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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

September 26, 2024
LETTER OF DENIAL

David Riemer
691 S Bayview Ave
Freeport, NY 11520

RE: 691 S Bayview Ave, Freeport, NY

Zoning District – Residence A Sec. 62 Blk. 187, Lot 13

Building Permit Application #20243871

Description – Construct new (4,829.71SF) 3-story house with attached garage, 2 front balconies (42.6 SF each), 2 rear decks (188.94 SF & 189.09 SF) and maintain hot tub.

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-39. Building height; sky exposure plane.

A. No dwelling shall exceed 35 feet in height nor have more than three stories, and no structure of any kind shall be erected to a height in excess of 40 feet, except that this provision shall not apply to restrict the height of a church spire or belfry or of a monument, flagpole, water tank, elevator bulkhead, or stage tower or home television or radio receiving aerial. No building shall penetrate the sky exposure plane, except for those portions as permitted in § 210-3. No accessory building and/or detached garage shall exceed 15 feet in height if erected with a roof pitched less than six units vertically to 12 units horizontally, and 20 feet in height if erected with a roof pitched six units vertically to 12 units horizontally or steeper.

Village Ordinance §210-40. Lot area; street frontage; lot width.

No building shall be erected on a lot whose area is less than 5,000 square feet the drawings submitted indicates that this property is 3,995 SF, you will be seeking a variance of 1,005 SF and on any lot which has a street frontage of less than 50 feet and on any lot whose width is less than 50 feet at a point between the side lines from the front property line to the rear building line of the proposed structure. The drawings submitted indicates that the street frontage is 43'. You will be seeking a variance of 7'.

Village Ordinance §210-41. Lot coverage; floor area ratio.

The principal building on any lot shall not cover more than 30% of the lot area, and no more than an additional

10% of the total area of the lot may be used for the erection of an accessory building(s) and/or detached garage with the aggregate maximum lot coverage of said accessory building(s) and/or detached garage to be limited to a maximum of 500 square feet, and no more than an additional 5% of the total area of the lot may be used for the erection of an unenclosed porch with the aggregate maximum lot coverage of said porch to be limited to a maximum of 250 square feet. The floor area of the principal building shall not exceed a floor area ratio of 50% of the lot area. The drawings submitted indicates that the lot area is 48.18% when only 30% is permitted. The floor area of the building is 4,892.71 and only 1,997.5 is allowed. You will be seeking a variance of 2,895.21.

Village Ordinance §210-43. Required yards.

A. Yards of the following depths or widths shall be provided for the principal building on the lot:

(1) Front yard depth: minimum 20 feet or the average depth of all residential front yards on the same side of the street within two hundred 200 feet in either direction, whichever is greater, but in no case more than 40 feet. The drawings submitted indicates that the front yard is 7'-8 3/4" including the attached front decks. You will be seeking a variance of 12'-3 1/4".

(2) Rear yard depth: minimum 20 feet or 20% of the lot depth, whichever is greater, with the exception that for lots abutting canals and other navigable bodies of water, the rear yard depth shall equal the average depths of all residential rear yards abutting the water on the same side of the canal or navigable body of water within 200 feet in either direction or 20 feet measured landwards of the average line of the bulkhead, whichever is greater, or, if no bulkhead exists, measured 20 feet landwards of the rear property line, whichever is greater. The drawings submitted indicates that the rear yard is 6'-9 1/8" including the attached rear decks. You will be seeking a variance of 13'-2 7/8".

C. Yards of the following depths or widths shall be provided for accessory buildings, detached garages, accessory structures, barbecue pits, and breezeways on the lot:

(2) Rear yard depth: minimum five feet, except for lots which abut canals or navigable waters, a minimum depth of 20 feet measured landwards of the average line of the bulkhead shall be provided; if no bulkhead exists, measured 20 feet landwards of the rear property line. The drawings submitted indicates that the hot tub is 10" off the bulkhead. You will be seeking a variance of 19'-2" for the hot tub.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-2202 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only

ONE complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the VILLAGE CLERK'S OFFICE at 377-2202

Very truly yours,



Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez

SITE PLAN APPROVAL NEEDED: YES

Notice

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.



SEC. 62 BLK. 187 LOT. 13

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
Of
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No. _____

COMPLY WITH
ORIGINAL NOTES

The application of David Riemer
respectfully states and alleges:

Strike out
inapplicable
phrase

1. That the applicant (resides at) (has its principal office for the conducting of its business at)

6915 Bayview Ave

State whether
applicant is owner,
lessee, or has option
or contract. If other
than owner, state
briefly terms of
agreement.

