, 2027

RECEIVED
 2025 JAN 13 AM 3:05
 VILLAGE OF FREEPORT, NY

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER

January 7, 2025

Shana Ashwood
20 Mayfair Court
Freeport, NY 11520

RE: 20 Mayfair Court, Freeport, NY
Zoning District – Residence AA Sec. 54 Blk. B Lot 453
Building Permit Application #20243754
Description: Rebuild garage 197 SqFt due fire.

Dear Ms.

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-3632.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez
cc: Village Clerk

ZBA Approval Needed: **YES**

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JAN 13 P 3:05
VILLAGE CLERK'S OFFICE

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20243754

Location: 20 Mayfair, Freeport, NY

Applicant: Shana Ashwood

Description: Rebuild garage 197 SqFt due fire.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: January 7, 2024

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information		Milro Services, Inc	
Name of Action or Project:			
Project Location (describe, and attach a location map): <div style="text-align: right; padding-right: 50px;">20 Mayfair Court Freeport, NY 11520</div>			
Brief Description of Proposed Action: Rebuild garage and partial house siding			
Name of Applicant or Sponsor:		Telephone: 516 379-6100	
Milro Services, Inc		E-Mail: info@milro.com	
Address: 41 Hanse Avenue			
City/PO: Freeport		State: NY	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES <input type="checkbox"/> <input checked="" type="checkbox"/>
Freeport Building Department			
3.a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?		NO	YES	N/A
b. Consistent with the adopted comprehensive plan?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? <input type="checkbox"/> NO <input type="checkbox"/> YES If Yes, briefly describe: _____		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

2025 JUN 13 P. 3.35

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Kevin Molloy</u>	Date: <u>4/9/24</u>	
Signature: <u><i>Kevin Molloy</i></u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION**

DATE: November 21, 2024

APPROVAL

Building Department Permit Application #20243743

Chairman, regarding Application #2024-13 for the premises located at 20 Mayfair Court, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-35C2 and 3 seeking approval to rebuild a garage, 197 square feet due to fire.

I, Anthony Mineo move that this Board make the following findings of fact:

A public hearing was held on September 19, 2024 wherein applicant was represented by Maria J. Miro of Miro J. Design and Drafting. Applicant, Shana Ashwood and Reginald Viala, owners of 20 Mayfair were present. Ms. Miro requested the ability to reconstruct a garage that was damaged due to a fire. The proposed new garage would match the existing footprint, and be located at the same place, using the same foundation as the previous garage, with a 1.7 foot rear setback, when 5 is required, and a side yard setback of 1.1 feet when 10 feet is required.

Ms. Miro provided a letter from the abutting property owner supporting the reconstruction of the garage at the same location. The same property owners also spoke in person in support.

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance;
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;
 - c. that the requested area variance is insubstantial;
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty was not self-created.

2. The Board, as lead agency has determined that this action is a Type II action and under SEQRA and no further review is required.

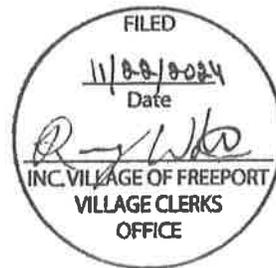
I further move that this application be granted subject to the following conditions:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.
3. This application for variance(s) is being granted on the basis of the specific use proposed. If anything in this application is to change, the applicant must return to the Board for further review.

Second by: Charles Hawkins

The Clerk polled the Board:

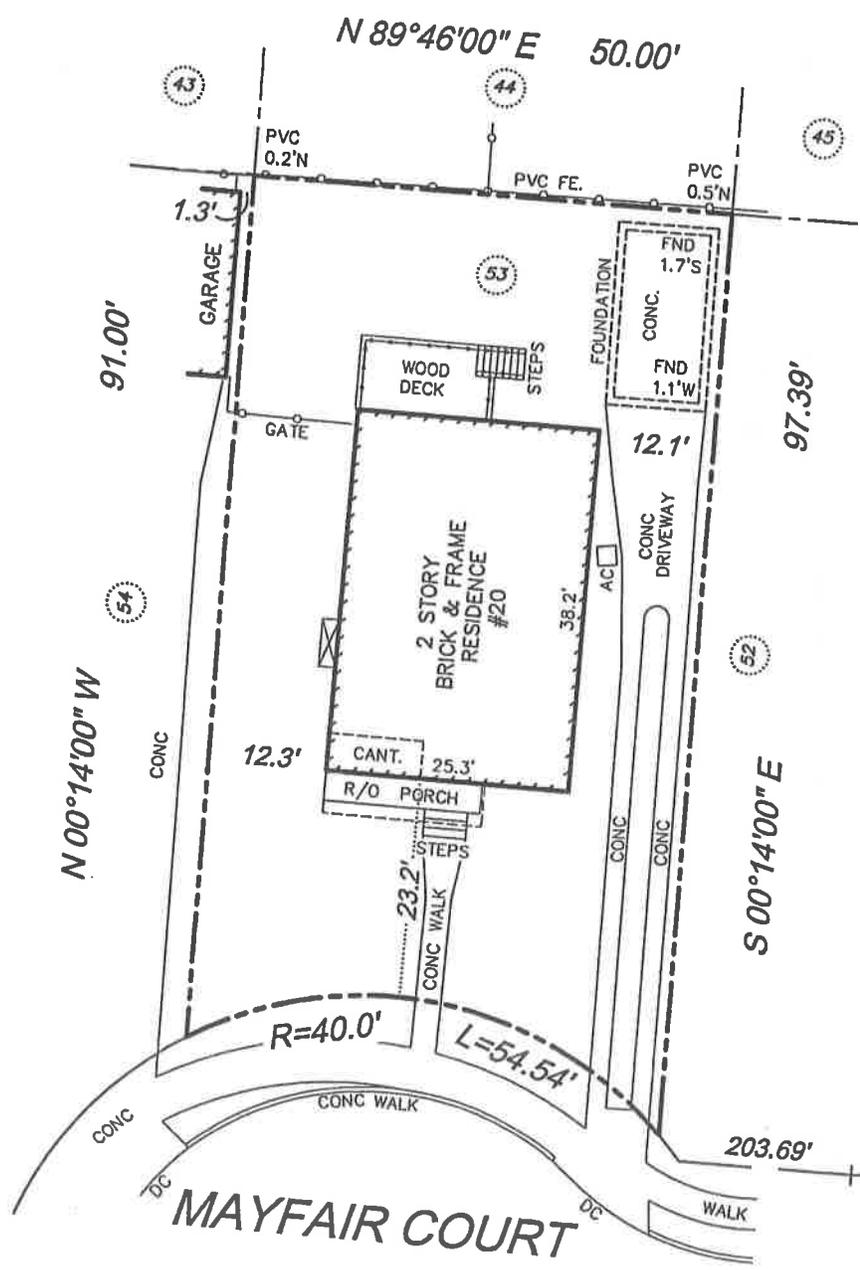
Deputy Carey	Excused
Member Mineo	In Favor
Member Jackson	Excused
Member Hawkins	In Favor
Alternate Scopelitis	Absent
Chairperson Rhoden	In Favor



2025 JUN 13 P 3:05
VILLAGE OF FREEPORT, NY



LOCATION OF NEW GARAGE



RECEIVED
 2025 JUN 13 P 3:05
 503 P 1311 5002

20 Mayfair Ct, Freeport, NY 11520

ZONE 0113 P 3-05
MAYFAIR OFFICE
10000 MAYFAIR CT
FREEPORT, NY



NORTH ELEVATION



EAST ELEVATION

20 Mayfair Ct, Freeport, NY 11520

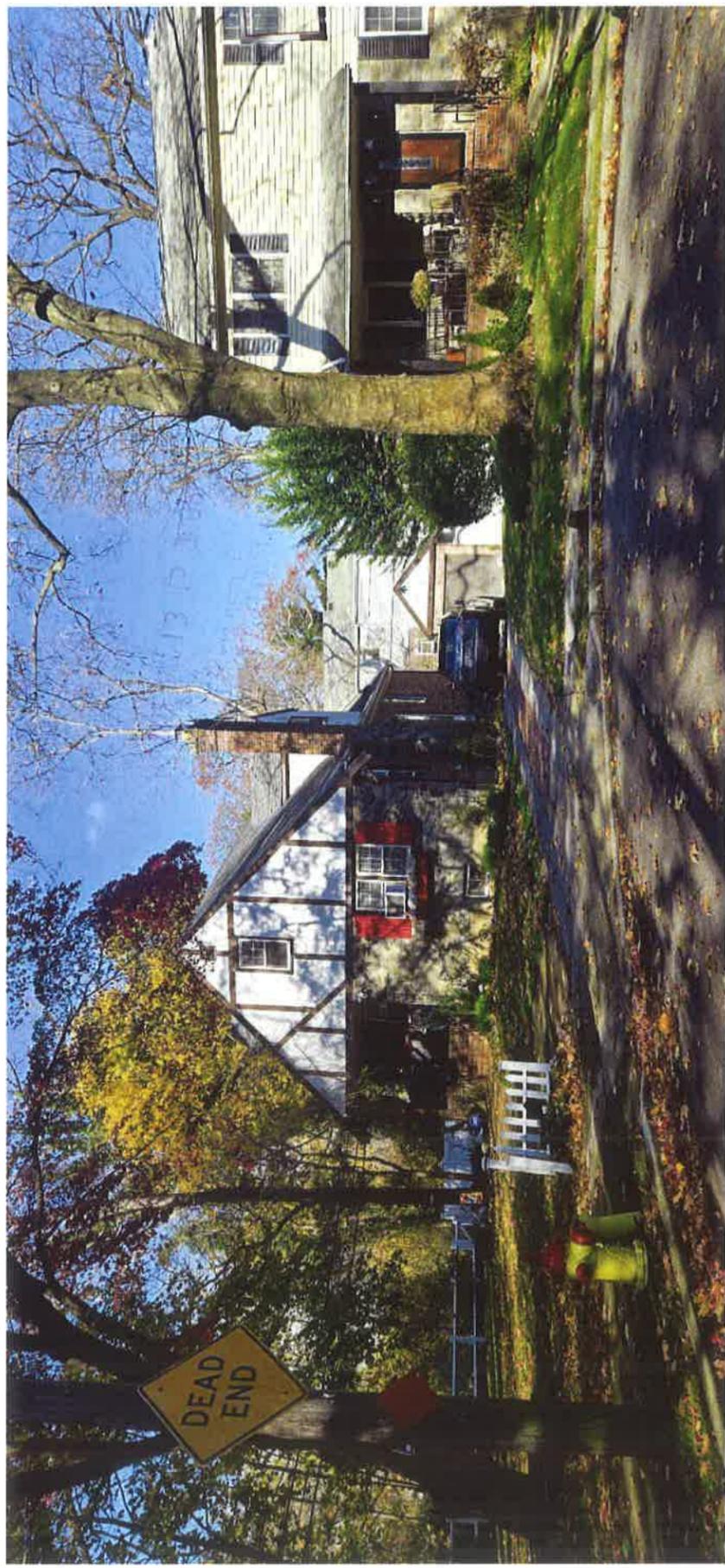
2025 OCT 13 P 3:06



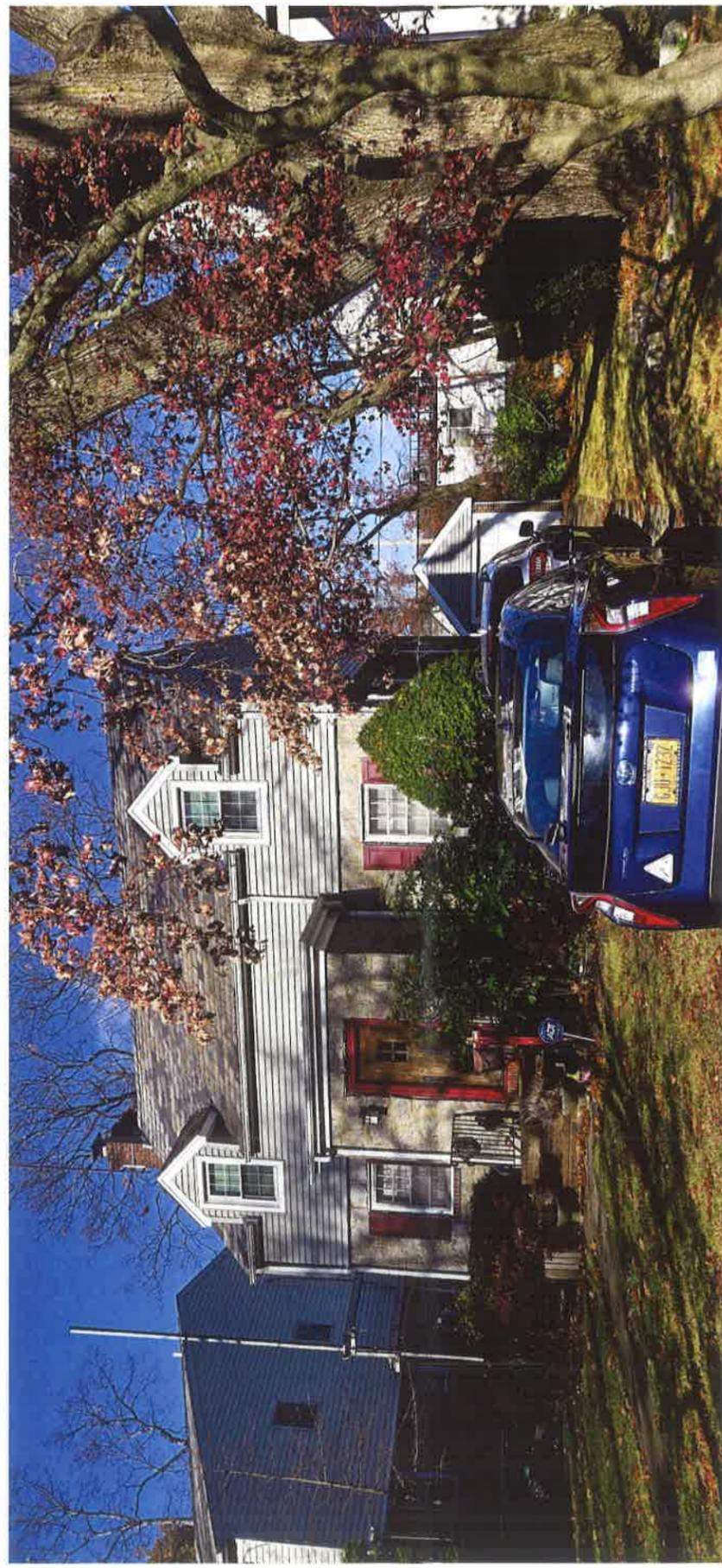
WEST ELEVATION



SOUTH ELEVATION



24 Mayfair Ct, Freeport, NY 11520



16 Mayfair Ct, Freeport, NY 11520



11 Mayfair Ct, Freeport, NY 11520

ZONING DATA

LOCATION:

SECTION: 54 BLOCK: B LOT: 453

ADDRESS: 20 MAYFAIR COURT, FREEPORT NY, 11520

LOT SIZE: 0.10 ACRE (4,402 SF)

DISTRICT: RESIDENCE
TYPE: "AA"

SCOPE OF WORK:

FIRE RESTORATION SINGLE BAY DETACHED GARAGE

PERMITTED USES:

-DWELLINGS FOR NOT MORE THAN ONE FAMILY.

SCHEDULE OF DIMENSIONAL REQUIREMENTS:

LOT COVERAGE / FLOOR AREA RATIO:

-THE PRINCIPAL BUILDING ON ANY LOT SHALL NOT COVER MORE THAN 25% OF THE LOT AREA, AND NO MORE THAN AN ADDITIONAL 15% OF THE TOTAL AREA OF THE LOT MAY BE USED FOR THE ERECTION OF AN ACCESSORY BUILDING AND/OR DETACHED GARAGE WITH THE MAXIMUM LOT COVERAGE OF SAID ACCESSORY BUILDING AND/OR DETACHED GARAGE TO BE LIMITED TO AN AGGREGATE AREA OF A MAXIMUM OF 150 SQUARE FEET

-15% OF LOT = 330 SF

-RECONSTRUCTED GARAGE = 191 SF

REQUIRED YARDS:

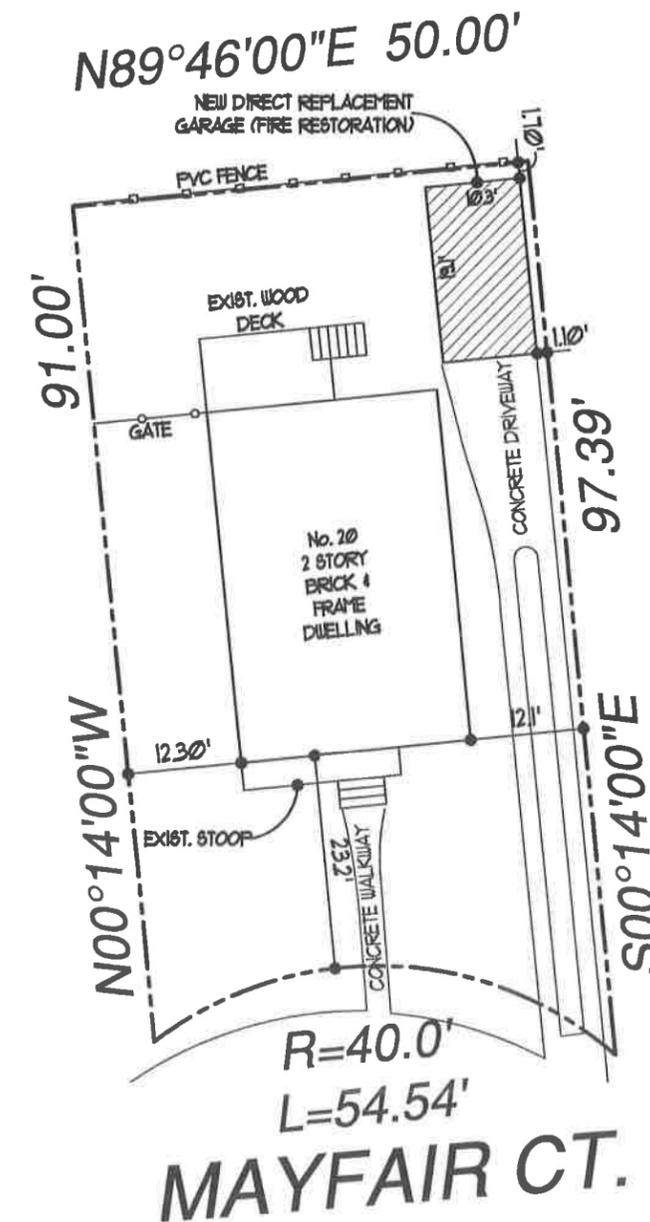
-REAR YARD: (**EXISTING TO REMAIN**)

-SIDE YARD: (**EXISTING TO REMAIN**)

NO ACCESSORY BUILDING AND/OR DETACHED GARAGE SHALL EXCEED 15 FEET IN HEIGHT IF ERECTED WITH A ROOF PITCHED LESS THAN SIX UNITS VERTICALLY TO 12 UNITS HORIZONTALLY,

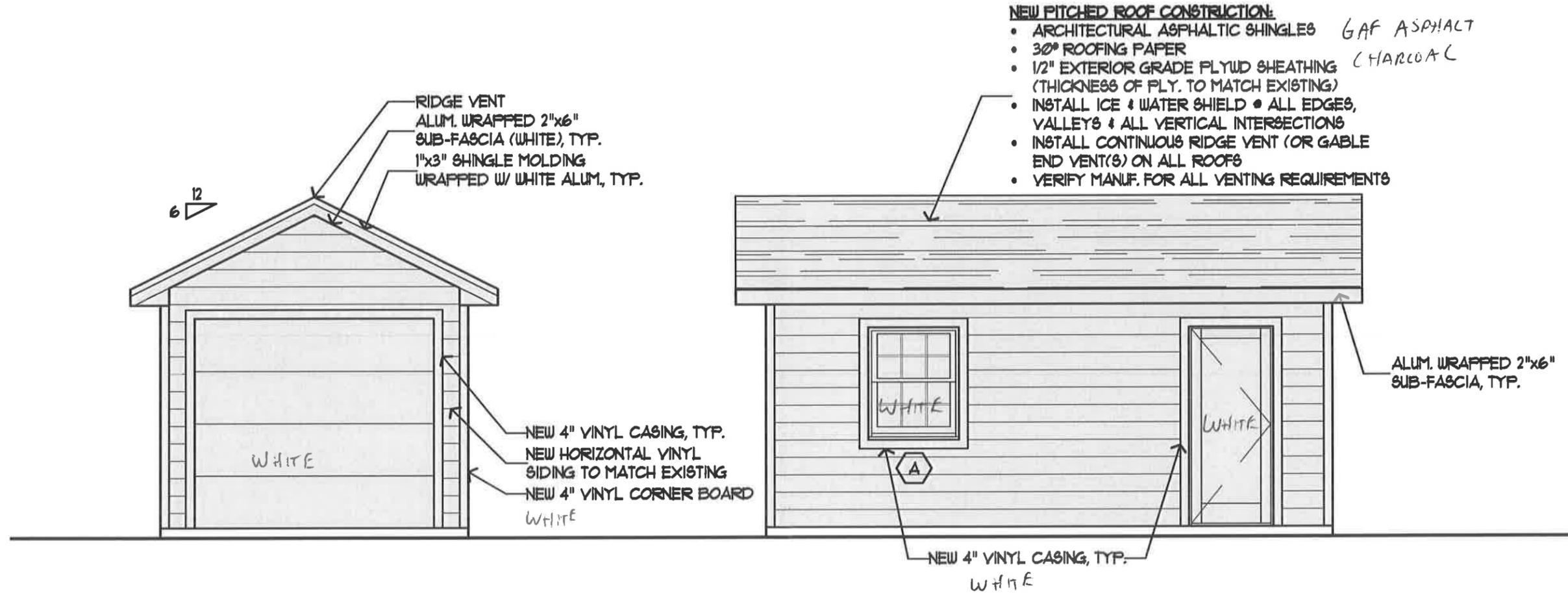
-PROPOSED PITCH = 6:12

-PROPOSED HEIGHT = 11'-4-1/4"



1 SITE PLAN
A0.00 SCALE: 1"=20'

RECEIVED
 2025 JUN 13 P 3:06
 Planning Dept.
 11520 MAYFAIR CT.

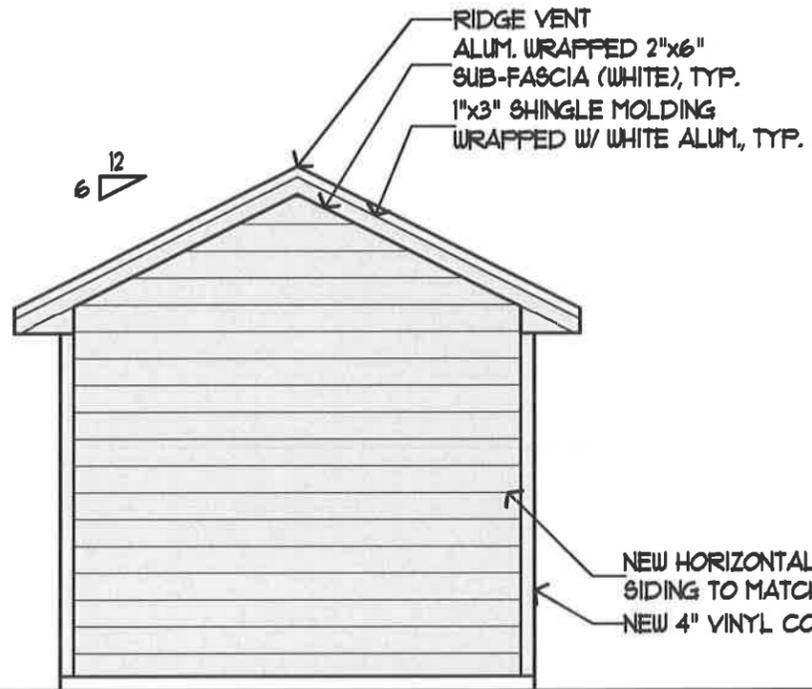


5 PROPOSED SOUTH ELEVATION
 A1.00 SCALE: 1/4" = 1'-0"

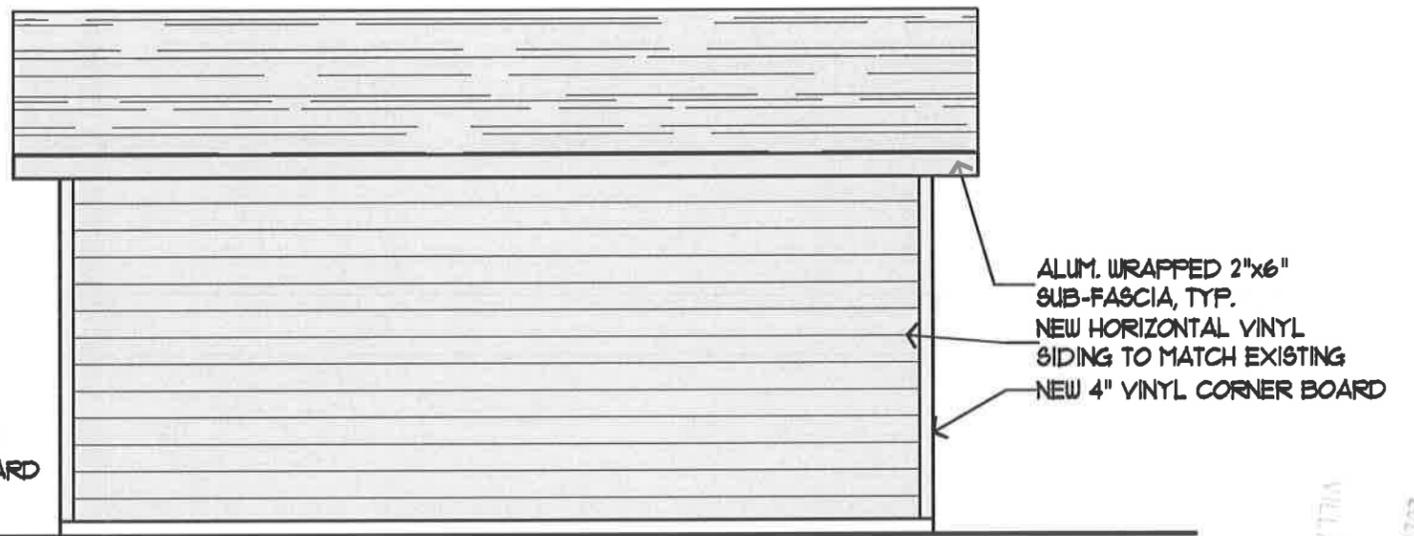
6 PROPOSED WEST ELEVATION
 A1.00 SCALE: 1/4" = 1'-0"



2025 JUN 13 PM 3:05
 WILLIAMSON, JAMES
 REGISTERED



7 PROPOSED NORTH ELEVATION
A1.00 SCALE: 1/4" = 1'-0"



8 PROPOSED EAST ELEVATION
A1.00 SCALE: 1/4" = 1'-0"

RECEIVED
2005 JUN 13 P 3:05
MAY 13 2005
VILLAGE OF EAST RIVER



Application Date: 1/28/25
Fees Paid: \$ 350.00

SP# 3805

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 215 N. Brookside Ave. Freeport ZONING DISTRICT Residence AA
SECTION 54 BLOCK B LOT 74 LOT SIZE: 11393.37 sq. ft.

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: _____	Name: <u>Leslie Wade</u>
Address: _____	Address: <u>215 N. Brookside Ave.</u> <u>Freeport, NY</u>
Telephone #: _____	Telephone #: <u>917-370-5107</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: one family dwelling Proposed Land Use: one family dwelling

Description of Proposed Work: Proposed 2nd floor addition with minor interior alterations to 1st floor 57.6' x 43.6'

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
 YES NO

RECEIVED
2025 JAN 28 11:11 AM
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

APPLICANT'S SIGNATURE _____
Sworn to before me this _____
day of _____, 20____.

DATE _____

Notary Public _____

Property Owner's Consent: I, Leslie Wade am (are) the owner(s) of the subject property and consent to the filing of this application.

Leslie Wade
PROPERTY OWNER'S SIGNATURE

12/16/24
DATE

Sworn to before me this 16th
day of Dec, 2024

KAMERON JAMES
Notary Public, State of New York
Reg. No. 01JA0030302
Qualified in Nassau County
Commission Expires October 29, 2025

Kameron James
Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
Planning Board Signature: _____	Date: _____



RECEIVED

2025 JAN 28 A 11: 16

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

ROBERT T. KENNEDY
MAYOR

SITE PLAN LETTER
November 27, 2024

Leslie Wade
215 N Brookside Ave
Freeport, NY 11520

RE: 215 N Brookside Ave Freeport, NY 11520
Zoning District – Residence AA Sec. 54 Blk. B , Lot 74
Building Permit Application #20243611
Description– Proposed 57.6' x 43.6' 2nd story addition with bath.

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

ZBA Approval Needed: **NO**

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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Notice

2025 JAN 28 A 11: 16

X Negative Declaration

Positive Declaration

VILLAGE OF FREEPORT, NY

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20243611

Location: 215 N Brookside Ave Freeport, NY

Applicant: Leslie Wade

Description: Proposed 57.6' x 43.6' 2nd story addition with bath.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: November 27, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form



Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information																		
Name of Action or Project: 215 N Brookside Ave Freeport, NY 11520																		
Project Location (describe, and attach a location map):																		
Brief Description of Proposed Action: Proposed new 57.6' x 43.6' 2nd story addition w/bath		2025 JAN 28 A 11:17 CLERK'S OFFICE VILLAGE OF FREEPORT, NY																
Name of Applicant or Sponsor: Leslie Wade		Telephone: 917-370-5107 E-Mail: leslie@lesliedionewade.com																
Address: 215 N Brookside Ave																		
City/PO: Freeport,		State: NY	Zip Code: 11520															
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="height: 30px;"><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>											
NO	YES																	
<input checked="" type="checkbox"/>	<input type="checkbox"/>																	
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="height: 30px;"><input type="checkbox"/></td> <td style="height: 30px;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>											
NO	YES																	
<input type="checkbox"/>	<input checked="" type="checkbox"/>																	
3.a. Total acreage of the site of the proposed action?		0.26 acres																
b. Total acreage to be physically disturbed?		.03 acres																
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		N/A acres																
4. Check all land uses that occur on, adjoining and near the proposed action.																		
<table style="width: 100%; border: none;"> <tr> <td><input type="checkbox"/> Urban</td> <td><input type="checkbox"/> Rural (non-agriculture)</td> <td><input type="checkbox"/> Industrial</td> <td><input type="checkbox"/> Commercial</td> <td><input checked="" type="checkbox"/> Residential (suburban)</td> </tr> <tr> <td><input type="checkbox"/> Forest</td> <td><input type="checkbox"/> Agriculture</td> <td><input type="checkbox"/> Aquatic</td> <td colspan="2"><input type="checkbox"/> Other (specify): _____</td> </tr> <tr> <td><input type="checkbox"/> Parkland</td> <td colspan="3"></td> <td></td> </tr> </table>				<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential (suburban)	<input type="checkbox"/> Forest	<input type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input type="checkbox"/> Other (specify): _____		<input type="checkbox"/> Parkland				
<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential (suburban)														
<input type="checkbox"/> Forest	<input type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input type="checkbox"/> Other (specify): _____															
<input type="checkbox"/> Parkland																		

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	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: <u>HVAC upgrade, meet 3 ACh as per state code.</u> <u>spray foam insulation</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Leslie Wade</u> Signature: <u><i>Leslie Wade</i></u>	Date: <u>01/08/2024</u>	

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

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JAN 16 2024

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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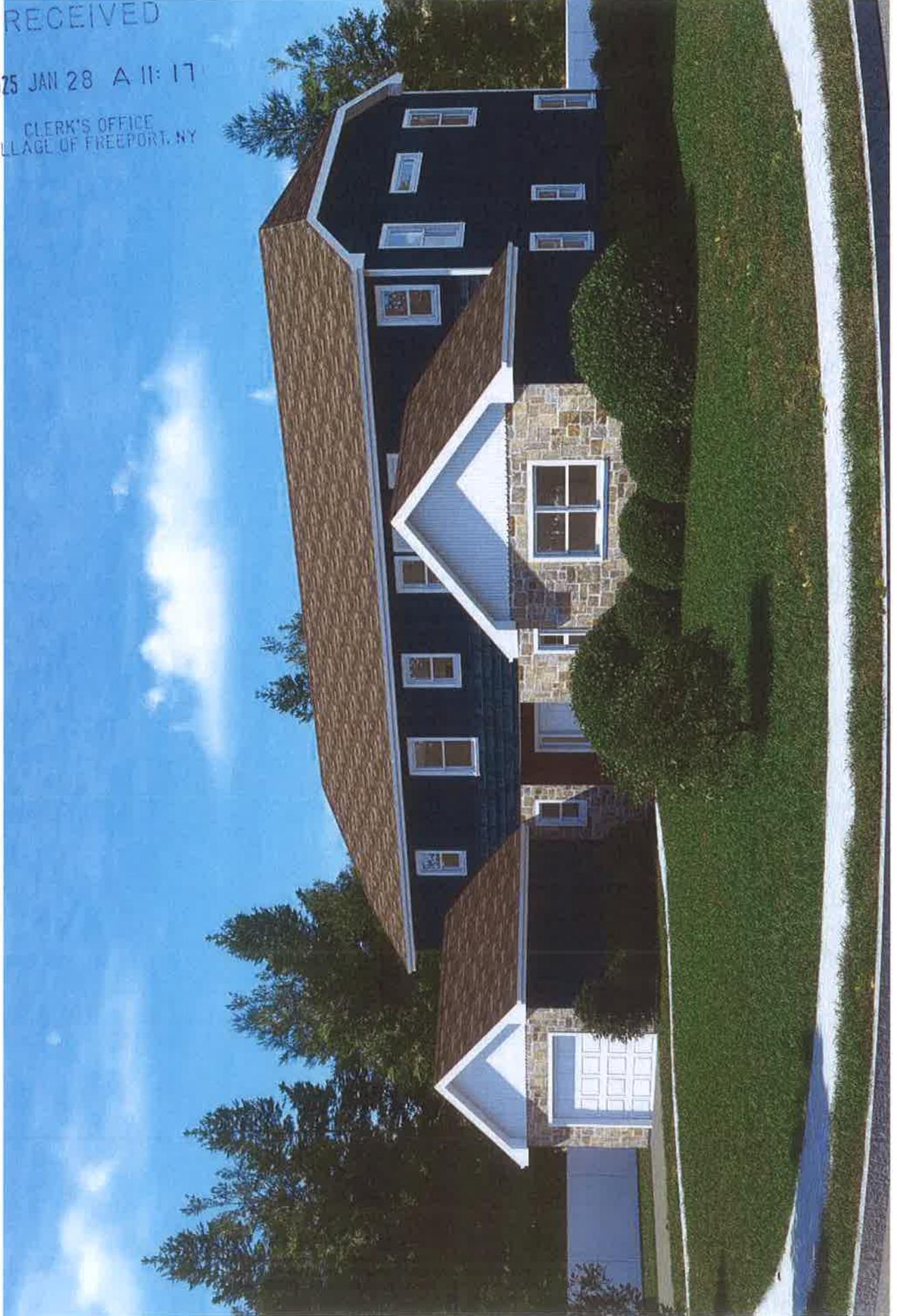
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

Proposed 215 N. Brookside Ave.

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215 N. Brookside Ave. Freeport, NY 11520

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215 N. Brookside Ave Freeport, NY 11520

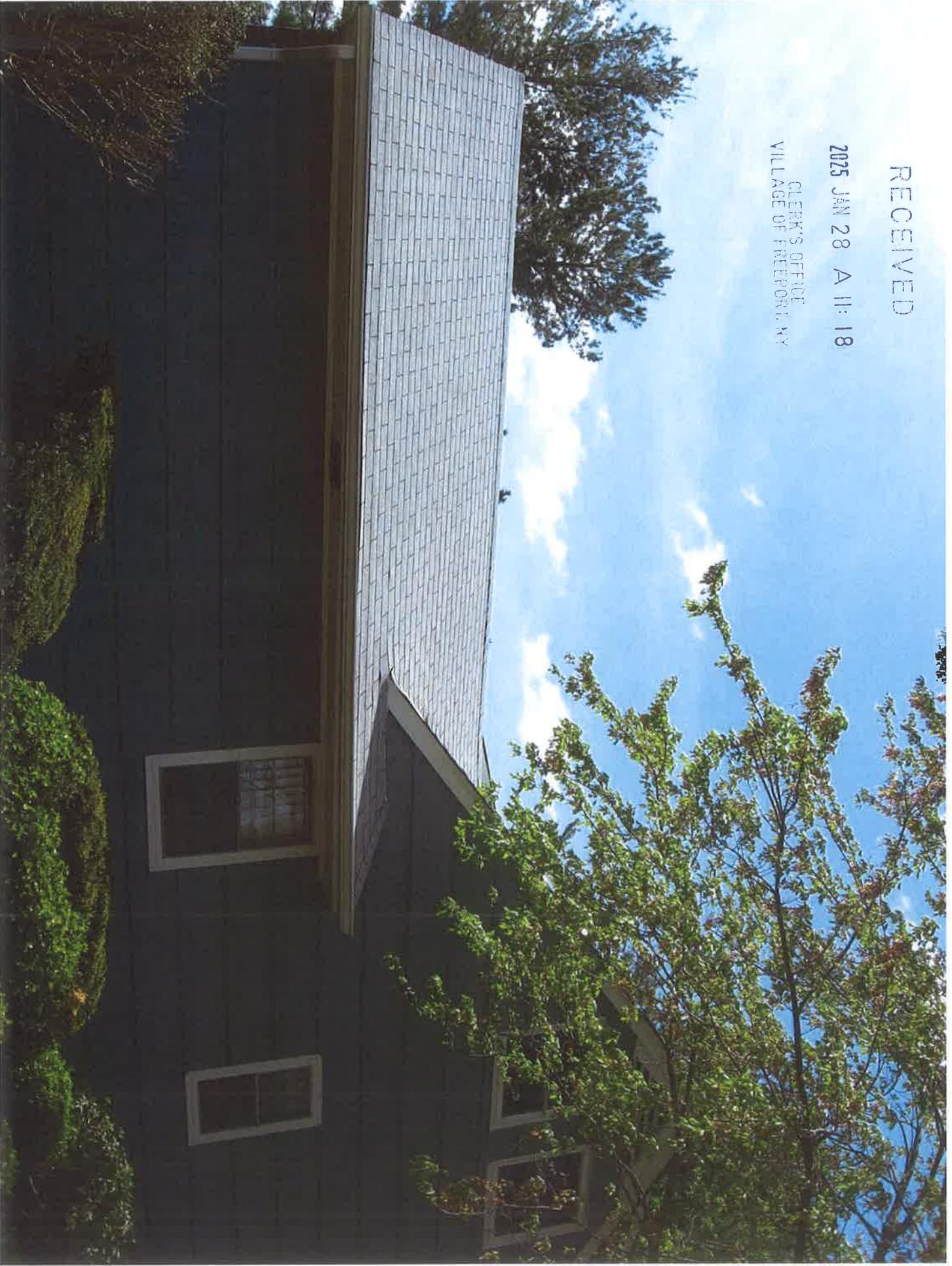


215. N. Brookside Ave. Freeport, NY 11520

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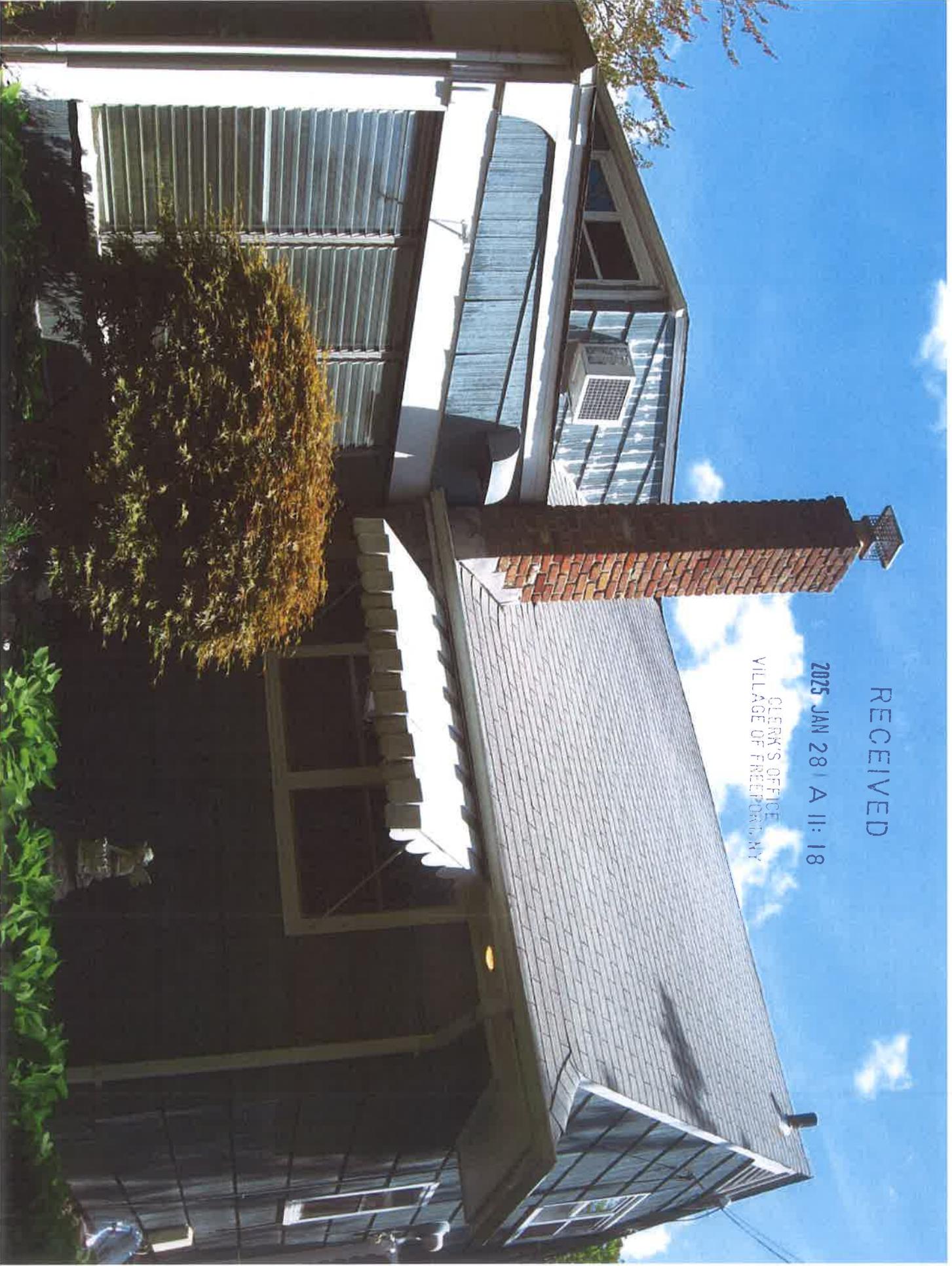


215 N. Brookside Ave. Freeport, NY 11520

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336 W. Seaman Ave.
Freeport, NY 11520

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334 W. Seaman Ave.
Freeport, NY 11520

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39 Milburn Ct.
Freeport, NY 11520

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325 W. Seaman Ave.
Freeport, NY 11520

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339 W. Seaman Ave.
Freeport, NY 11520

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32 Millburn Ct.
Freeport, NY 11520

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Architectural features:

Re: 215 N. Brookside Ave Freeport, NY 11520

Roof:

- new "GAF" (timberline) architectural roof shingles (color barkwood)

Fascia:

- New 1"x 6" capped w/ aluminum coil stock from ("mastic plygem") (color white)

Siding:

- Mastic plygem cedar discovery perfection shingles double 7" (Newport bay)

Soffit:

- White vented vinyl soffit.