2. That the premises affected by this application is located at

6915 Bayview Ave ¹¹⁵²⁰

Land Map of Nassau County
Sec. 62 Blk. 187 Lot(s) 13

and that the interest which the applicant has in the property concerned is that of owner

3. That (the applicant) (the applicant's duly authorized St) on or about the
16 day of May 20 24, filed in the office of the Department of Buildings of the Village of
Freeport, New York, an application for a Building Permit. Documents filed with said application were
as follows:

Flood Resistant Home, House Survey, Site plans Approval

Obtain reason for
denial from
Department of
Buildings.

4. That on or about the 26 day of Sept, 20 24, the Department of Buildings denied said
application; upon information and belief that the reason for said denial was as follows: _____

Lot Area, Floor Area coverage

Describe by
construction and
number of stories. If
none, so state.

5. That the nature of the improvements now upon said premises is as follows: Wood
Constn on pile with Breakaway walls
Single family

State nature of use of
property. If a
business, give brief
description.

6. That said premises are now being used as follows: Single Family Residence

Describe fully and
clearly the use
desired.

7. That the applicant seeks authority to make use of said premises as follows: Single Family
Residence

Strike out whichever
word is not
applicable. Follow
language in
ordinance.

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by
virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the
State of New York 210-6A 210-39 210-40
210-41 210-43

Refer where possible
to paragraphs and
section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the
application involves a subdivision of property, describe the existing property: Single
Family Residence

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

10. That the grounds for this application are as follows: Fractal Difficult

11. That any deed restrictions running with the land prohibiting the desired use are as follows: None

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous preceding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: 7-11, 2024

BY: _____
ITS: _____

State of New York)
County of Nassau) ss:
The applicant DAVID B. RIEPER named in the foregoing application, being duly sworn, depose and say that _____ read the foregoing application subscribed by _____ and know the contents thereof; and that the same is true to _____ own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters _____ believe _____ to be true.

Sworn to before me this 4TH day
of NOV., 2024
Notary Public Peggy M. Lester
Commission Expires Nov. 25, 2025
Signature of Applicant David Rieper
Notary Public, State of New York
No. 01LE6293122
Qualified in Nassau County

Notice
Conflict of Interest

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

7-11, 2024
Date Year
Signature David Rieper

Affidavit of Owner

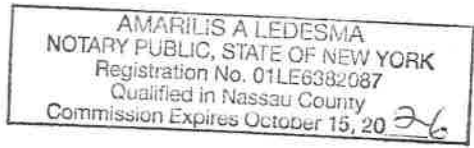
To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:
I David Rieper being duly sworn, depose and say:
That he/she (the owner of 691 S Bayview Ave) (is the _____ of
_____ the property concerned is correct to the best of the knowledge of
deponent _____)

That the owner David Rieper consents to the granting of the authority sought in the above application.

Sworn to before me this 4TH day
of November, 2024
Signature David Rieper

Notary Public Amarilis Ledesma



617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
David Riemer							
Name of Action or Project: Riemer Residence							
Project Location (describe, and attach a location map): 691 S Bayview Ave Freeport, NY 11520							
Brief Description of Proposed Action: ... build new house							
Name of Applicant or Sponsor: David Riemer		Telephone: 516-578-0526					
		E-Mail: liwcpro@gmail.com					
Address: 691 South Bayview Ave							
City/PO: Freeport		State: NY	Zip Code: 11520				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <td style="width: 50%;">NO</td> <td style="width: 50%;">YES</td> </tr> <tr> <td>☒</td> <td>☐</td> </tr> </table>	NO	YES	☒	☐
NO	YES						
☒	☐						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <td style="width: 50%;">NO</td> <td style="width: 50%;">YES</td> </tr> <tr> <td>☒</td> <td>☐</td> </tr> </table>	NO	YES	☒	☐
NO	YES						
☒	☐						
3.a. Total acreage of the site of the proposed action?		<u>0.09</u> acres					
b. Total acreage to be physically disturbed?		<u>0.03</u> acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>0.09</u> acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☒ Residential (suburban) ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____ ☐ Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	☐	☒	☐
b. Consistent with the adopted comprehensive plan?		☒	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	☐	☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	☒	☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	☒	☐	
b. Are public transportation service(s) available at or near the site of the proposed action?		☒	☐
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		☒	☐
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: Insulation is better than code requirements	NO	YES	
	☐	☒	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? ☐ NO ☒ YES] If No, describe method for providing potable water: _____	NO	YES	
	☐	☒	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? ☐ NO ☒ YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	☐	☒	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	☒	☐	
b. Is the proposed action located in an archeological sensitive area?		☒	☐
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	☐	☒	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	☒	☐	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☐ Urban ☒ Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	☒	☐	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	☐	☐	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? ☒ NO ☐ YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	☒	☐	
	☒	☐	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	☒	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	☒	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	☒	☐
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>David Riemer</u> Date: <u>7-28-24</u> Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	☐	☐
2. Will the proposed action result in a change in the use or intensity of use of land?	☐	☐
3. Will the proposed action impair the character or quality of the existing community?	☐	☐
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	☐	☐
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	☐	☐
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	☐	☐
7. Will the proposed action impact existing: a. public / private water supplies?	☐	☐
b. public / private wastewater treatment utilities?	☐	☐
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	☐	☐
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	☐	☐