Windows:

- All windows are Anderson (200 series) with white PVC crown molding over 5/4x4 PVC trim.

Corner trim of house:

- Mastic Plygem (Color- White)

Gutters & leaders:

- Aluminum gutters & leaders by Mastic Plygem (color white)

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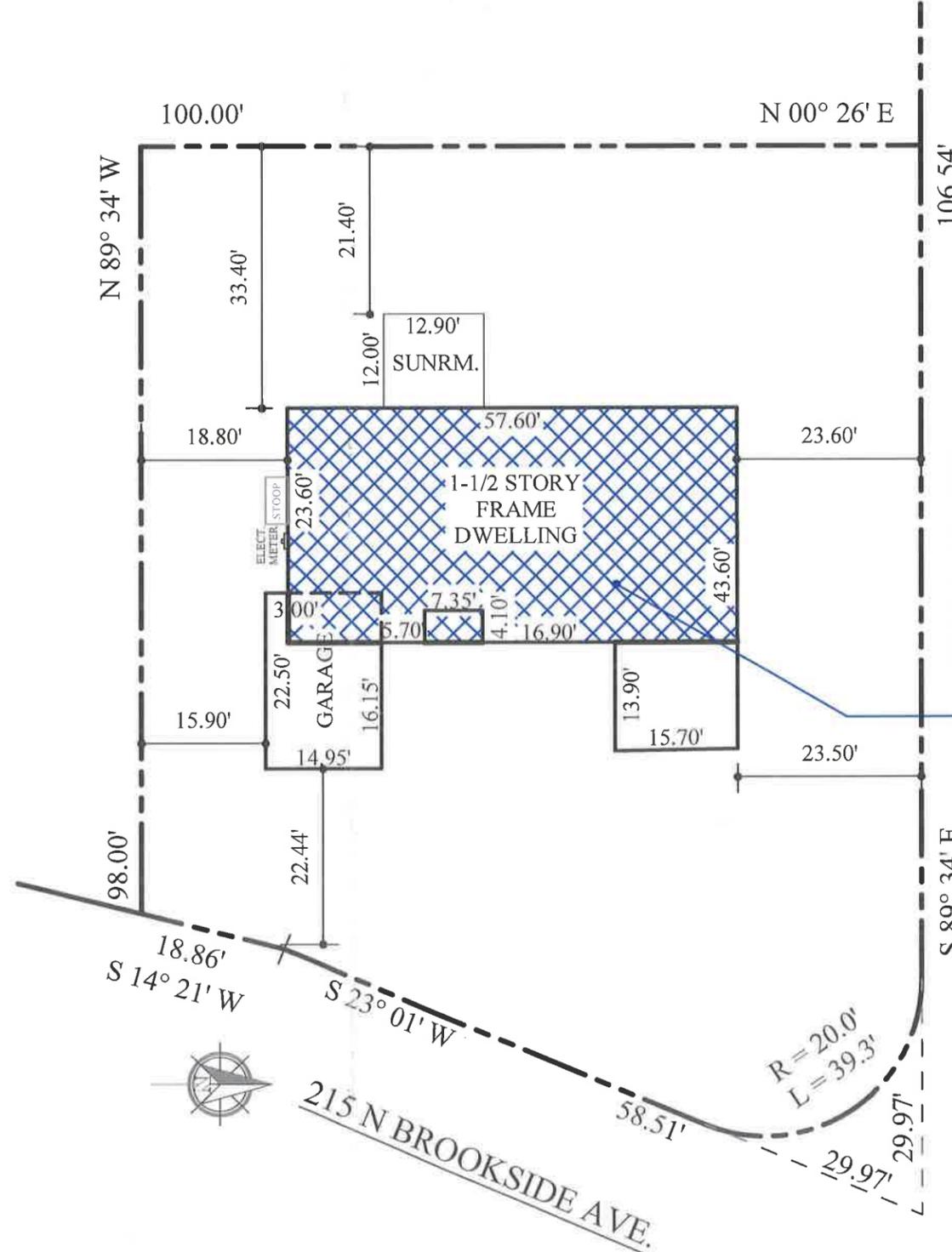
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LOT COVERAGE	
LOT SIZE	11393.37
EX. DWELLING	2170.74
SUNROOM	154.80
NEW 2ND. FLOOR @ FRONT (SQ. OFF)	30.14
TOTAL BLDG AREA	2,355.68
LOT OCCUPIED =	$\frac{2,355.68}{11,393.37} \times 100.0\% = 20.68$
MAX. LOT COVERAGE PERMITTED PRINCIPAL BUILDING	
LOT SIZE	$11393.37 \times 25.0\% = 2848.34$ S.F.
MAX. LOT COVERAGE PERMITTED ACCESSORY STRUCTURE	
LOT SIZE	$11393.370 \times 7.5\% = 854.50$ S.F. (max. 750 s.f.)
SUNROOM	154.800
FLOOR AREA RATIO (F.A.R.)	
LOT SIZE	$11393.370 \times 0.40 = 4,557.35$ MAX.
SUNROOM	154.80
1st. FLOOR	2145.86
2nd FLOOR	1716.93
TOTAL SQ.FT.	4,017.59 PROVIDED



PROPOSED PLOT PLAN

SCALE: 1" = 20'



1/22/25

No.	Description	Date

NO OVERSIGHT, ERROR, OR OMISSION ON THE PART OF THE ENGINEER, ARCHITECT, OR HIS REPRESENTATIVE SHALL LEGALIZE THE ERRECTING, CONSTRUCTION, ALTERATION, REMOVAL, USE, OR OCCUPANCY OF A BUILDING OR STRUCTURE THAT DOES NOT CONFORM TO THE PROVISIONS OF THE BUILDING CODE AND THE BUILDING ZONE ORDINANCE

PROPERTY INFORMATION
SECTION: 54
BLOCK: B
LOT: 74
ZONE: ---

WADE RESIDENCE
215 N BROOKSIDE AVE,
FREEPORT, N.Y.

ROBERT F. ALWEIS,
P.E., P.C.,
CONSULTING ENGINEER
1 CATHERINE PLACE
BELLMORE, N.Y., 11710
Tel: (516) 679-4731
Fax: (516) 679-4736
Email:
ralweis@alweisengineering.com

**CONSTRUCT
NEW 2nd. FLOOR W/
INTERIOR ALTERATION**

ALL WORK SHALL
COMPLY
WITH THE 2020 N.Y.S.
RESIDENTIAL CODE

EDUCATION LAW ARTICLE 145
PROFESSIONAL ENGINEERING & LAND
SURVEYING, SECTION 7209; IT IS A
VIOLATION OF THIS LAW FOR ANY PERSON,
UNLESS HE IS ACTING UNDER THE DIRECTION
OF A LICENSED ENGINEER OR LAND
SURVEYOR, TO ALTER AN ITEM IN ANY WAY.

SEAL & SIGNATURE	Date: 00-00-00
	Project #: 0000
	Drawn by: J.W.
	Checked by: R.A.
	Scale: as noted
Sheet #	SP-1
Page #	OF

Application Date: 2/6/2025
Fees Paid: 325.00

SP# 3807

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 83 WASHBURN AVE. ZONING DISTRICT A-RES.
SECTION ~~125~~ 55 BLOCK ~~22~~ 247 LOT ~~7~~ 229 LOT SIZE: 5,000 SF

<input type="checkbox"/> TENANT <u>APPLICANT</u>	<input type="checkbox"/> LESSEE	<u>PROPERTY OWNER</u>
Name: <u>SERGIO ALI</u>		Name: <u>LEDNOR BRUNY</u>
Address: <u>80 ORVILLE DR.</u>		Address: <u>83 WASHBURN AVE</u>
<u>ROCHESTER, NY 11716</u>		<u>FREEPORT, NY 11520</u>
Telephone #: <u>(516) 717-5563</u>		Telephone #: <u>(516) 582-4311</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: RESIDENTIAL Proposed Land Use: REMAIN RESIDENTIAL

Description of Proposed Work: NEW 2-CAR DETACHED GARAGE (21' X 21')
& NEW 26' X 20' ASPHALT DRIVEWAY

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

_____ YES NO
DATE 1/24/25

APPLICANT'S SIGNATURE
Sworn to before me this 24
day of January, 2025

MARIA ISABEL GARCIA
Notary Public, State of New York
No. 01GA6313270
Qualified in Suffolk County
Certified in Nassau County
Commission Expires October 14, 26

Notary Public

Property Owner's Consent:
I, LEDNOR BRUNY am (are) the owner(s) of the subject property and consent to the filing of this application.

X Lednor Bruny
PROPERTY OWNER'S SIGNATURE
DATE 1/16/2025

Sworn to before me this 16
day of January, 2025

JANET GUSMANOS
Notary Public, State of New York
Reg. No. 01GU6127275
Qualified in Nassau County
Commission Expires 10/13/2025

Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

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VILLAGE OF FREEPORT, NY



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INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER

January 28, 2025

Bruny Carlens & Leonor
83 Washburn Ave
Freeport, NY 11520

RE: 83 Washburn Ave Freeport, NY
Zoning District – Residence A Sec. 55 Blk. 247, Lot 229
Building Permit Application #20244054
Description: Construct 21' x 21' detached garage & new 20' x 26' asphalt driveway

Dear Sir/Madam,

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-3632.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez
cc: Village Clerk

ZBA Approval Needed: NO

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20244054

Location: 83 Washburn Ave, Freeport NY 11520

Applicant: Bruny Carles & Leonor

Description: Construct 21' x 21' detached garage & new 20' x 26' asphalt driveway

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: January 28, 2025

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.
 DEC 10 2024

APPLICATION NO. 20244054
 Filing Date 12/10/24

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING

AT (LOCATION) 83 WASHINGTON AVE ZONING DISTRICT A-RES.
 (No.) (Street)

BETWEEN WASHINGTON AVE AND GRAFFING PLACE
 (Cross Street) (Cross Street)

SECTION 53 BLOCK _____ LOT _____ APPROX. LOT SIZE 50 x 100 LOT AREA 5,000 SF

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

<p>A. TYPE OF IMPROVEMENT</p> <p>1 <input checked="" type="checkbox"/> New building</p> <p>2 <input type="checkbox"/> Addition-Alteration (if residential, enter number of new housing units added. If none-state none)</p> <p>3 <input type="checkbox"/> Swimming Pool</p> <p>4 <input type="checkbox"/> Repair (replacement)</p> <p>5 <input type="checkbox"/> Bulkhead (New, Repair)</p> <p>6 <input type="checkbox"/> Fence</p> <p>7 <input type="checkbox"/> Moving (relocation)</p>		<p>B. PROPOSED OR EXISTING USE</p> <table border="0"> <tr> <td colspan="2">RESIDENTIAL</td> <td colspan="2">NON RESIDENTIAL - Complete Part "E"</td> </tr> <tr> <td>11 <input type="checkbox"/></td> <td>One Family</td> <td>17 <input type="checkbox"/></td> <td>Industrial</td> </tr> <tr> <td>12 <input type="checkbox"/></td> <td>Two families</td> <td>18 <input type="checkbox"/></td> <td>Office, bank, professional</td> </tr> <tr> <td>13 <input type="checkbox"/></td> <td>Apartment - Enter No. of Units _____</td> <td>19 <input type="checkbox"/></td> <td>Stores, mercantile</td> </tr> <tr> <td>14 <input type="checkbox"/></td> <td>Transient hotel, motel, or dormitory - Enter No. of Units _____</td> <td>20 <input type="checkbox"/></td> <td>Church, other religious</td> </tr> <tr> <td>15 <input checked="" type="checkbox"/></td> <td>Garage or Accessory Structure</td> <td>21 <input type="checkbox"/></td> <td>Hospital, Institutional</td> </tr> <tr> <td>16 <input type="checkbox"/></td> <td>Other - Specify _____</td> <td>22 <input type="checkbox"/></td> <td>Other - Specify _____</td> </tr> </table>		RESIDENTIAL		NON RESIDENTIAL - Complete Part "E"		11 <input type="checkbox"/>	One Family	17 <input type="checkbox"/>	Industrial	12 <input type="checkbox"/>	Two families	18 <input type="checkbox"/>	Office, bank, professional	13 <input type="checkbox"/>	Apartment - Enter No. of Units _____	19 <input type="checkbox"/>	Stores, mercantile	14 <input type="checkbox"/>	Transient hotel, motel, or dormitory - Enter No. of Units _____	20 <input type="checkbox"/>	Church, other religious	15 <input checked="" type="checkbox"/>	Garage or Accessory Structure	21 <input type="checkbox"/>	Hospital, Institutional	16 <input type="checkbox"/>	Other - Specify _____	22 <input type="checkbox"/>	Other - Specify _____
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16 <input type="checkbox"/>	Other - Specify _____	22 <input type="checkbox"/>	Other - Specify _____																												
<p>C. COST</p> <p>10 TOTAL COST OF IMPROVEMENT \$ <u>35,000</u></p>		<p>D. DESCRIPTION OF PROJECT</p> <p><u>NEW DETACHED GARAGE &</u> <u>NEW 26' x 21' ASPHALT DRIVEWAY</u></p>																													

III. IDENTIFICATION - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>CAROL & LEONOR BRUNY</u>	<u>83 WASHINGTON AVE</u> <u>FREEPORT, NY</u>	<u>(516)</u> <u>582-4311</u>
2. Contractor	<u>DOMINIQUE MATHIEU</u> <u>DOMATIQUÉ SI</u>	<u>805 WOODFIELD RD</u> <u>W. HEMPSTEAD, NY</u>	<u>(347)</u> <u>336-2728</u>
3. Architect or Engineer	<u>RICARDO CAMPOS</u>	<u>706 HAWTHORNE BLVD</u> <u>W. OHLIP, NY 11795</u>	<u>(516)</u> <u>717-5563</u>

IV. OWNER - CONTRACTOR STATEMENT

Building permit is issued subject to the provisions of Section 67 of the Workmen's Compensation Law.

Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____

Contractor or Owner _____ (Print)

Address _____

Phone _____

State of New York
 County of Nassau

LEONOR BRUNY being duly sworn, says that SHE is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of HER knowledge and belief and agrees to conform to the laws of this State of New York.

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V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?
 YES _____ NO

IF YES, WHICH ZONE? _____

IS PROJECT TO REPAIR FLOOD DAMAGE?
 YES _____ NO

PROJECT DESCRIPTION

Total/First Fire Square Feet

Upper Fire

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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Notice

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X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20244054

Location: 83 Washburn Ave, Freeport NY 11520

Applicant: Bruny Carles & Leonor

Description: Construct 21' x 21' detached garage & new 20' x 26' asphalt driveway

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: January 28, 2025

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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Appendix B

Short Environmental Assessment Form

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FREEPORT BUILDING DEPT.

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: NEW GARAGE			
Project Location (describe, and attach a location map): 83 WASHINGTON AVE. FREEPORT, NY 11520			
Brief Description of Proposed Action: NEW DETACHED GARAGE & NEW 20' X 20' ASPHALT DRIVEWAY			
Name of Applicant or Sponsor: SERGIO ALI / CASA DEVELOPER		Telephone: 516-717-5563	
Address: 80 ORVILLE DR.		E-Mail: CASAHOMEBUYERS@GMAIL.COM	
City/PO: BOHEMIA		State: NY	Zip Code: 11714
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO X	YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: VILLAGE OF FREEPORT PERMIT		NO	YES X
3.a. Total acreage of the site of the proposed action?		11.11 acres	
b. Total acreage to be physically disturbed?		0.05 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		11 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

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	NO	YES	N/A
5. Is the proposed action, <p>a. A permitted use under the zoning regulations?</p> <p>b. Consistent with the adopted comprehensive plan?</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
CLERK'S OFFICE OFFICE OF FREEDOM OF INFORMATION BUILDING DEPT.			
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <p>a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</p> <p>b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Sorano All
Signature: [Signature]

Date: 8/20/24

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

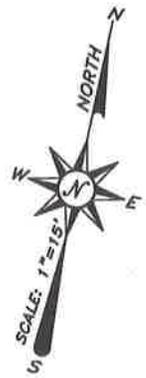
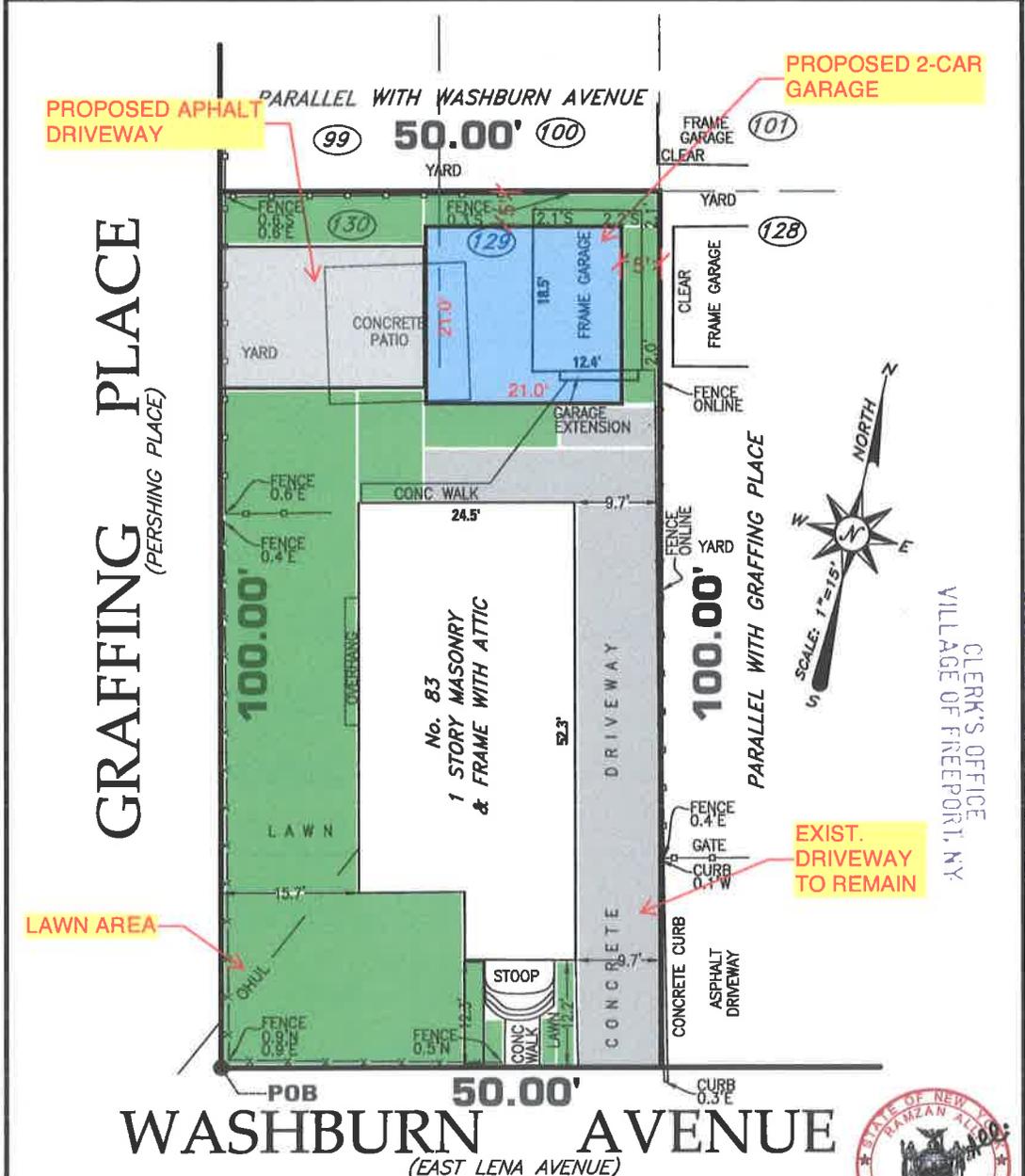
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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

LEGEND	OHUL	OVERHEAD UTILITY LINES	-x-x-	CHAIN LINK FENCE	(130)	FILE MAP LOT NUMBER
	□	VINYL FENCE	—	PROPERTY LINE	CONC	CONCRETE
	-s-s-	STOCKADE FENCE	POB	POINT OF BEGINNING		



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WASHBURN AVENUE (EAST LENA AVENUE)

DESIGNATED AS LOT No. 129 & 130
ON "MAP OF MOUNT ESTATES, INC."
AS MAP No. 502, CASE No. 445



LB-000529N	March 29, 2024	Title Survey
JOB No.	DATE	DESCRIPTION
CERTIFIED TO:		
The certifications herein are not transferable.		
1. CASA Development Group		
Property Situated at:	Tax Designation:	
83 Washburn Avenue	District:	-
Inc. Village of Freeport	Section:	55
Town of Hempstead	Block:	247
County of Nassau	Lots:	229 & 230
State of New York		
Drawn By: MC	Checked By: YP	

A copy of this document without a proper application of the surveyor's inked or embossed seal should be assumed to be an unauthorized copy.

NOTICE: © 2024 Earl B. Lovell-S.P. Belcher, Inc. All Rights Reserved
Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.

EARL B. LOVELL - S.P. BELCHER, INC.
Land & City Surveyors - Incorporated 1933

77-16 164 Street
Fresh Meadows, NY 11366
Tel: 212-732-1381
E-mail: lovellbelcher@gmail.com
www.lovellbelcher.com

Records of NY Land Surveyor

View of the northeast elevation



View of the east elevation



View of the corner



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View of the northeast elevation



View of across the street



View of the rear yard where proposed garage to be placed

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View of the area for the proposed driveway



View of the rear yard where proposed driveway to be placed



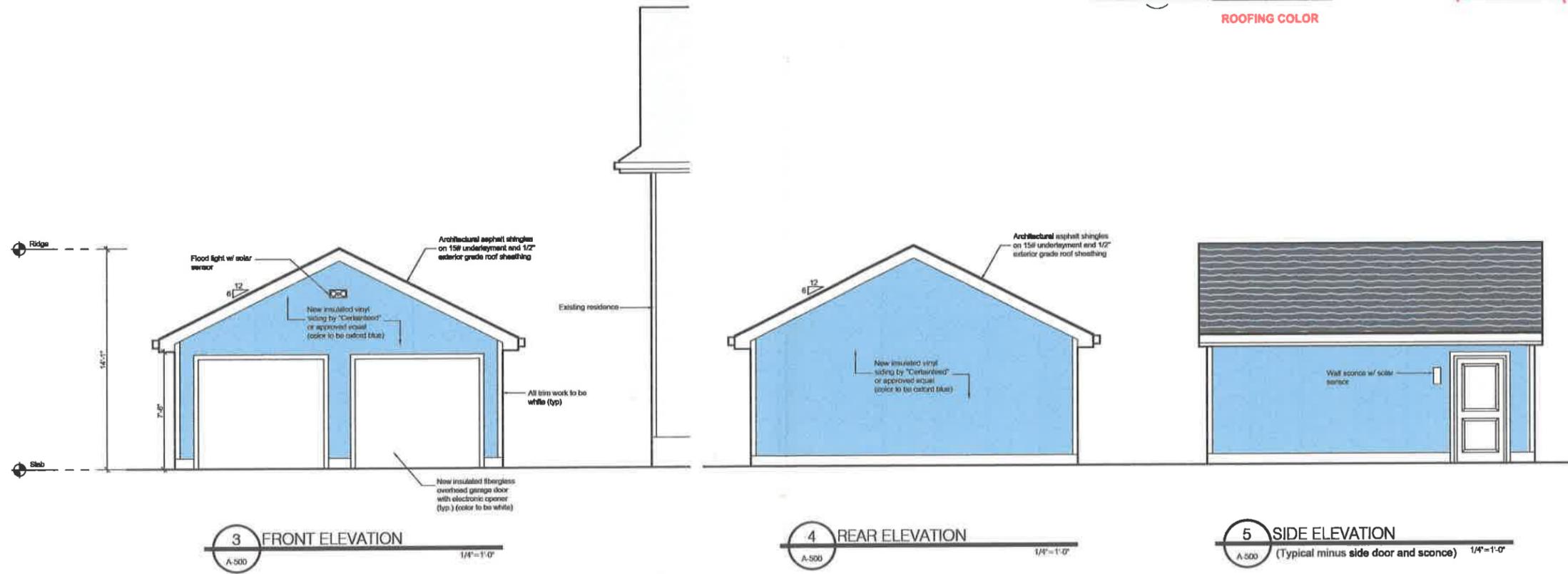
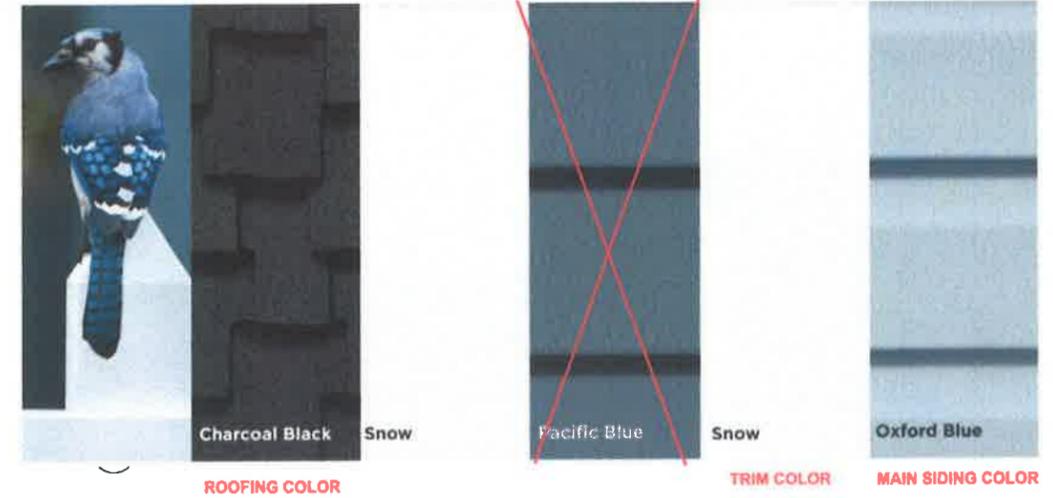
View of across the street



80 Orville Drive
Bohemia, New York 11716
casha@homebuyers@gmail.com
516-717-5563



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New Garage
83 Washburn Ave.
Freeport, New York
11520

Application Date: 2/10/2025
Fees Paid: \$ 225.00

SP# 3808

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 263 BRANCH AVE FREEPORT ZONING DISTRICT RES A
SECTION 62 BLOCK 227 LOT 31 LOT SIZE: 5100 SF

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Louis Trentadue</u>	Name: <u>Ross Caro</u>
Address: <u>133 Lincoln Ave Pelham NY 10803</u>	Address: <u>263 BRANCH AVE FREEPORT NY 11520</u>
Telephone #: <u>516.420.7298</u>	Telephone #: <u>516.960.8172</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Res Proposed Land Use: Res

Description of Proposed Work: Repair existing near 12'x12' 1 story addition

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

Louis Trentadue
APPLICANT'S SIGNATURE
Sworn to before me this 10TH day of FEBRUARY, 2025.
Notary Public

PEGGY M. LESTER
Notary Public, State of New York
No. 01LE6293122
Qualified in Nassau County
Commission Expires Nov. 25, 2025

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Property Owner's Consent: I, Ross Caro am (are) the owner(s) of the subject property and consent to the filing of this application.

Linda Whitney
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 5 day of February, 2025.
Notary Public

LINDA WHITNEY
Notary Public - State of New York
NO. 01WH4972476
Qualified in Nassau County
My Commission Expires Oct 1, 2026

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

SUBMISSION CHECKLIST

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius ^{neighbors + across street} of the subject parcel, with identifying comments on said photographs.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	a. Title of drawing, including name and address of applicant.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	b. North point, scale, and date.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Boundaries of the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Floodplain boundaries as determined by the Federal Emergency Management Agency.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Location of outdoor storage and description of materials to be stored.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Location and description of all proposed waterfront public access/recreation provisions.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Description of sewage disposal and water supply systems and locations of such facilities.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	n. Location, design and size of all signs and lighting facilities.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	p. Building orientation and site design for energy efficiency and visual quality.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	r. Description and location of erosion control measures including proposed location of sediment sink/settling pond and interceptor swales, etc..
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	u. Estimated project construction schedule.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	v. Record of application for approval status of all necessary permits from federal, state and county officials.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	w. Identification of any federal, state or county permits required for project execution.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER
January 17, 2025

Ross Caro
263 Branch Ave
Freeport, NY 11520

RE: 263 Branch Ave Freeport, NY
Zoning District – Residence A Sec. 62 Blk. 227, Lot 31
Building Permit Application #20244063
Description: Repair existing rear addition 12' x 12'

Dear Sir/Madam.

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-3632.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez
cc: Village Clerk

ZBA Approval Needed: NO

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE
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VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20244063

Location: 263 Branch Ave, Freeport NY 11520

Applicant: Ross Caro

Description: Maintain 12' x 12' rear addition.

Lead Agency: Department of Buildings

for the Board of Trustees

Village of Freeport

46 North Ocean Avenue, Freeport, NY

Agency Contact Person:

Superintendent of Buildings

(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: January 17, 2025

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Mr. & Mrs. Ross Caro			
Project Location (describe, and attach a location map): 263 Branch Avenue Freeport, NY 11520			
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">RECEIVED</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">2025 FEB 10 AM 1:16</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">CLERK'S OFFICE</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">VILLAGE OF FREEPORT, NY</p>	Brief Description of Proposed Action: HOUSE DAMAGED REPAIR PROJECT SCOPE: REFURBISH/ REPLACE EXISTING DWELLING'S "REAR ONE STORY ROOF & FRAMED WALL STRUCTURE" DUE TO SIGNIFICANT STRUCTURAL, STORM WATER PENETRATION & INSECT DAMAGE.		
Name of Applicant or Sponsor: Louis J. Trentadue		Telephone: 516.406.7298 E-Mail: Ltrentadue@32designstudio.com	
Address: 133 Lincoln Avenue			
City/PO: Pelham		State: NY	Zip Code: 10803
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
3.a. Total acreage of the site of the proposed action? <u>12</u> acres			
b. Total acreage to be physically disturbed? <u>0</u> acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <u>12</u> acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Louis J. Trentadue</u>	Date: <u>01.07.25</u>	
Signature: _____		

Part 2 - Impact Assessment: The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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 VILLAGE OF FREETOWN

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

CARO RESIDENCE

263 BRANCH AVENUE, FREEPORT, NY 11520



AREA MAP (TAKEN FROM GOOGLE EARTH; 02.06.25)



Table of Contents:

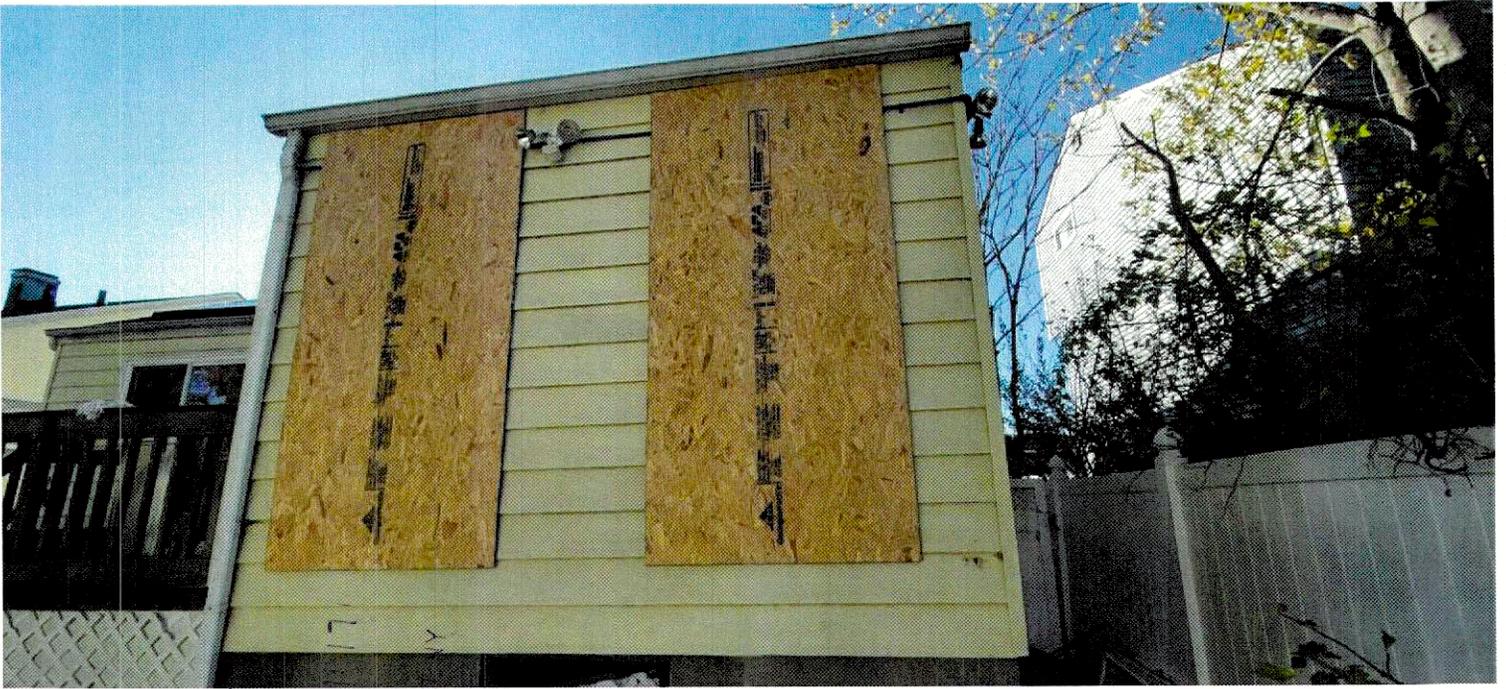
Page 1	Area Map
Pages 2 -5	Subject Premises (Project Related Rear Views; Front & Side Elevations)
Page 6	Left & Right Neighbor's Houses to Subject Neighbors)
Pages 7-9	Neighbor's Houses Across the Street From Subject Premises) Page 1



263 Branch Ave (Subject Property); Rear View



263 Branch Ave (Subject Property); Rear View



263 Branch Ave (Subject Property); Rear View



263 Branch Ave (Subject Property); Rear View



263 Branch Ave (Subject Property); Front View



263 Branch Ave (Subject Property); Left Side View



263 Branch Ave Branch Ave (Subject Property's Right Side)

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VILLAGE OF FREEPORT, NY



259 Branch Ave (Dwelling on the Left Side of Subject Property)



267 Branch Ave Branch Ave (Dwelling on the Right Side of Subject Property) Page 6



280 Branch Ave (Dwelling Across the Street from Subject Property)



280 Branch Ave (Dwelling Across the Street from Subject Property)



270 Branch Ave (Dwelling Across the Street from Subject Property)



264 Branch Ave (Dwelling Across the Street from Subject Property)



258 Branch Ave (Dwelling Across the Street from Subject Property)



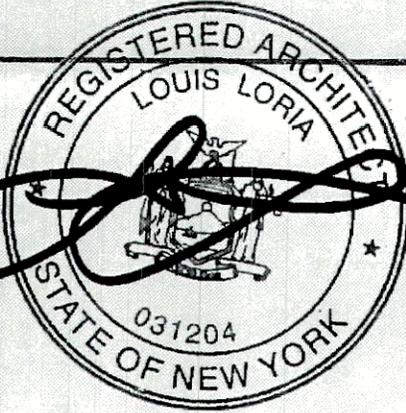
250 Branch Ave (Dwelling Across the Street from Subject Property)

CARO RESIDENCE

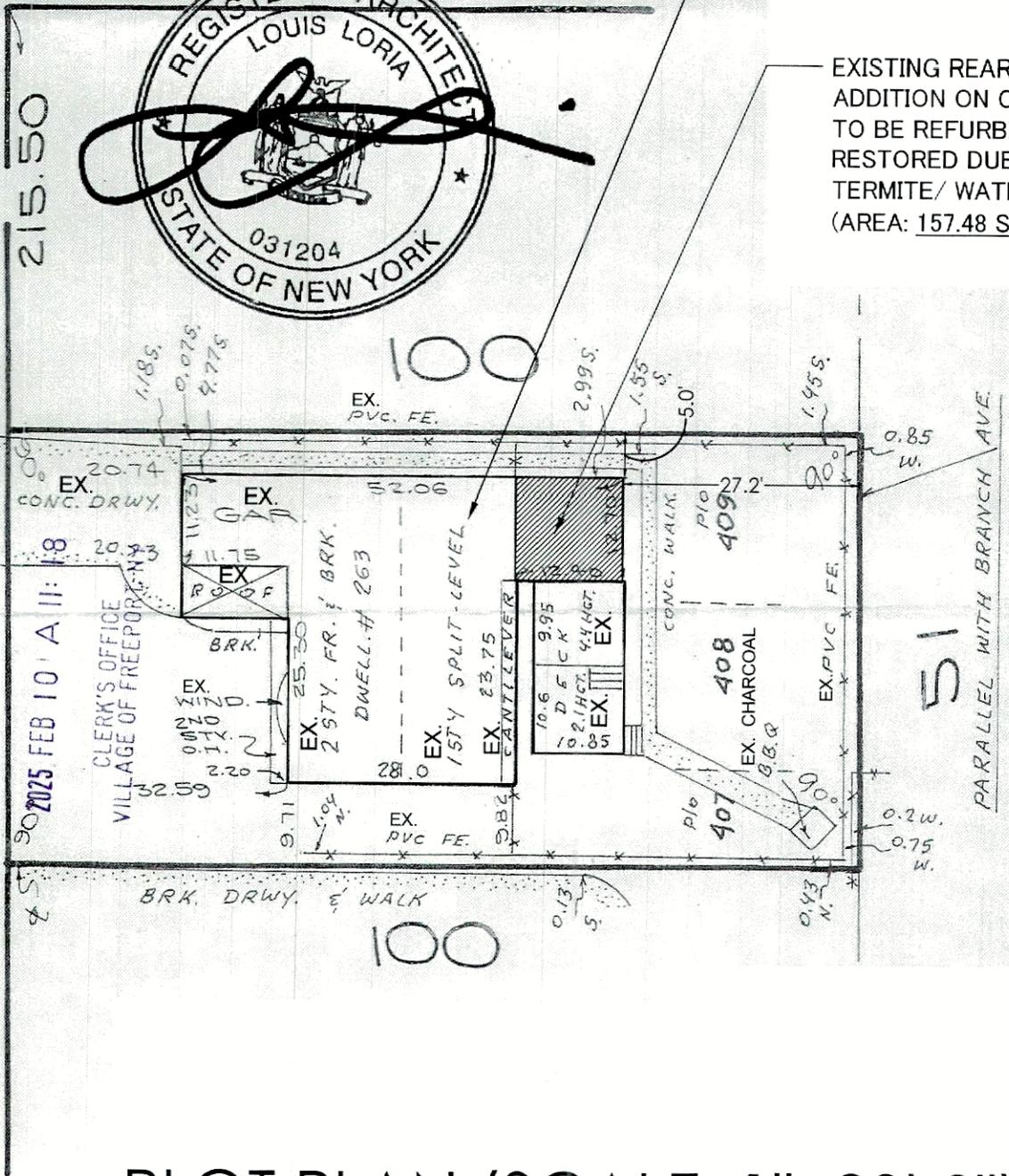
263 BRANCH AVENUE, FREEPORT, NY 11520

BRANCH (EAST BAYVIEW AVE.) AVE.