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	☐	☐
11. Will the proposed action create a hazard to environmental resources or human health?	☐	☐

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Name of Lead Agency Date	
Print or Type Name of Responsible Officer in Lead Agency Title of Responsible Officer	
Signature of Responsible Officer in Lead Agency Signature of Preparer (if different from Responsible Officer)	

DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. _____

Filing Date _____

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>691 S Bayview Ave</u> (No.) (Street)	ZONING DISTRICT <u>A</u>
	BETWEEN <u>BRYANT ST</u> (Cross Street) AND <u>NONE</u> (Cross Street)	
	SECTION <u>62</u> BLOCK <u>187</u> BY <u>13769</u> APPROX. LOT SIZE <u>43</u> X <u>78</u> LOT AREA <u>3,994.47</u>	

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

A. TYPE OF IMPROVEMENT 1 ☒ New building 2 ☐ Addition/Alteration (If residential, enter number of new housing units added. If non-residential, none) 3 ☐ Swimming Pool 4 ☐ Repair (replacement) 5 ☐ Bulkhead (New, Repair) 6 ☐ Fence 7 ☐ Moving (relocation)		B. PROPOSED OR EXISTING USE <table border="0"> <tr> <td> RESIDENTIAL 11 ☐ One Family 12 ☐ Two families 13 ☐ Apartment - Enter No. of Units _____ 14 ☐ Transient hotel, motel, or dormitory - Enter No. of Units _____ 15 ☐ Garage or Accessory Structure 16 ☐ Other - Specify _____ </td> <td> NON-RESIDENTIAL - Complete Part "E" 17 ☐ Industrial 18 ☐ Office, bank, professional 19 ☐ Store, mercantile 20 ☐ Church, other religious 21 ☐ Hospital, institutional 22 ☐ Other - Specify _____ </td> </tr> </table>		RESIDENTIAL 11 ☐ One Family 12 ☐ Two families 13 ☐ Apartment - Enter No. of Units _____ 14 ☐ Transient hotel, motel, or dormitory - Enter No. of Units _____ 15 ☐ Garage or Accessory Structure 16 ☐ Other - Specify _____	NON-RESIDENTIAL - Complete Part "E" 17 ☐ Industrial 18 ☐ Office, bank, professional 19 ☐ Store, mercantile 20 ☐ Church, other religious 21 ☐ Hospital, institutional 22 ☐ Other - Specify _____
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C. COST 10 TOTAL COST OF IMPROVEMENT <u>\$ 100,000</u>		D. DESCRIPTION OF PROJECT <u>NEW HOUSE</u> GARAGE = 1,626 SF HOUSE (LIVING SPACE) = 3,199.8 SF DECKS = 435 SF			

III. IDENTIFICATION - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>DAVID RIEMER</u>	<u>691 SOUTH BAYVIEW AVE</u> <u>FREEPORT, NY 11520</u>	<u>516</u> <u>578</u> <u>0526</u>
2. Contractor			
3. Architect or Engineer	<u>RICHARD BOYD</u>	<u>206 N. RICHMOND AVE</u> <u>MASSAPEQUA, NY 11758</u>	<u>631</u> <u>220</u> <u>0969</u>

IV. OWNER - CONTRACTOR STATEMENT

Building permit is issued subject to the provisions of Section 67 of the Workmen's Compensation Law.
 Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____

Contractor DAVID RIEMER (Print)
 Address 691 SOUTH BAYVIEW AVE
 Phone 516-578-0526

State of New York

County of Nassau

David Riemer being duly sworn, says that he is the contractor or owner of the above mentioned building. That the terms of the above application also the estimated cost of said building or alteration, is correct to the best of his knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.

Notary Public-STATE OF NEW YORK
JENNA PETTAS
 No. 01PE6370301
 Qualified in Nassau County
 My Commission Expires 01-29-2026

Sworn to before me this 16 day of May, 2024
Jenna Pettas Notary Public, County, N.Y.
[Signature] (Applicant Signature)

V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?
 YES ☒ NO ☐
 IF YES, WHICH ZONE? AEB

IS PROJECT TO REPAIR FLOOD DAMAGE?
 YES ☐ NO ☒

PROJECT DESCRIPTION

Total/First Floor Square Feet 1,626 (STORAGE)
 Upper Floor Square Feet 3,266 (1ST + 2ND)
 # of Fixtures 14
 # of Floors 3
 Occup. Type RES

VI. VALIDATION (Official Use Only)

Building Permit Number _____
 Building Permit Issued _____
 Building Permit Fee \$ _____

Approved by: _____

Superintendent of Buildings

RIEMER RESIDENCE

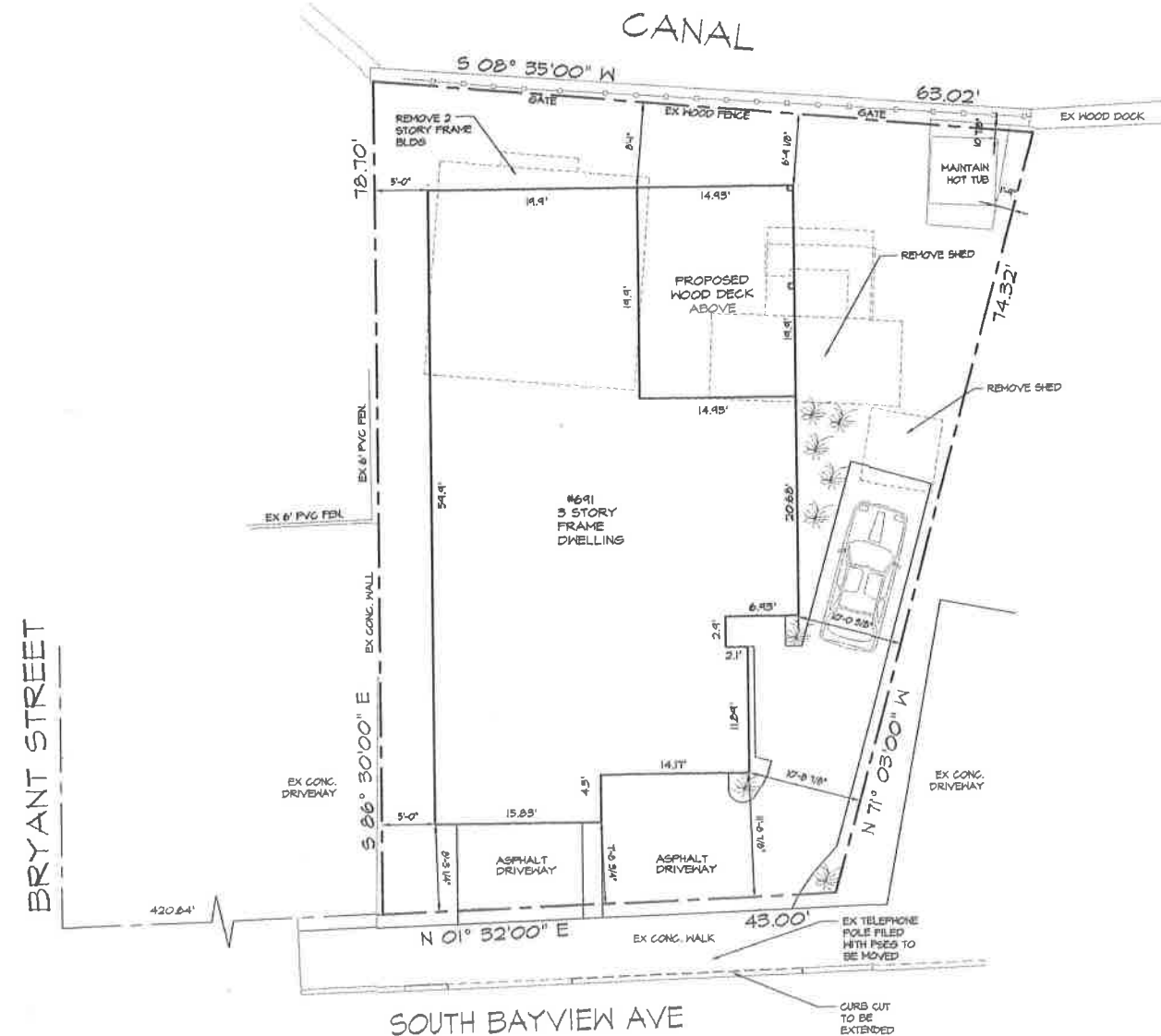
691 SOUTH BAYVIEW AVE FREEPORT, NEW YORK 11520