BRYANT ST.



51
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REPLACE EXIST. KITCHEN CAB'TS & APPLIANCES

EXISTING REAR 1 STORY ADDITION ON CRAWL SPAC TO BE REFURBISHED/ RESTORED DUE TO TERMITE/ WATER DAMAGE (AREA: 157.48 SF)

51

PARALLEL WITH BRANCH AVE.

PLOT PLAN (SCALE: 1"=20'-0")

THIS PLOT PLAN IS BASED ON A LAND SURVEY PREPARED BY PETER J. BRABAZON, PROFESSIONAL LAND SURVEYOR, DATED 08.23.2014

LOT: 5,100.00 SF

SBL: 62-227-31

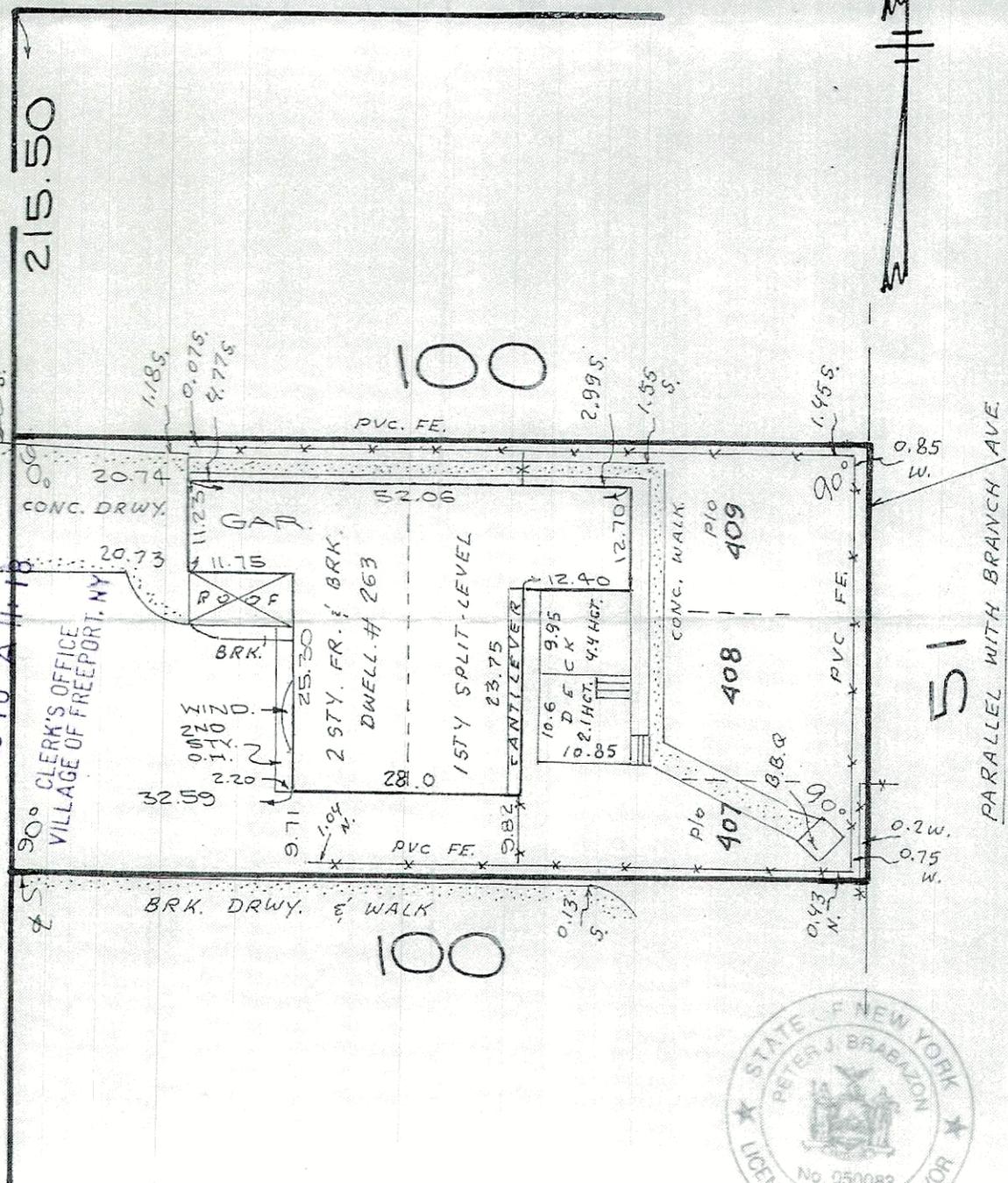


BRANCH (EAST BAYVIEW AVE) AVE.

BRYANT ST.

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TAX SEC.-62, BLK.-227, LOT-31.

Peter J. Brabazon PLS, PC
 Professional Land Surveyor
 430 W. Old Country Rd, Hicksville N.Y. 11801
 Phone: (516)822-5111 Fax: (516)822-4395
 www.BrabazonSurveying.com

P. J. Brabazon

Successor to:

KENNETH S. O'BRIEN - BALDWIN & CORNELIUS - PETER & WALTER
 KEMPA - FREDERICK W. KAHLER - GEORGE H. WALBRIDGE CO. (W.
 SUFFOLK) - PETER L. PFLEIDERER JR. - ARTHUR W. LEACH - H.F.
 BISHOP - ROBERT D. JONES (NASSAU) - SHAH ASSOCIATES - JULIUS
 JARGSTORFF - MURRETT H. DELORME - WILLIAM H. SEAMAN - JEFFREY
 J. ROBERTSON - H.A. SCHMELAU - IVAN E. CZIPOTT - C.A. MONROE -
 KAHLER & BYNCHON - SMITH & MALCOLMSON

SURVEY OF PROPERTY AT: **FREEPORT**
 MAP: **OF RANDALL BAY ESTATES**
 SECTION: **N^o 1** BLOCK: _____ LOT(S): **408, P/6 409, P/6 407**
 FILED: **07.10.1924** CASE No: **3346**
 MAP No: **545** COUNTY: **NASSAU**
 GUARANTEED TO: Barrister Land LLC

Old Republic Title Insurance Company
 Ross M. Caro, Janice D. Caro and Thomas J. Lorelli

SEAL:



REG. NO.:

MEP CONSULTANT:

STRUCTURAL CONSULTANT:

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VILLAGE OF FREEPORT, NY

NO.	DATE	DESCRIPTION
12		
11		
10		
9		
8		
7		
6		
5		
4		
3		
2	2025.02.06	SITE PLAN REVIEW
1	2024.11.30	ISSUED FOR CONSTRUCTION

PROJECT LOCATION:

CARO RESIDENCE
263 BRANCH AVENUE
FREEPORT, NY 11520

SHEET TITLE:

FIRST FLOOR PLAN & ELEVATIONS

PROJECT NO. 20240024

SCALE: AS NOTED

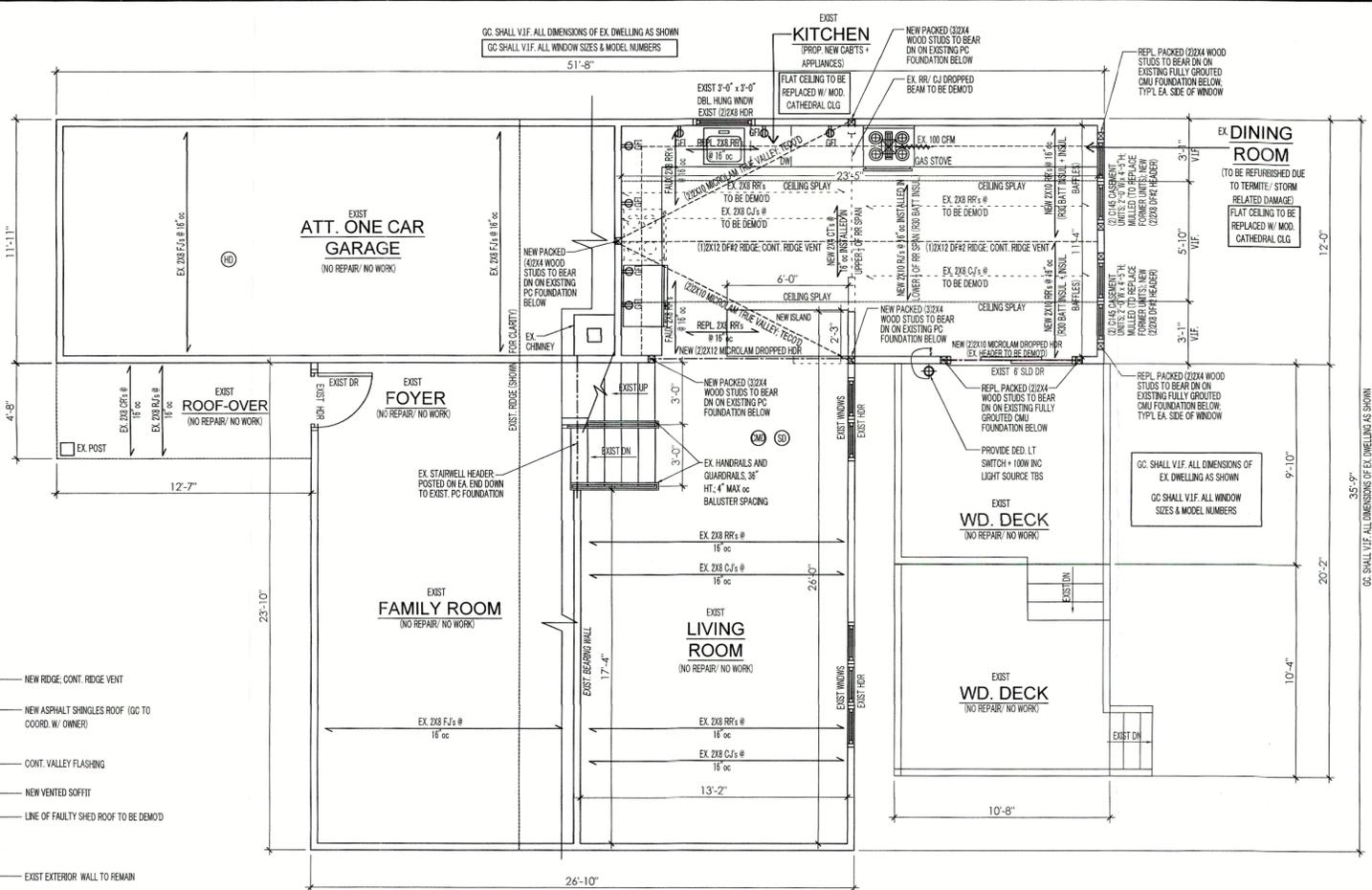
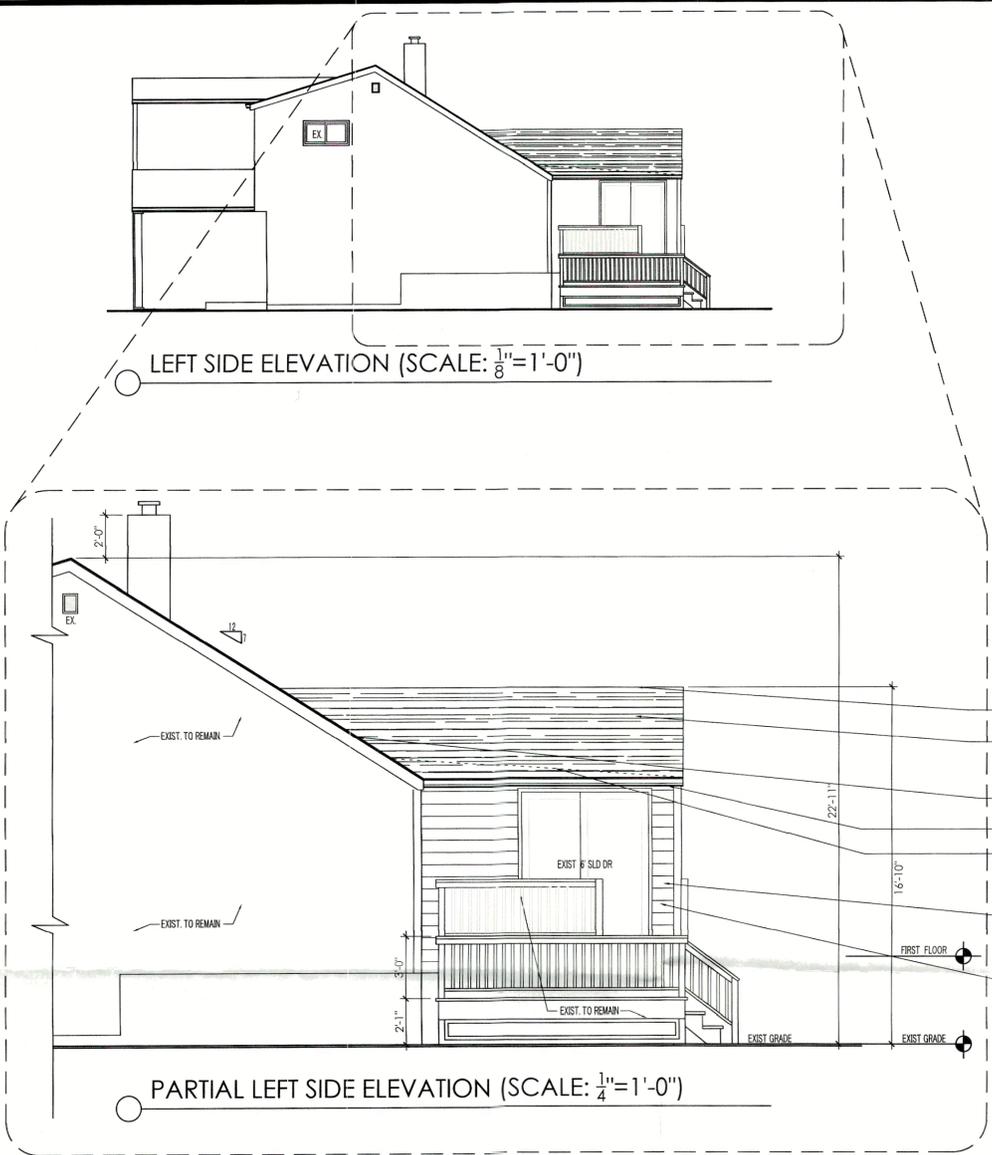
DATE: 2024.01.20

DRAWN BY: --

REVIEWED BY: --

SHEET NO.

A-130.00



FIRST FLOOR PLAN (SCALE: 1/4"=1'-0")

****HOUSE DAMAGED REPAIR****
PROJECT SCOPE: REFURBISH/ REPLACE EXISTING DWELLING'S "REAR ONE STORY ROOF & FRAMED WALL STRUCTURE" DUE TO SIGNIFICANT STRUCTURAL, STORM WATER PENETRATION & INSECT DAMAGE.

SITE PLAN REVIEW BOARD: PROPOSED FINISH SCHEDULE:

ROOFING MATERIAL: ASPHALT, MED. DARK GREY (TO MATCH EXISTING)

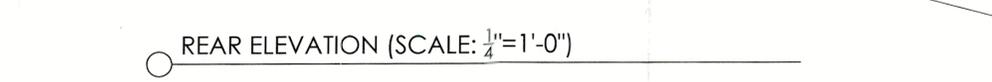
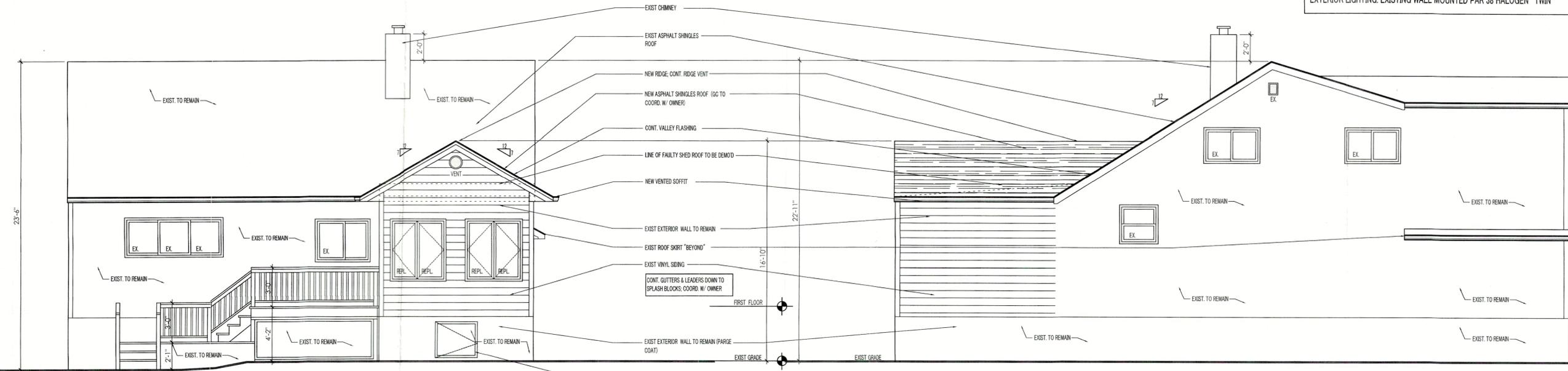
SIDING MATERIAL: VINYL; LIGHT BROWN/ YELLOW (TO MATCH EXISTING)

GUTTER MATERIAL: ALUMINUM; WHITE (TO MATCH EXISTING)

DOOR STYLE: EXIST. 6' SLIDER TO REMAIN (WHITE TRIM)

WINDOW TYPE: CASEMENT & DOUBLE HUNG; WHITE (REPLACE "IN KIND")

EXTERIOR LIGHTING: EXISTING WALL MOUNTED PAR 38 HALOGEN "TWIN"



CROSS SECTION & CONSTRUCTION DETAILS

SCALE: 1/4"=1'-0"

Application Date: 2/14/23
 Fees Paid: \$225.00

SP# 3809

**INCORPORATED VILLAGE OF FREEPORT
 SITE PLAN REVIEW APPLICATION
 PLANNING BOARD**

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 246 GRAND AVENUE ZONING DISTRICT RES "A"
 SECTION 55 BLOCK 245 LOT 421 LOT SIZE: 63.4 * 100

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>JOSE MINAYA</u>	Name: <u>JOSE MINAYA</u>
Address: <u>246 GRAND AVENUE</u> <u>FREEPORT, N.Y. 11520</u>	Address: <u>246 GRAND AVENUE</u> <u>FREEPORT, N.Y. 11520</u>
Telephone #: <u>(516) 234-1982</u>	Telephone #: <u>(516) 234-1982</u>

(AGENT)
 Attorney Name: MIGUEL RAMIREZ Address: 33 LAMONT PLACE
 (optional) Phone #: (631) 704-6601 WEST BABYLON, N.Y. 11704

Present Land Use: 1-FAMILY RES Proposed Land Use: 1-FAMILY RES.

Description of Proposed Work: MAINTAIN EXISTING 360 SF. WOOD FRAME ROOF OVER PATIO (NON CLIMBABLE STRUCTURE) with Acrylic roofing material

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
 A. The subject property is zoned Residence A or Residence AA.
 B. The proposed construction is not a new building or dwelling.
 C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
 YES NO

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 VILLAGE OF FREEPORT, NY
 CLERK'S OFFICE

Jose Minaya APPLICANT'S SIGNATURE DORIS ALEXANDRA RAMIREZ DATE October 12th - 2023
 Sworn to before me this _____ day of _____, 20____
Doris Ramirez
 Notary Public
 NOTARY PUBLIC STATE OF NEW YORK
 SUFFOLK COUNTY
 LIC. # 01RA6359376
 COMM. EXP. May 30 of 2025

Property Owner's Consent: I, JOSE MINAYA am (are) the owner(s) of the subject property and consent to the filing of this application.
Jose Minaya PROPERTY OWNER'S SIGNATURE October 12 of 2023 DATE
 Sworn to before me this _____ day of _____, 20____
Doris Ramirez
 Notary Public
 NOTARY PUBLIC STATE OF NEW YORK
 SUFFOLK COUNTY
 LIC. # 01RA6359376
 COMM. EXP. May 30 of 2025

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<u>Approved</u> <input type="checkbox"/> <u>Denied</u> <input type="checkbox"/>
Planning Board Signature: _____	Date: _____

SUBMISSION CHECKLIST

YES	NO	N/A	
		✓	1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only).
		✓	2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.
			3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:
✓			a. Title of drawing, including name and address of applicant.
✓			b. North point, scale, and date.
✓			c. Boundaries of the project.
		✓	d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
		✓	e. Floodplain boundaries as determined by the Federal Emergency Management Agency.
		✓	f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.
		✓	g. Location of outdoor storage and description of materials to be stored.
		✓	h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
		✓	i. Location and description of all proposed waterfront public access/recreation provisions.
		✓	j. Description of sewage disposal and water supply systems and locations of such facilities.
		✓	k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
		✓	l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
		✓	m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
		✓	n. Location, design and size of all signs and lighting facilities.
		✓	o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
		✓	p. Building orientation and site design for energy efficiency and visual quality.
		✓	q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
		✓	r. Description and location of erosion control measures including proposed location of sediment sink/setting pond and interceptor swales, etc..
		✓	s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
		✓	t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.
		✓	u. Estimated project construction schedule.
		✓	v. Record of application for approval status of all necessary permits from federal, state and county officials.
		✓	w. Identification of any federal, state or county permits required for project execution.
✓			x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.