THIS PROJECT CONFORMS TO THE FOLLOWING CODES:
2020 RESIDENTIAL CODE OF NEW YORK STATE,
2020 UNIFORM CODE SUPPLEMENT 2016 WFCM,
2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

BUILDING COMPLIES WITH APPENDIX J, SECTION A.808.4, SECTION A.810, AND STRUCTURAL WIND LOAD PER A.1004.2

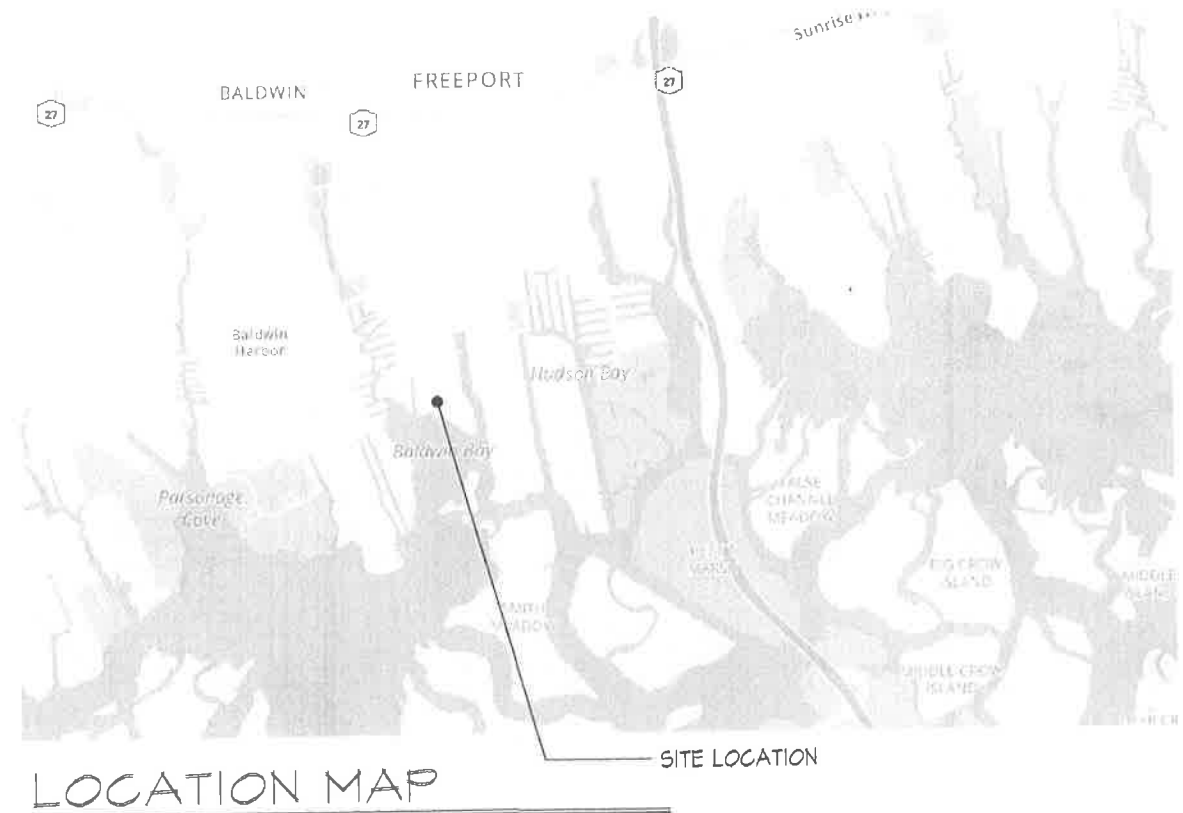
SECTION A.1004.2 STRUCTURAL
A.1004.2 WIND LOADS: BUILDINGS SHALL COMPLY WITH THE WIND PROVISIONS OF THIS CODE AS APPLICABLE
EXCEPTIONS:
1. DETACHED ONE AND TWO FAMILY DWELLINGS WHERE WIND LOADS AT THE NEW LOCATION ARE NOT HIGHER THAN THOSE AT THE PREVIOUS LOCATION.
2. STRUCTURAL ELEMENTS WHOSE STRESS IS NOT INCREASED BY MORE THAN 5 PERCENT.
BUILDING COMPLIES

ZONING ANALYSIS			SECTION: 62 BLOCK: 187 LOT: 13 & P.O. 12 (769)
RESIDENCE ZONE 'A' - SO BAYVIEW AVE, NY			
	REQUIRED	EXISTING	PROPOSED
USES	RESIDENTIAL - SINGLE FAMILY	RESIDENTIAL - SINGLE FAMILY	RESIDENTIAL - SINGLE FAMILY
LOT AREA	5000 SF	3995 SF	NO CHANGE
LOT AREA OCCUPIED	30% x 5000 SF = 1,500 SF	683 sf HOUSE & SHEDS 683 / 3995 = 17.1%	1st FLOOR COVERAGE = 1627SF 2nd FLOOR DECK = 298SF 1627 / 3995 = 40.7% 1627+298=1925 / 3995 = 48.18% (W/ DECK)
BUILDING HEIGHT	3 STORY OR 35' MAX.	21.52' 2 STORY	35'-0" 3 STORY
FRONT YARD	20' FRONT YARD OR AVG DEPTH WITHIN 200' = AVERAGE SETBACK XX'	48.3' EXISTING	7'-8 3/4" GROUND LEVEL ENTRY
SIDE YARD - NORTH SIDE YARD - SOUTH	MIN. 5' SUM OF 2 SIDE YDS EQUAL 25% MIN	4.3' NORTH 30.6' SOUTH	5'-0" NORTH 10'-0 3/8" SOUTH
REAR YARD	20' OR 20% OF LOT DEPTH	7'-0"	8'-1" TO HOUSE 6'-9 1/8" TO 2ND FL DECK



PLOT PLAN
SITE INFORMATION OBTAINED FROM SURVEY PREPARED BY
AREK SURVEYING COMPANY BROOKLYN, NY - DATED 7-22-14

PROPERTY AREA = 3,994.47 SQ.FT.
GROUND FLOOR AREA = 1,626 SQ.FT.
FIRST FLOOR AREA = 1,728.34 SQ.FT.
SECOND FLOOR AREA = 1,538.37 SQ.FT.