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VILLAGE OF FREEPORT, NY

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

**Updated SITE PLAN LETTER
December 16, 2024**

Jose Minaya
246 Grand Ave
Freeport, NY 11520

RE: 246 Grand Ave , Freeport, NY 11520
Zoning District: Residence A Sec 55, Blk 245, Lot 621
Building Permit Application #20233475
Description: Maintain existing 360 sq.ft wood frame roof over patio (non-climbable structure)
with acrylic roofing material

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
/mcl

c: Village Clerk

ZBA Approval Needed: Yes__ No_X

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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VILLAGE OF FREEPORT, NY

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

 The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project : Building Permit App. 20233475

Location: 246 Grand Ave , Freeport NY 11520

Applicant: Jose Minaya

Description : Maintain existing 360 sq.ft wood frame roof over patio (non-climbable structure)
with acrylic roofing material

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Updated Dated: December 16, 2024

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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VILLAGE OF FREEPORT, NY

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: 246 Grand Ave			
Project Location (describe, and attach a location map): Freeport NY 11520.			
Brief Description of Proposed Action: Maintain existing 360 sq ft. wood frame roof over patio. (with acrylic roofing material)			
Name of Applicant or Sponsor: Jose Minaya		Telephone: 516 234 1982	
Address: 246 Grand Ave		E-Mail:	
City/PO: Freeport NY 11520		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p style="text-align: right;">2025 FEB 14 P 3:21</p> <p style="text-align: center;">CLERK'S OFFICE VILLAGE OF FREEPORT, NY</p>	<table border="1"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES				
<input checked="" type="checkbox"/>	<input type="checkbox"/>				
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p>	<table border="1"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input type="checkbox"/>
NO	YES				
<input type="checkbox"/>	<input type="checkbox"/>				
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p>	<table border="1"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input type="checkbox"/>
NO	YES				
<input type="checkbox"/>	<input type="checkbox"/>				
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>Jose Minaya</u> Date: <u>9/21/23</u></p> <p>Signature: <u>[Signature]</u></p>					

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

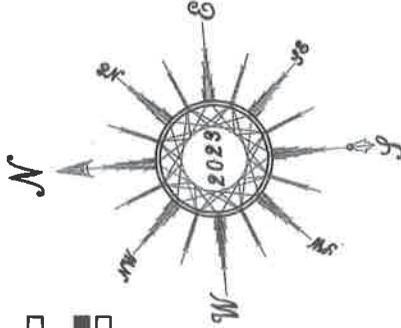
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2025 FEB 14 P 3:21		No, or small impact may occur	Moderate to large impact may occur
CLERK'S OFFICE VILLAGE OF FREEPORT, NY			
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?		<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
<hr/>	
Name of Lead Agency	Date
<hr/>	
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
<hr/>	
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

MAP
GENERAL DIRECTION
MAGNETIC



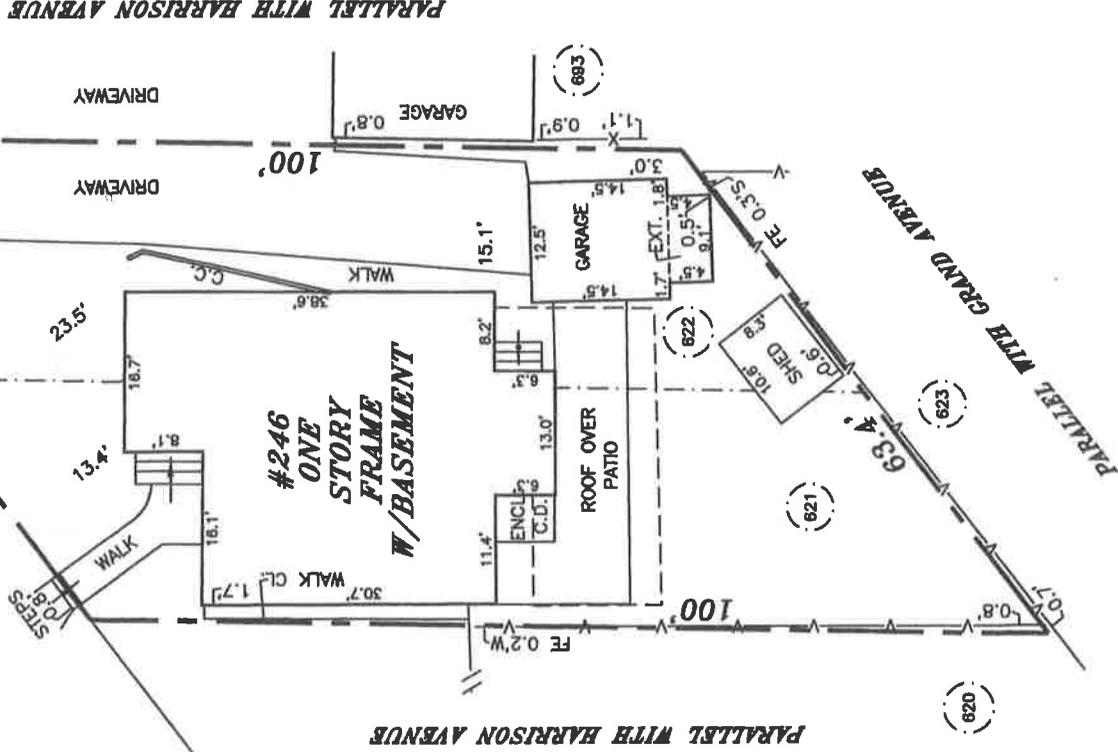
10 5 0 10 20
SCALE 1"=20'

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VILLAGE OF FREEPORT, NY

GRAND AVENUE

HARRISON AVENUE



ELEVATIONS SHOWN ON THIS PLAT HAVE BEEN DEVELOPED USING A NETWORKED GPS SYSTEM AND ARE CONSISTENT WITH NAVD 1988 EASEMENTS, IF ANY, NOT SHOWN.

UNLESS OTHERWISE NOTED, PHYSICAL MONUMENTS HAVE NOT BEEN SET.

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"Only copies from the original of this survey marked with an original of the land surveyor's embossed seal shall be considered to be valid true copies."

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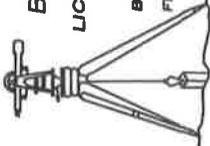
This map may not be used in connection with a "Survey Affidavit" or similar document, statement, or mechanism to obtain title insurance for any subsequent or future grantee.

L.S.T. = LANDSCAPE TIE (G) = GATE R.O. = ROOF OVER W.O.F. = WIRES ON FACE F.E. = FIRE ESCAPE 2NANCYBLVD

CERTIFIED TO:
CARLOS MARTINEZ

BARRY M. FAHRER
NEW YORK STATE
LICENSED LAND SURVEYOR

No. 49851
BARRY M. FAHRER L.S. P.C.
206 CHURCH STREET
FREEPORT NEW YORK 11520
(516) 623-2089
FAX (516) 623-0628



STATE OF NEW YORK

JOB No.

SECTION No. 55

TAX BLOCK No. 215

DATE SURVEYED

8/12/2022

MERRICK

LOT No. 621

COUNTY OF: NASSAU

MAINTAIN EXISTING PRESSURE TREATED WOOD ROOF OVER PATIO TO EXISTING 1-FAMILY RESIDENCE

246 GRAND AVENUE, FREEPORT, N.Y., 11520
SEC. 55 BLK. 215 LOT. 621

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VILLAGE OF FREEPORT, NY

EXISTING PICTURES OF SUBJECT PROPERTY



FRONT FACADE



REAR FACADE



EXISTING PICTURES OF SUBJECT PROPERTY AND NEARBY PARCELS



248 GRAND AVENUE



246 GRAND AVENUE (SUBJECT PROPERTY)



244 GRAND AVENUE



251 GRAND AVENUE (NORTH SIDE)



247 GRAND AVENUE (NORTH SIDE)



245 GRAND AVENUE (NORTH SIDE)

GENERAL NOTES

- All work shall be done in strict accordance with provisions of local, state, and federal codes, laws, ordinances, and regulations whenever applicable.
- Each contractor shall be held to have visited the site and to have verified all existing conditions prior to submission of bid.
- In all cases, drawings shall not be scaled for information. Figured dimensions and conditions must be verified in the field.
- Contractor shall verify and be responsible for all field dimensions and job conditions, and shall notify the Architect of any discrepancies, conflicts, and/or omissions which would interfere with the satisfactory completion of the work. Should he fail to follow this procedure and continue with the work, he shall assume responsibility and liability arising therefrom.
- All items of work identified on the drawings by name, note, or material designation are new, unless otherwise noted.
- All new materials and installations shall be in accordance with manufacturer's latest printed specifications, and with all applicable code requirements.
- All work shall be performed in accordance with best standard trade practices. Each trade shall cooperate with the Owner and other trades to facilitate job scheduling and completion.
- Proprietor names identifying items of work are used to designate the standard of construction. Items of equal quality may be submitted for the Architect's review.
- Each contractor shall be responsible for any damage to adjoining remaining areas as a result of his work, and shall repair damaged surfaces to the existing conditions or as may be required to complete the entire scope of work.
- Indications of work to be removed are general only, and are not intended to show all items which may require removal. Such items shall be removed, relocated, and/or reinstalled as required for installation of new work.
- Existing equipment and materials to be removed, which are not required to be relocated or retained by the Owner, shall become the property of the Contractor and removed from the premises.
- At the completion of each workday, each trade shall be responsible for cleaning up their work. Rubbish removal shall be done in a dust-inhibitive fashion, and the job site shall be free of all debris and broom cleaned upon completion.
- Drywall Construction**
 - Provide sizes and types as shown on the drawings, taped and spackled with three (3) coats and sanded smooth.
 - Provide all metal corner beads, stops, edge trim, casing, beads, etc. as required to finish all drywall surfaces with flush, level edges.
 - Use Firecode "X" gypsum board where required to obtain fire ratings per N.Y.S. Building Codes. See Partition Types and plans for exact locations.
- Alterations to existing work shall be patched and finished, as necessary, to match existing contiguous surfaces or new finishes shown.
- Clean all floors, walls, doors, misc. metals, glass, etc. leaving job free of dust and debris, prior to project completion.
- All existing floor slabs which are damaged as a result of any demolition and new work are to be restored to match and be level with contiguous surfaces.
- Flame spread of all interior finishes shall meet or exceed Class "B" (ASTM E-84) or Class "I" (Radiant Panel Test) requirements.
- All mechanical and electrical work shall be in full conformance with the Building Codes of N.Y. State, and all other applicable codes and regulations.
- Plumbing work shall be installed, by a plumber licensed with the Village of Freeport, in accordance with New York State and National Plumbing Codes.
- Electrical work shall be installed by an electrician licensed in Nassau County, in accordance with New York State and National Electrical Codes. A Fire Underwriter's Laboratory certificate shall be obtained for all electrical work, and supplied to the Owner and the Architect.
- All cabinetry and casework to be fabricated and installed in conformance with the N.Y.S. Building Code.
- During demolition work, properly protect all existing work scheduled to remain. Provide any shoring, bracing, and temporary partitions as required to protect adjoining existing areas so that the owner can continue daily operations with minimal interruptions.
- Soil pressure assumed at 3,000 Lbs. per sq. ft.
- All new construction is to conform to the latest Energy Conservation Construction Code of N.Y. State effective August 5, 2007.



EXISTING 1-FAMILY RESIDENCE

246 GRAND AVENUE, FREEPORT, N.Y., 11520
SEC. 55 BLK. 215 LOT. 621

RESIDENTIAL CODE OF NEW YORK STATE -2020

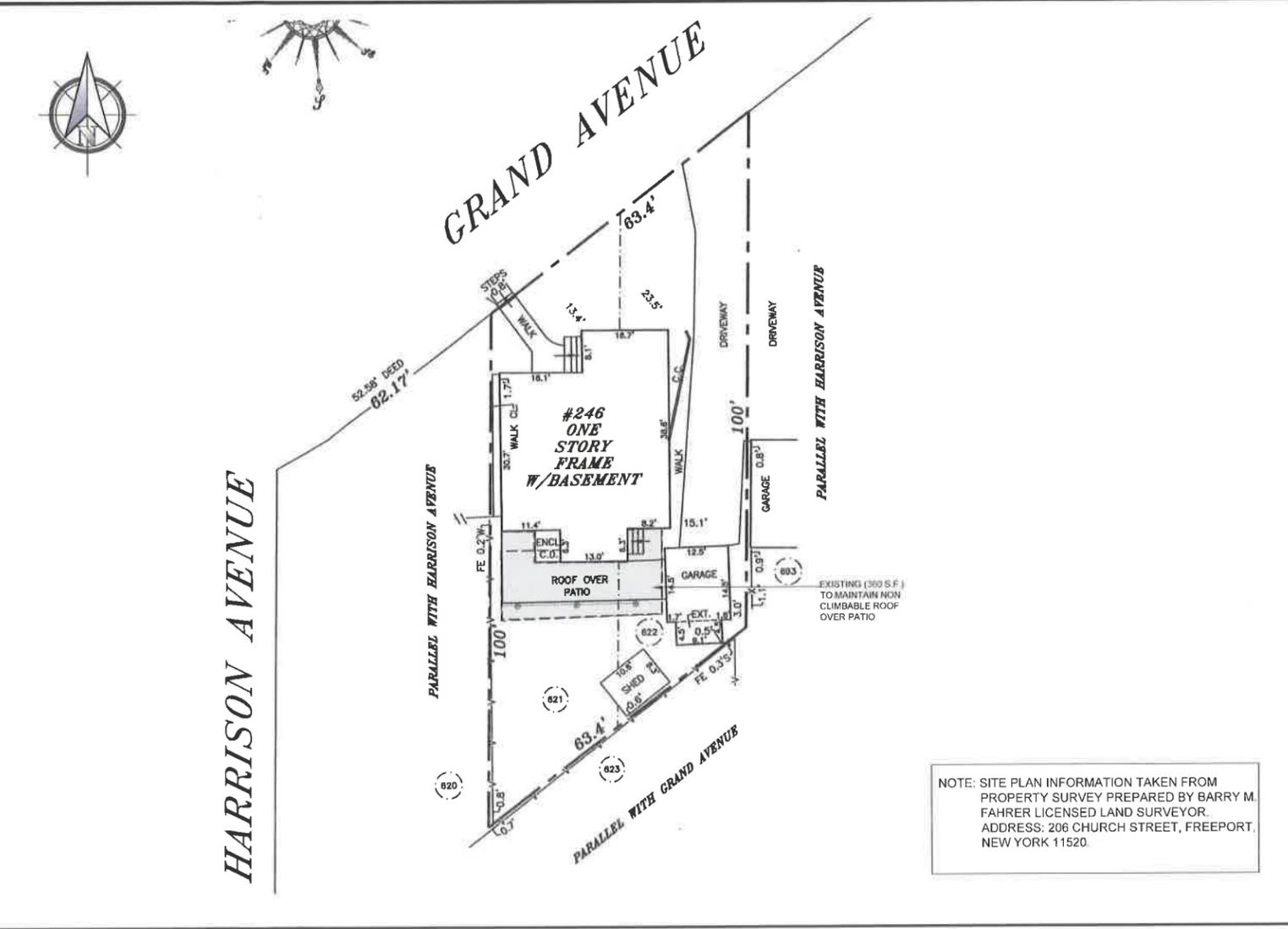
TABLE R301.2(1)
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOWLOAD As per figure R301.2(5)	WIND SPEED (mph) As per figure R301.2(4)	SEISMIC DESIGN CATEGORY As per figure R301.2(2)	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP As per Table N1101.2	ICE SHIELD UNDER-LAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX As per Table R403.3(1)
			WEATHERING As per figure R301.2(3)	FROST LINE DEPTH	TERMITE As per figure R301.2(6)	DECAY As per figure R301.2(7)				
20 psf	120 mph	B	SEVERE	3 FT.	MODERATE TO HEAVY	SLIGHT TO MODERATE	NASSAU - 13	YES		NASSAU - 496

SYMBOL LIST

	North Arrow
	Detail No. (Detail Designation Drawing No.)
	Section Number (Drawing No.)
	New Window Number Designation (See Window Schedule Sheet #C2)
	New Door Number Designation (See Door Schedule Sheet #C2)
	Furniture Designation
	Partition Type Designation
	Fire Rating (W/Listing)
	Exhaust Fan
	Existing Construction to be Retained (U.O.N.)
	New Drywall Partition
	Existing Door & Frame to Remain
	Existing Door & Frame to Remove

PLOT PLAN LOT SIZE: 5,000 S.F. (0.11 ACRE) SCALE: 1"=15'



GENERAL CODE NOTES 2

- SEE DRAWING A 4 FOR NEW DOOR AND WINDOW SCHEDULES
- SEE DRAWING C-1 AND C-2 FOR THE RESIDENTIAL CODE OF NEW YORK STATE GENERAL CONSTRUCTION DETAILS: FASTENING, NAILING & STRAPPING SCHEDULES
- NEW SMOKE ALARM DETECTOR TO BE INSTALLED AT EACH SLEEPING ROOM, HALLWAY & BASEMENT. ALL SMOKE DETECTORS TO BE INTERCONNECTED IN ACCORDANCE WITH SECTION R313.1 AND POWER SOURCE FOR SMOKE DETECTORS IS TO COMPLY WITH SECTION R313.1.2 OF THE NYS RESIDENTIAL CODE (TYP.)
- NEW CARBON MONOXIDE DETECTOR IS TO BE INSTALLED, LISTED AND LABELED AS COMPLYING WITH 2004-2002 STANDARD AND TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS, AND PER NYS SECTION R314
- MINIMUM DUCT INSULATION IS TO BE IN ACCORDANCE WITH TABLE 502.3.3 OF THE ENERGY CONSERVATION CODE OF NEW YORK STATE
- PLEASE CONFIRM THAT ALL APPLIANCES WILL BE DIRECTLY VENTED TO THE OUTSIDE. SIZING OF VENTING SYSTEM IS TO COMPLY WITH SECTION G427 (5A). FURTHERMORE, FLUE CROSS SECTIONAL AREA IS TO COMPLY WITH R102.11 EXTERIOR AIR INTAKE IS TO COMPLY WITH SECTION R1005 OF R.C.O.N.Y.S.
- MOISTURE VAPOR RETARDERS ARE TO BE INSTALLED ON THE WARM IN WINTER SIDE OF THE INSULATION IN ALL FRAMED WALLS, FLOORS AND ROOF/Ceilings COMPRISING ELEMENTS OF THE BUILDING THERMAL ENVELOPE, IN ACCORDANCE WITH SECTION R318 OF R.C.O.N.Y.S.
- PIPE INSULATION FOR THE WATER DISTRIBUTION SYSTEM IS TO COMPLY WITH TABLE 503.3.1 OF THE ENERGY CONSERVATION CONSTRUCTION CODE. SEE TABLE ON DWG. C-3 FOR MORE INFORMATION. WATER DISTRIBUTION TO BE "L" COPPER OR BETTER. VENTS TO BE P-V-C SCHEDULE 40 OR BETTER. DRAINS TO BE BLACK IRON PIPE OR BETTER.
- ELECTRICAL EQUIPMENT WIRING AND INSTALLATION ARE TO COMPLY WITH CHAPTER 33 THROUGH 42 OF R.C.O.N.Y.S. WIRE INSULATION TO BE RHW OR BETTER (750 C MAX CONDUCTOR TEMP); ALL GARAGE, OUTDOOR, UNDERFLOOR SPACES TO BE PROVIDED WITH GFI PROTECTION IN ACCORDANCE WITH SECTION E 3802 OF R.C.O.N.Y.S.
- THE WIRING SYSTEM OF THE PREMISES IS TO BE GROUNDED AT THE WATER SERVICE OR WITH A GROUNDING ELECTRODE CONNECTED, IN ACCORDANCE WITH SECTION E5801. SIZED IN ACCORDANCE WITH SECTION E3103.1. THE ROD ELECTRODE IS TO BE MADE OF ZINC COATED IRON OR STEEL, SHALL HAVE 5/8" MINIMUM DIAMETER AND SHALL BE A MINIMUM OF 8 FT. LONG. NON-FERROUS ROD SHALL BE 1/2" MINIMUM DIAMETER IN ACCORDANCE WITH SECTION E 3103 OF R.C.O.N.Y.S.
- CIRCUIT BREAKERS AND OTHER ELECTRICAL DEVICES ARE TO BE SIZED TO PROTECT THE FEEDER IN EACH PARTICULAR BRANCH CIRCUIT
- A MINIMUM OF ONE 20 AMPERE BRANCH CIRCUIT IS TO BE PROVIDED TO SUPPLY THE BATHROOM RECEPTACLE OUTLETS. SUCH CIRCUITS ARE TO HAVE NO OTHER OUTLET
- CIRCUITS RATINGS TO BE IN ACCORDANCE WITH SECTION E3502. GROUNDING FAULT INTERRUPTER PROTECTION IS TO BE PROVIDED FOR BATHROOM CIRCUITS. ALL CIRCUITS LISTED IN SECTION E3502 OF R.C.O.N.Y.S.
- STAIRWAY ILLUMINATION IS TO BE IN ACCORDANCE WITH R302.6. THE LIGHT SWITCH IS TO BE LOCATED AT THE TOP AND AT THE BOTTOM OF EACH STAIRWAY, IN ACCORDANCE WITH SECTION R302.6.1 OF R.C.O.N.Y.S.
- DWELLING IDENTIFICATION IS TO BE PROVIDED IN ACCORDANCE WITH SECTION R321 OF R.C.O.N.Y.S.
- ALL MECHANICAL SYSTEMS INSTALLED SHALL COMPLY WITH CHAPTER 12 THROUGH CHAPTER 32 OF R.C.O.N.Y.S.
- PLUMBING SYSTEMS INSTALLED SHALL COMPLY WITH CHAPTER 35 THROUGH CHAPTER 38 OF R.C.O.N.Y.S.
- GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHUBS AND SHOWERS. GLAZING IN ANY PART OF A BUILDING WALL ENCLUSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" (1524 mm) MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE

ZONING CALCULATIONS

ZONING: PER VILLAGE OF FREEPORT
ZONED: RES- "A"
BUILDING HEIGHT: 35' OR 3 STORIES MAX. HEIGHT
BUILDING AREAS:
DETACHED GARAGE: EXIST: 216
CELLAR: EXIST: 1,000 S.F.
1ST FLOOR: EXIST: 1,244 S.F.
SECOND FLOOR: EXIST: 0 S.F.
ROOFED OVER PORCHES & DECKS: EXIST: 360 S.F.
OPEN DECKS: EXIST: 0 S.F.
ACCESSORY STRUCTURES: EXIST: 88 S.F.
INGROUND POOL: EXIST: 0 S.F.
TOTAL BUILDING AREA: 1,820 S.F. (INCLUDES 1-FL., 2-FL., PORCHES AND ACCESSORY BLDG.)
ALLOWED LOT COVERAGE: 30% MAX = 5,000 x 0.30 = 1,500 S.F.
EXISTING LOT COVERAGE: 1,908 S.F. > 1,500 S.F. = 38%
(EXISTING LOT COVERAGE INCLUDES 1ST FL. AND DETACHED 1-CAR GARAGE AND PROPOSED ADDITION)

SCOPE OF WORK

1- MAINTAIN EXISTING (360 S.F.) NON CLIMBABLE TREATED WOOD ROOF OVER CONCRETE PATIO

DRAWINGS LIST

- T-1 TITLE/INFORMATION SHEET, SITE PLAN GENERAL NOTES & LOCATION MAP.
- A-1 EXISTING ROOF OVER PATIO FLOOR PLANS AND ELEVATIONS.

RECEIVED
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY
FEB 14 P 3:22
2025

7 Melrick Court
Westbury, New York 11591
Phone: (516) 779-2341
E-MAIL: v.constant@yah



CONSULTANT
MA
DRAFTING CORP
RESIDENTIAL & COMMERCIAL DESIGN
33 LAMONT PLACE
WEST BABYLON, NY 11791
OFF: (631)920-2445
MOBILE: (631)704-6601

REVISION

NO.	DATE	DESCRIPTION
1		
2		
3		
4		

APPLICATION NO.

APPLICANT/OWNER
JOSE MINAYA
ADDRESS:
246 GRAND AVENUE
FREEPORT, N.Y. 11520
PHONE: (516)234-1982
E-mail:
EMERGENCY CONTACT
MIGUEL RAMIREZ
PHONE: (631)704-6601

PROJECT TITLE

MAINTAIN EXIST. TREATED WOOD ROOF OVER CONCRETE PATIO TO EXISTING 1-FAMILY RESIDENCE
246 GRAND AVENUE
FREEPORT, N.Y. 11520
SEC. 55 BLK. 215 LOT. 621

DRAWING TITLE
TITLE INFORMATION SHEET, GENERAL LOCATION MAP, AND EXISTING SITE PLAN

DRAWN BY:
MIGUEL RAMIREZ
CHECKED BY:
vc
DATE:



CONSULTANT
MAI
 DRAFTING CORPORATION
 RESIDENTIAL & COMMERCIAL DESIGN
 33 LAMONT PLACE
 WEST BABYLON, NY 11704
 OFF: (631) 920-2445
 MOBILE: (631) 704-6601

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		

NO.	DATE	DESCRIPTION

APPLICATION NO.

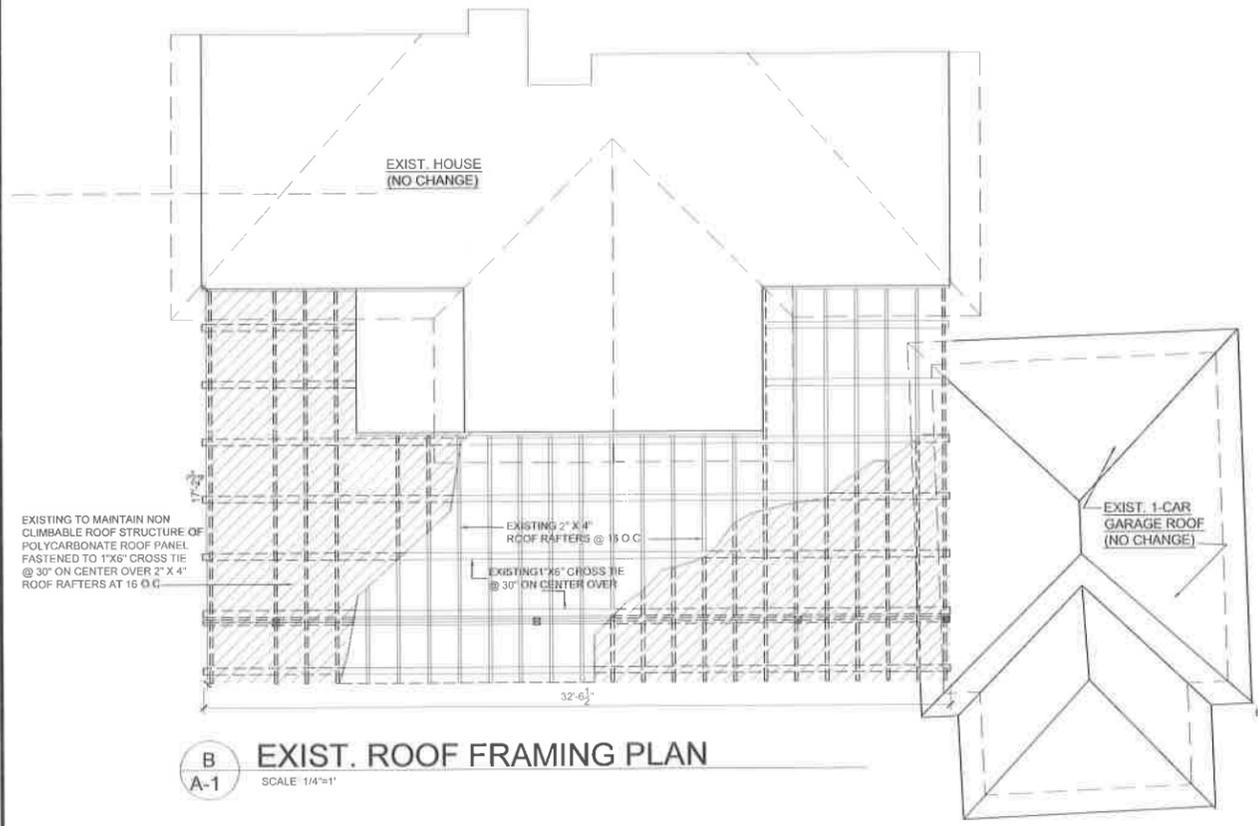
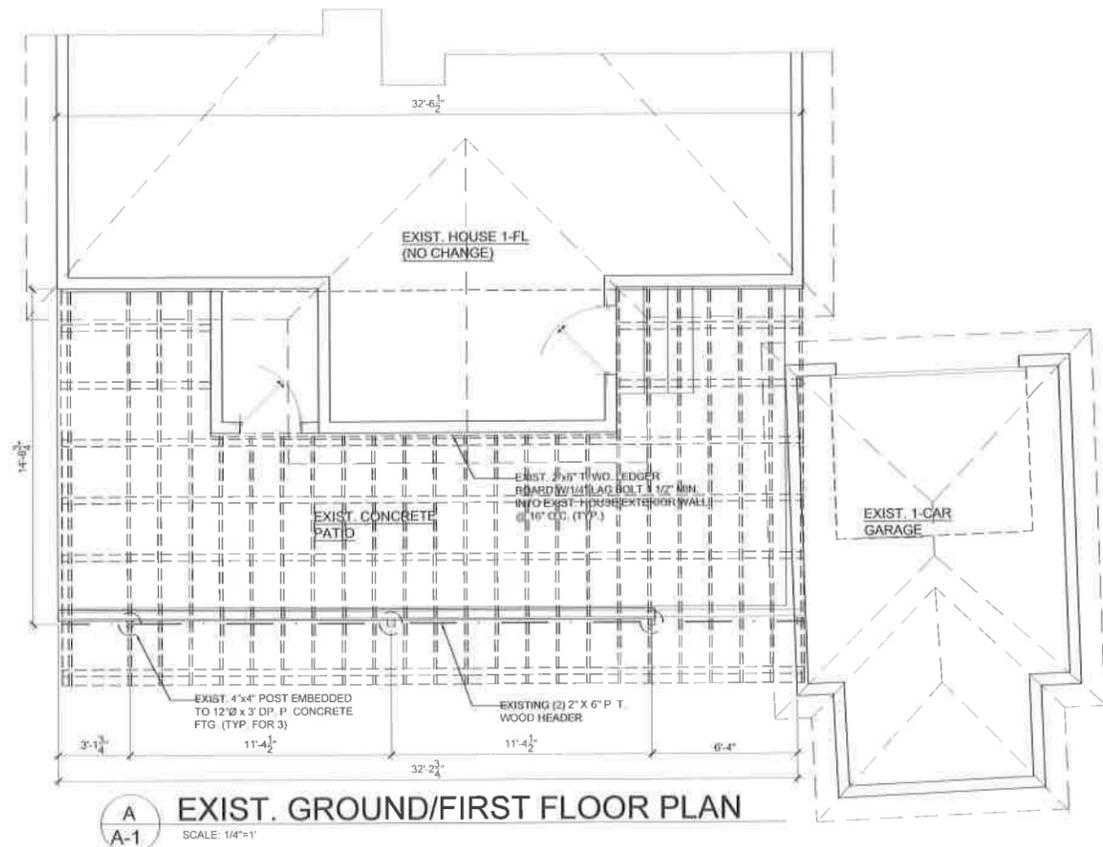
APPLICANT/OWNER
 JOSE MINAYA
 ADDRESS:
 246 GRAND AVENUE
 FREEPORT, N.Y. 11520
 PHONE: (516) 234-1982
 E-mail:
 EMERGENCY CONTACT
 MIGUEL RAMIREZ
 PHONE: (631) 704-6601

PROJECT TITLE
 MAINTAIN EXIST. TR
 WOOD ROOF OVER
 TO EXISTING 1-FAM
 RESIDENCE

246 GRAND AVENUE
 FREEPORT, N.Y. 11520
 SEC: 55 BLK 215 LOT: 621

EXISTING FLOOR PLAN
 ROOF FRAMING PLAN
 EXTERIOR ELEVATION

MIGUEL RAMIREZ
 CHECKED BY:
 VC
 DATE:
 SEPTEMBER 2023
 DRAWING NO.
A-
 PROJECT NO.



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 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY

Application Date: 2/19/25
Fees Paid: \$225

SP# 3810

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 62 W 3RD ST ZONING DISTRICT RES A
SECTION 62 BLOCK 63 LOT 175 LOT SIZE: 60' x 100'

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2025 FEB 24 P 2:26
VILLAGE CLERK'S OFFICE FREEPORT, NY

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>OWNER</u>			Name: <u>ANDREW FORMONT</u>
Address:			Address: <u>62 W 3RD ST</u> <u>FREEPORT NY 11520</u>
Telephone #:			Telephone #: <u>516 523 2472</u>

ARCHITECT

Attorney Name: RUSSELL JORDAN Address: 44 CASINO ST
(optional) Phone #: 516 241 5969 FREEPORT NY 11520

Present Land Use: SINGLE FAMILY Proposed Land Use: SINGLE FAMILY

Description of Proposed Work: 297 SQ FT REAR DORMER EXTENSION

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied. YES NO

And Formont
APPLICANT'S SIGNATURE SUZANNE SHAREEF DATE 2-10-25
Notary Public, State of New York

Sworn to before me this 10
day of FEB, 2025

No. 01SH5064825
Qualified in Nassau County
Commission Expires January 04, 2027

Suzanne Shareef
Notary Public

Property Owner's Consent:
I, ANDREW FORMONT am (are) the owner(s) of the subject property and consent to the filing of this application.

Andrew Formont
PROPERTY OWNER'S SIGNATURE SUZANNE SHAREEF DATE 2-10-25
Notary Public, State of New York

Sworn to before me this 10
day of FEB, 2025

No. 01SH5064825
Qualified in Nassau County
Commission Expires January 04, 2027

Suzanne Shareef
Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER

December 20, 2024

Andrew Formont
62 West Third St
Freeport, NY 11520

RE: 62 West Third St Freeport, NY
Zoning District – Residence A Sec. 62 Blk. 63, Lot 175
Building Permit Application #20244060
Description: Construct 297 SqFt second floor rear addition.

RECEIVED
2025 FEB 19 1 P 2: 26
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Dear Sir/Madam

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-3632.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez
cc: Village Clerk

ZBA Approval Needed: NO

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20244060

Location: 62 West Third St, Freeport NY 11520

Applicant: Andrew Formont

Description: Construct 297 SqFt second floor rear addition.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: December 20, 2024

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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VILLAGE OF FREEPORT

617.20
Appendix B
Short Environmental Assessment Form

DEC 12 2024

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: FORMONT RESIDENCE							
Project Location (describe, and attach a location map): 62 W 3RD ST FREEPORT NY 11520							
Brief Description of Proposed Action: EXTEND 2ND FLOOR DORMER 297sq FT							
Name of Applicant or Sponsor: RUSSELL JORDAN		Telephone: 516 241 5969					
Address: 44 CASINO ST		E-Mail:					
City/PO: FREEPORT		State: NY	Zip Code: 11520				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: FREEPORT BUILDING PERMIT			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		0.136 acres					
b. Total acreage to be physically disturbed?		0 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.136 acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

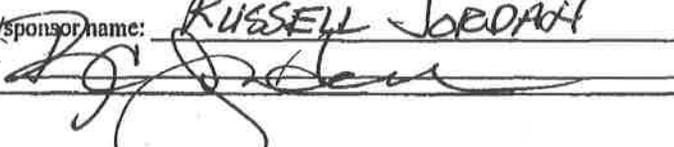
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GENERAL OFFICE
VILLAGE OF FREEPORT, NY

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: <u>NO NEW PLUMBING</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: <u>NO NEW PLUMBING</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

VILLAGE OF GREENPORT, NY
 CLERK OF THE BOARD OF SUPERVISORS

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: RUSSELL JORDAN Date: 12/4/2024
 Signature: 

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

		No, or small impact may occur	Moderate to large impact may occur
RECEIVED DATE: 12/19/2024 CLERK'S OFFICE AGENCY OF FREEDOM	1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
	2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
	3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
	4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
	5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
	6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
	7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
	8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
	9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 VILLAGE OF FREEPORT, NY

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 20244060

DEC 12 2024

Filing Date 12/12/24

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>62 W THIRD ST</u> (No.) (Street)	ZONING DISTRICT <u>RESA</u>
	BETWEEN <u>S. MAIN ST</u> (Cross Street) AND <u>THE WATER</u> (Cross Street)	
	SECTION <u>62</u> BLOCK <u>63</u> LOT <u>175</u> APPROX. LOT SIZE <u>600</u> x <u>100</u> LOT AREA <u>60000</u>	

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

A. TYPE OF IMPROVEMENT 1 New building 2 <input checked="" type="checkbox"/> Addition-Alteration (If residential, enter number of new housing units added. If none-state none) 3 Swimming Pool 4 Repair (replacement) 5 Bulkhead (New, Repair) 6 Fence 7 Moving (relocation)		B. PROPOSED OR EXISTING USE RESIDENTIAL 11 <input checked="" type="checkbox"/> One Family 12 Two families 13 Apartment - Enter No. of Units _____ 14 Transient hotel, motel, or dormitory - Enter No. of Units _____ 15 Garage or Accessory Structure 16 Other - Specify _____ NON RESIDENTIAL - Complete Part "E" 17 Industrial 18 Office, bank, professional 19 Stores, mercantile 20 Church, other religious 21 Hospital, institutional 22 Other - Specify _____	
---	--	--	--

C. COST 10 TOTAL COST OF IMPROVEMENT \$ <u>59,400</u> (297 #) (2002 #) \$59,400	D. DESCRIPTION OF PROJECT <u>297 SOFT DORMER EXTENSION</u>
--	--

III. IDENTIFICATION - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	ANDREW FORMONT	62 W 3RD ST FREEPORT NY	516 523 2472
2. Contractor	NY HOME IMPROVEMENTS	110 E 2ND ST FREEPORT	516 546 5086
3. Architect or Engineer	RUSSELL JORDAN	44 CASINO ST FREEPORT NY	516 241 5969

IV. OWNER - CONTRACTOR STATEMENT

Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law.

Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____

SUZANNE SHAREEF
 Notary Public, State of New York
 No. 01SH5064825
 Qualified in Nassau County
 Commission Expires January 04, 2027

Contractor or Owner _____ (Print)
 Address _____
 Phone _____

State of New York
 County of Nassau
ANDREW FORMONT being duly sworn, says that HE is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of HIS knowledge and belief and agrees to conform to all applicable laws of this (His or Her)

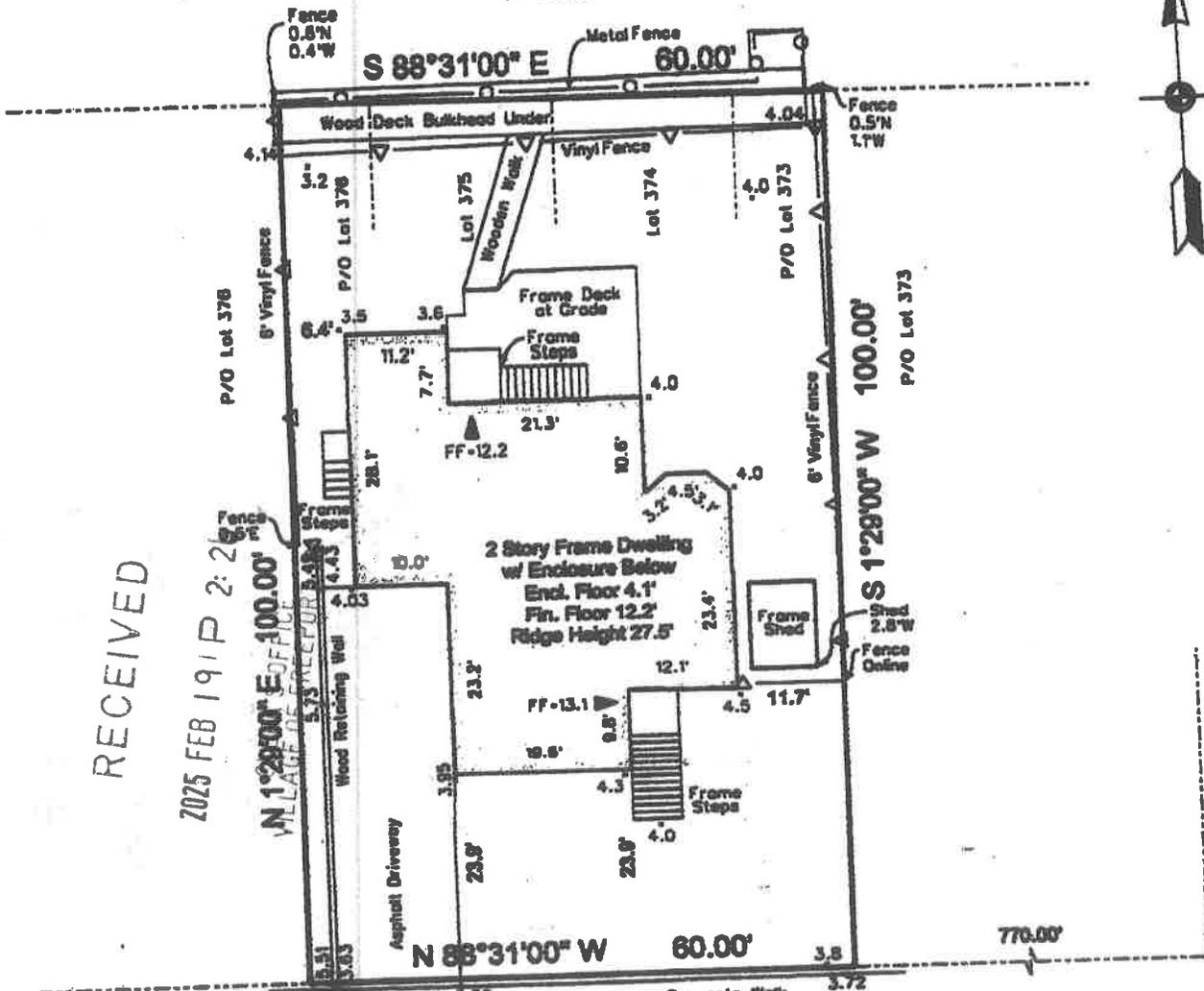
V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?
 YES NO _____
 IF YES, WHICH ZONE? AE

IS PROJECT TO REPAIR FLOOD DAMAGE?
 YES _____ NO

PROJECT DESCRIPTION
 Total/First Flr Square Feet 1451
 Upper Flrs Square Feet 6001

Canal
(60' Wide)



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JASON R. GRAF
N.Y.S. L.S. No. 080874
jgraf@gayrondabruin.com

12/6/2018
DATE

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7208 OF THE NEW YORK STATE EDUCATION LAW.