LOCATION MAP

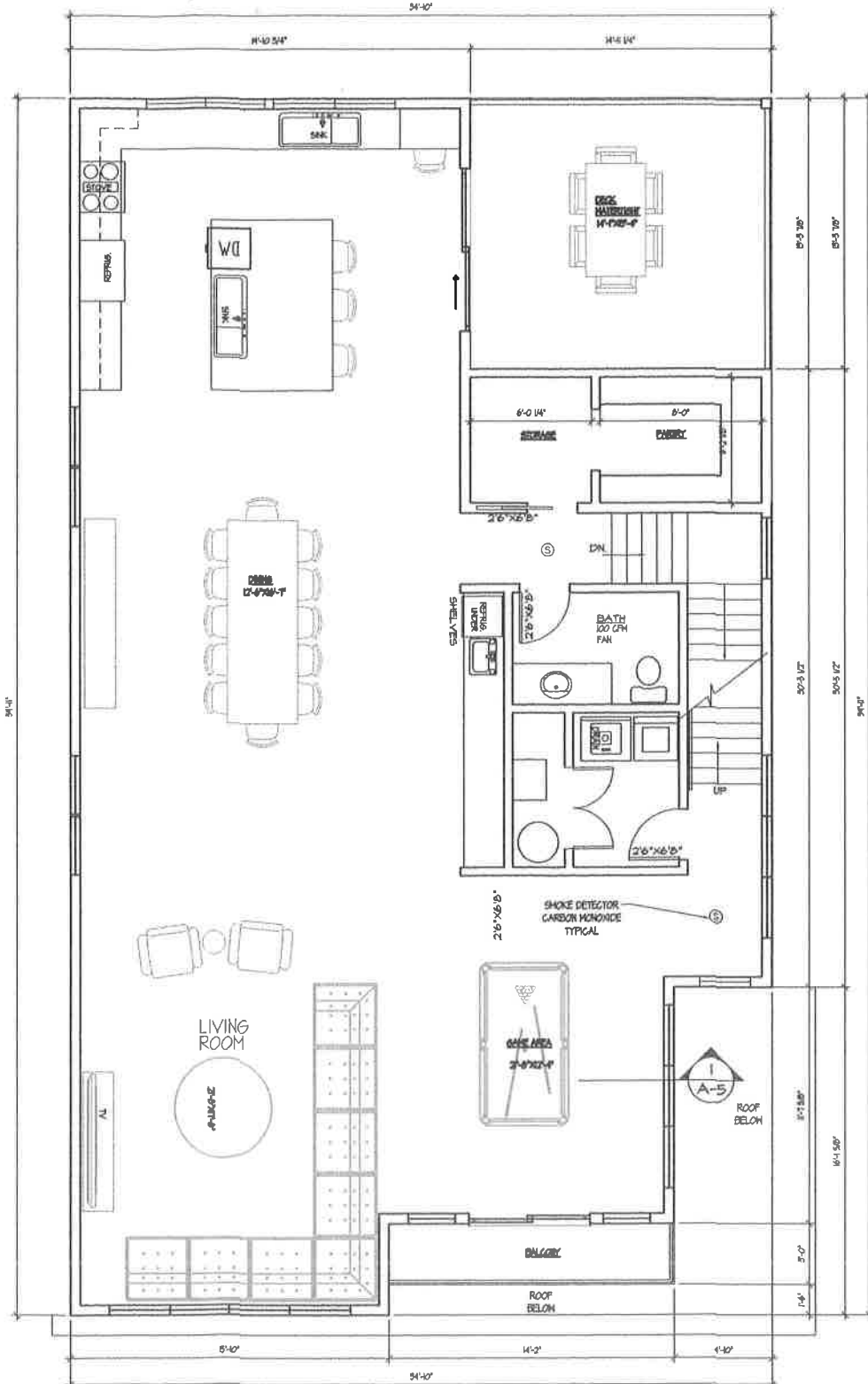
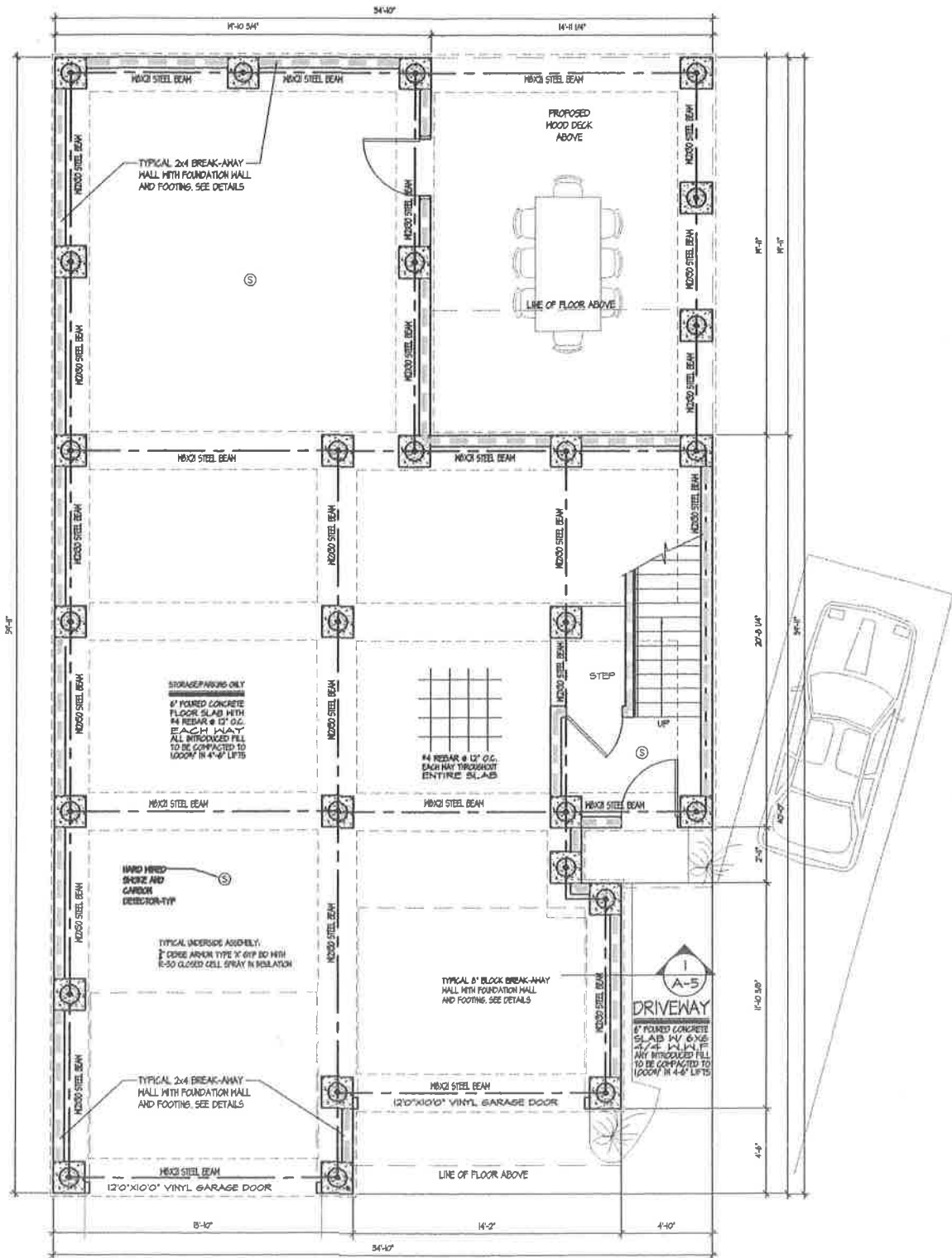
SANDY REPAIR
RIEMER RESIDENCE
691 SOUTH BAYVIEW AVE. FREEPORT, NY