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID TRUE COPIES.

CERTIFICATIONS INDICATED HEREIN SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY MAP IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

West Third Street
(60' Wide)

#62

Note:
The existing conditions shown on this plan are based upon an actual survey completed by Gayron de Bruin Land Surveying and Engineering, PC.

All linear measurements are in U.S. Survey Feet.

Vertical datum is North American Vertical Datum 1988.

Easements, if any, not shown.

NO.	REVISIONS	DATE
1		

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Front and East Side of 62 W 3rd St.



West Side of 62 W 3rd St.

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Rear of 62 W 3rd St.



Rear of 62 W 3rd ST.

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House across the street

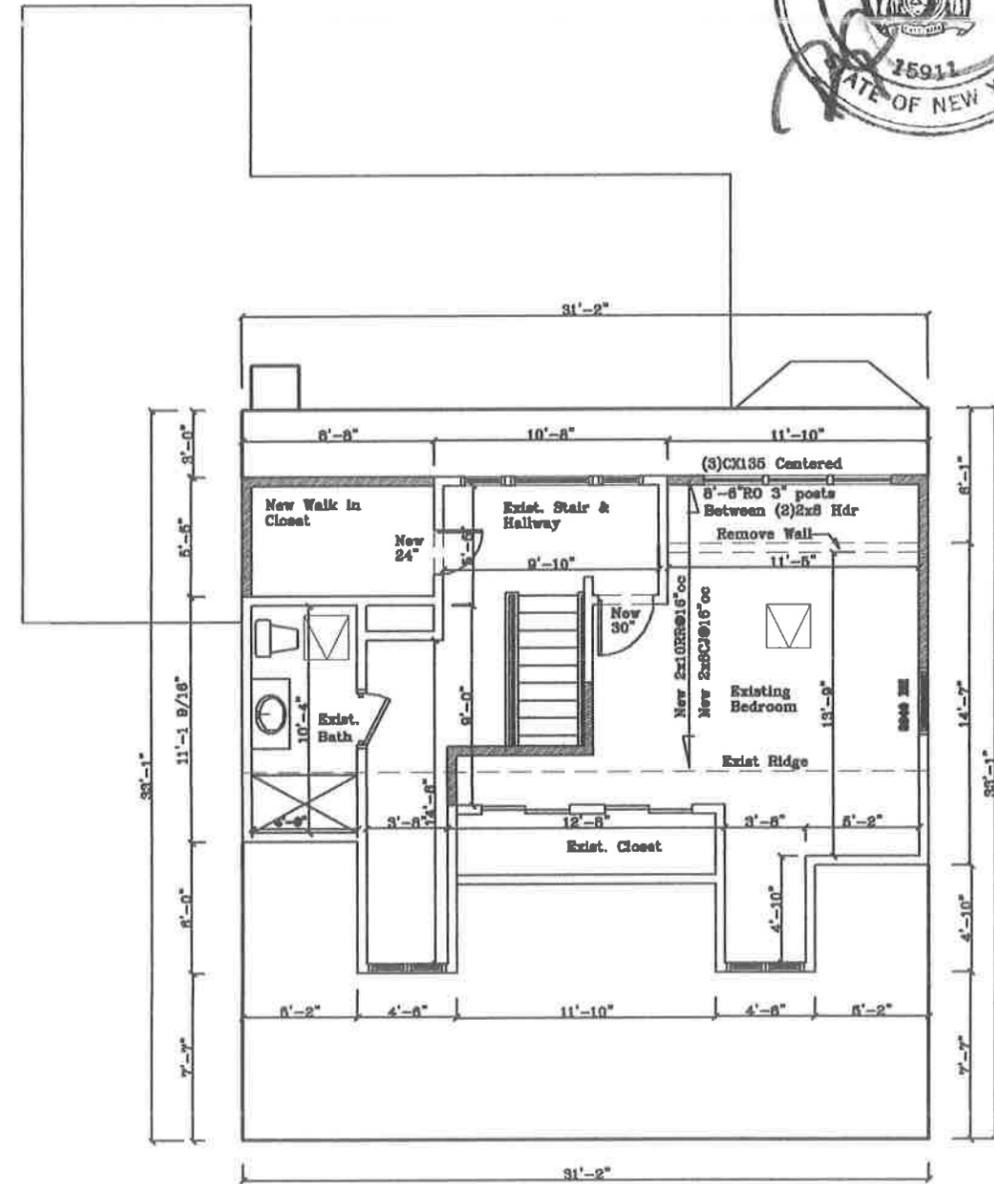
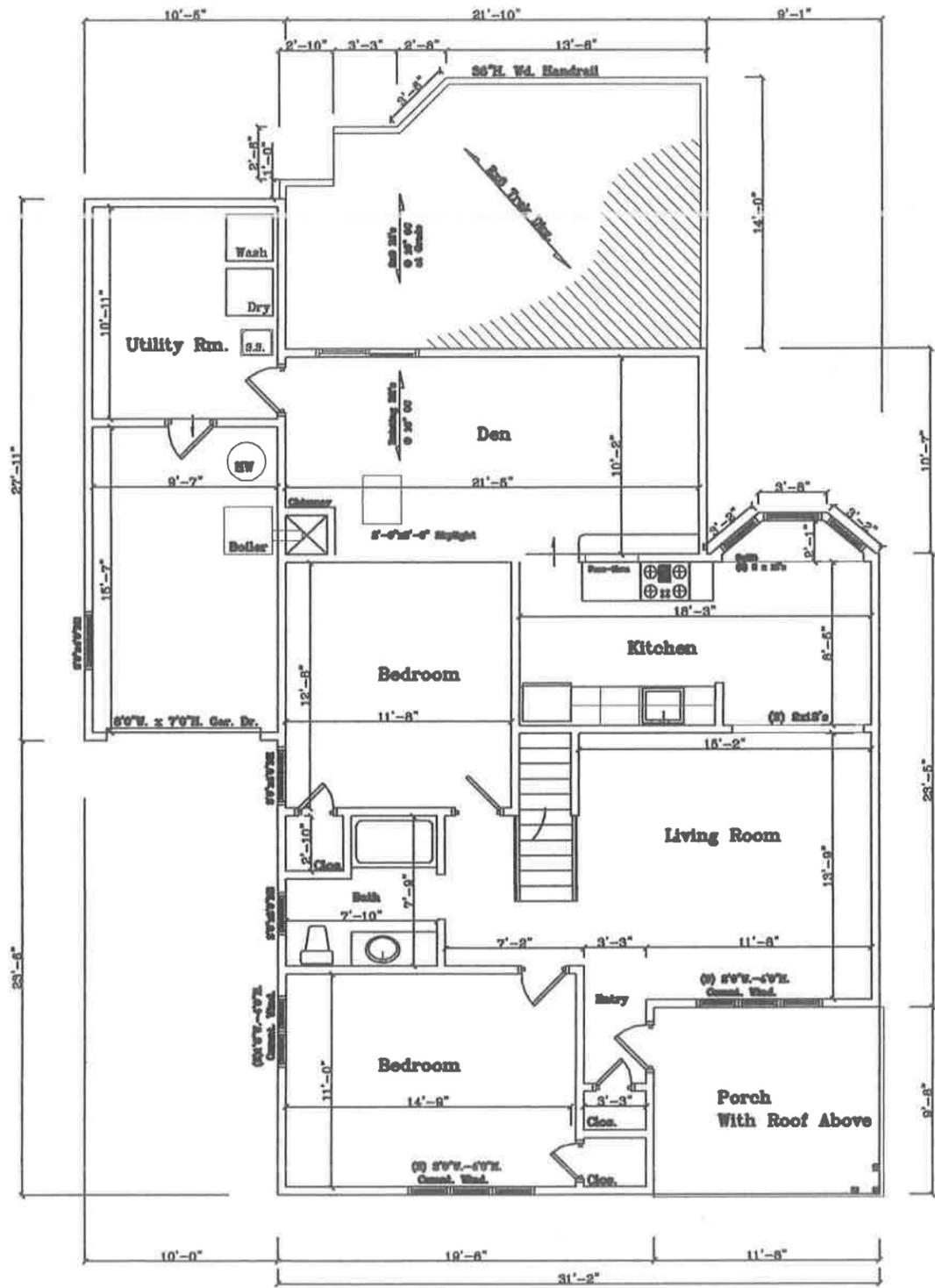


House to the west



House to the East

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Formont Residence
62 West Third Street, Freeport, NY 11520

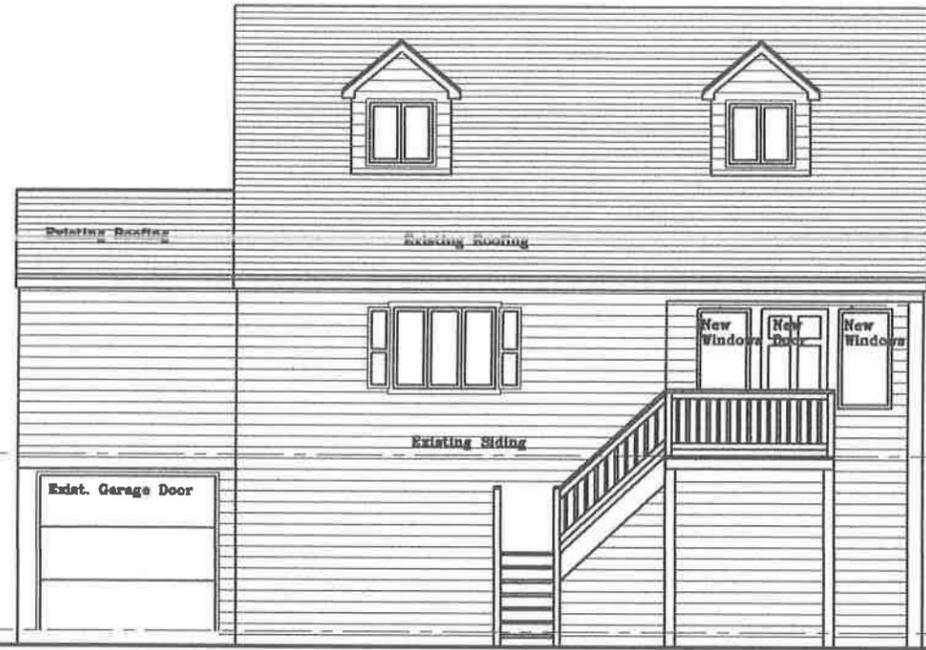
Proposed Dormer Extension
1st and 2nd Floor Plans

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VILLAGE OF FREEPORT, NY

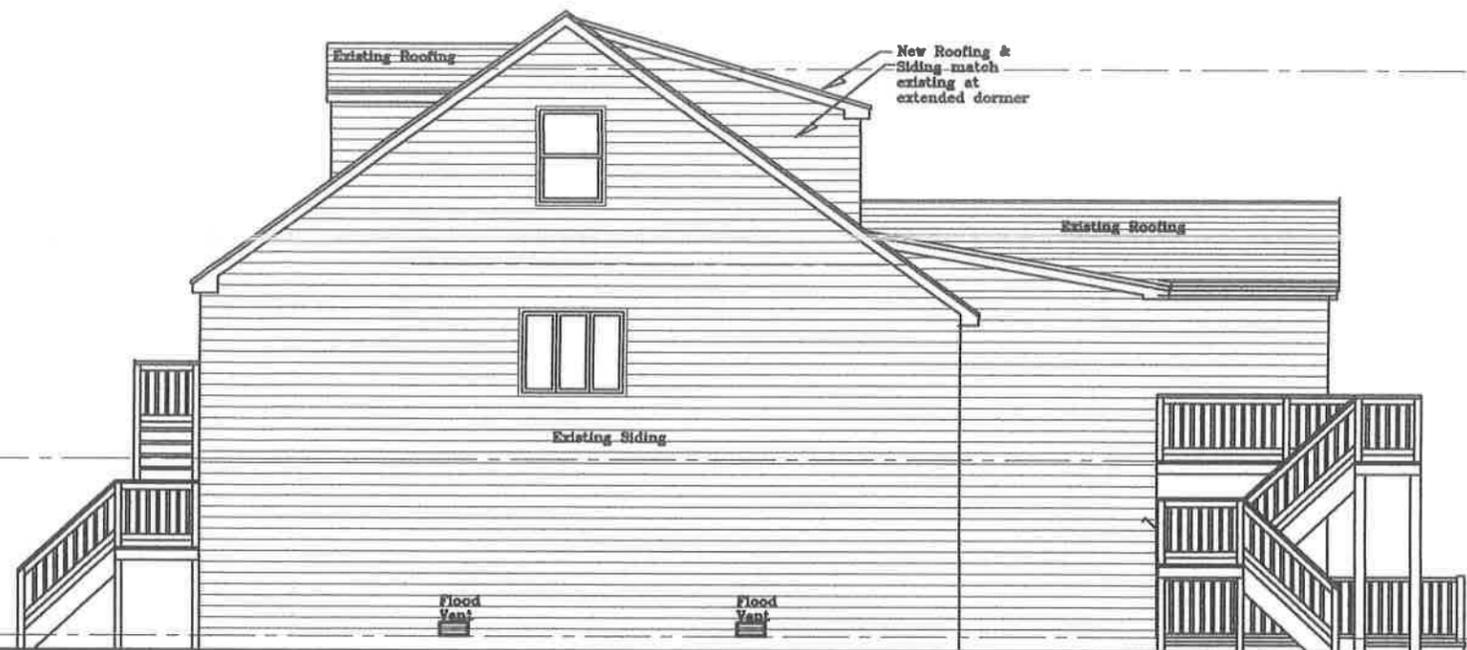
Revisions	
2000	11-21-2024

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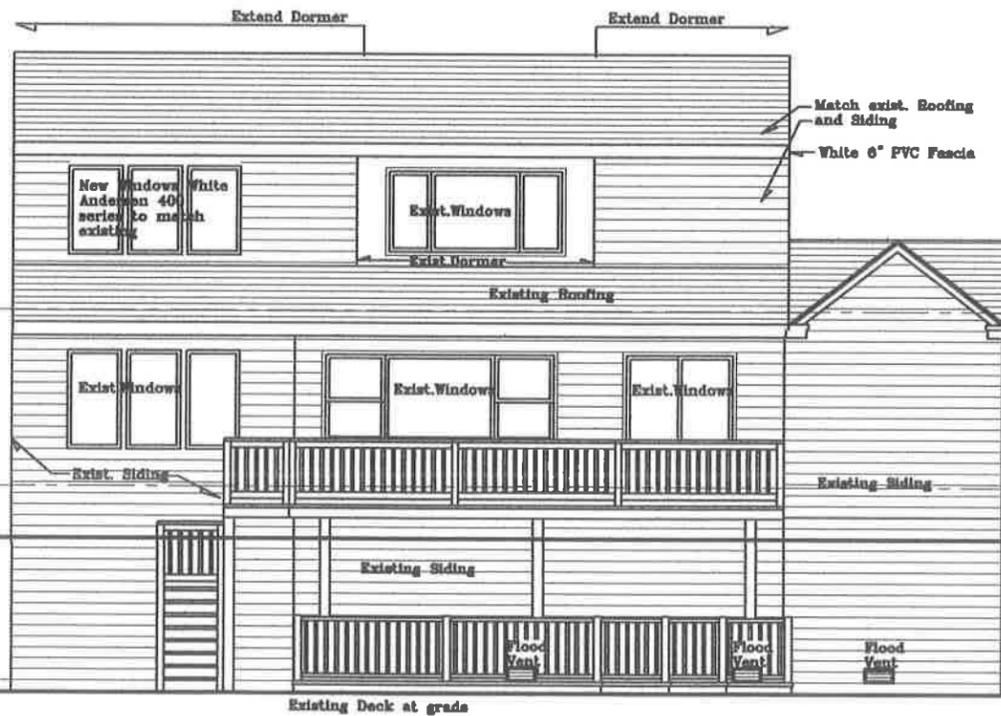
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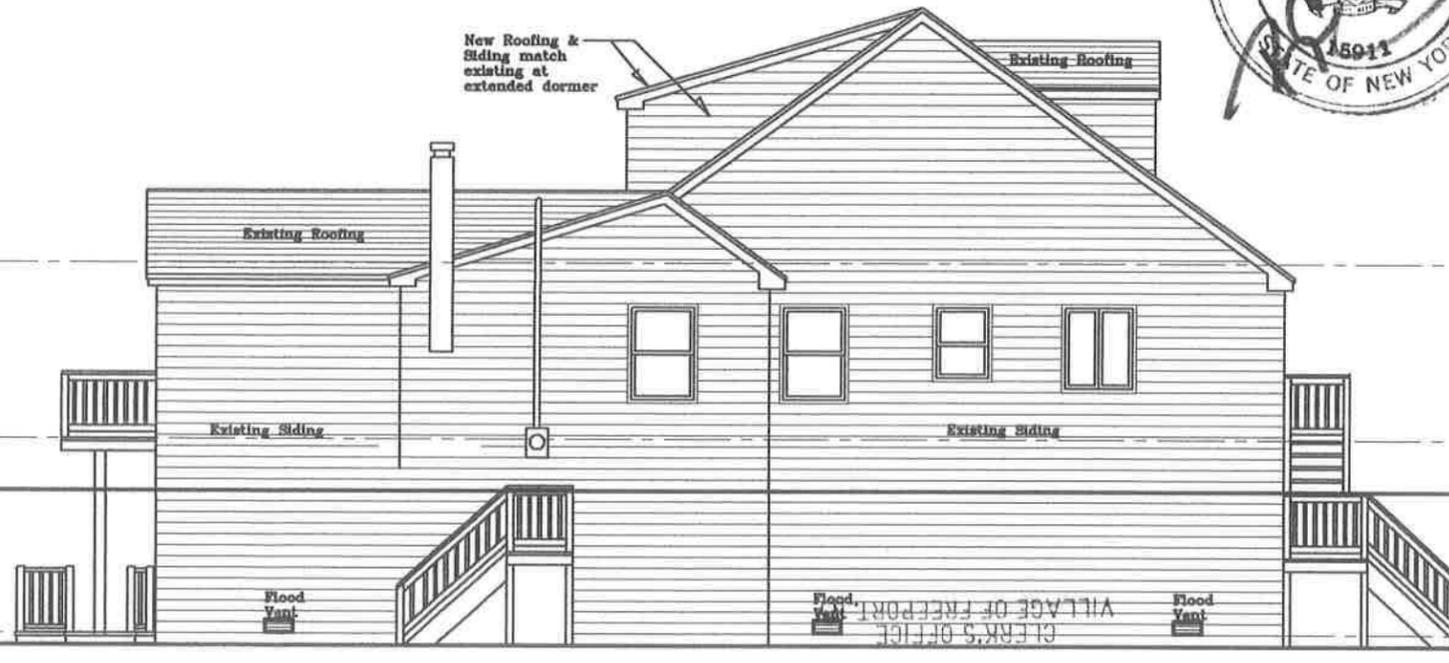
North Elevation
Scale: 1/4" = 1'-0"



East Elevation
Scale: 1/4" = 1'-0"



South Elevation
Scale: 1/4" = 1'-0"



West Elevation
Scale: 1/4" = 1'-0"



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Phone: 516-941-9989

Formont Residence
62 West Third Street, Freeport, NY 11520

Proposed Dormer Extension
Proposed Elevations

Revisions
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