BCNY ARCHITECTURE
CUSTOM DESIGNED RESIDENCES
206 RICHMOND AVE MASSAPEQUITT, NY 11758
SPECIALIZING IN SERVICE COMMERCIAL AND RESIDENTIAL DESIGN
COMMERCIAL ARCHITECTURE
EMAIL: BCNARCHITECTURE@GMAIL.COM PHONE: 631-220-0969

COVER SHEET
SITE PLAN
ZONING INFORMATION

REVISIONS
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24-43
T-1



DESIGN CALCULATIONS

RS01.2.2.3.1 HEIGHTS OF MATERIALS

AVERAGE DEAD LOADS SHALL NOT EXCEED 15 PSF FOR ROOF/CEILING ASSEMBLIES OR 10 PSF FOR FLOOR ASSEMBLIES EXCEPT AS FURTHER LIMITED BY SECTION RS01.3.2 DEAD LOADS FOR WALLS ABOVE GRADE SHALL NOT EXCEED:

1. FIFTEEN PSF FOR EXTERIOR LIGHT-FRAME WOOD WALLS.
2. FIFTEEN PSF FOR EXTERIOR LIGHT-FRAME COLD-FORMED STEEL WALLS.
3. TEN PSF FOR INTERIOR LIGHT-FRAME WOOD WALLS.
4. FIVE PSF FOR INTERIOR LIGHT-FRAME COLD-FORMED STEEL WALLS.
5. EIGHT PSF FOR 8-INCH THICK CONCRETE WALLS.
6. EIGHT PSF FOR 6-INCH THICK CONCRETE WALLS.
7. FIVE PSF FOR 4-INCH THICK CONCRETE WALLS.
8. FIVE PSF FOR 3-INCH THICK CONCRETE WALLS.
9. FIVE PSF FOR 2-INCH THICK CONCRETE WALLS.
10. FIVE PSF FOR 1-INCH THICK CONCRETE WALLS.

EXCEPTION: ROOF/CEILING DEAD LOADS NOT EXCEEDING 25 PSF SHALL BE PERMITTED PROVIDED THE WALL BRACINGS AND JOISTS IN CHAPTER RS01.2.2.3.2 ARE INCREASED IN ACCORDANCE WITH TABLE RS01.2.2.3.2(4).

MINIMUM UNIFORM DISTRIBUTED LIVE LOADS (TABLE RS01.5) IN POUNDS PER SQUARE FOOT

USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE ^B	10 PSF
UNINHABITABLE ATTICS WITH LIMITED STORAGE ^{B,C}	20 PSF
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30 PSF
BALCONIES (EXTERIOR) AND DECKS ^E	40 PSF
FIRE ESCAPES	40 PSF
GUARD AND HANDRAILS ^D	200 PSF/H
GUARD INFILL COMPONENTS ^F	50 PSF/H
PASSENGER VEHICLE GARAGES ^A	50 PSF ^A
ROOMS OTHER THAN SLEEPING ROOMS	40 PSF
SLEEPING ROOMS	30 PSF
STAIRS	40 PSF ^C

FOR 50 LBS PER SQUARE FOOT=0.0478 KN/M² 1 SQ INCH=6.45 MM² 1 POUND=4.45 N

A. ELEVATED GARAGE FLOORS SHALL BE CAPABLE OF SUPPORTING A 2000-POUND LOAD APPLIED OVER A 30-SQUARE-INCH AREA

B. UNINHABITABLE ATTICS WITHOUT STORAGE ARE THOSE WHERE THE CLEAR HEIGHT BETWEEN JOISTS AND RAFTERS IS NOT MORE THAN 42" OR WHERE THERE ARE TWO OR MORE ADJACENT TRUSSES WITH HED CONFIGURATIONS CAPABLE OF ACCOMMODATING AN ASSUMED RECTANGLE 42" IN HEIGHT BY 24" IN WIDTH OR GREATER WITHIN THE PLANE OF THE TRUSSES. THE LIVE LOAD NEED NOT BE APPLIED TO ANY OTHER LIVE LOAD REQUIREMENT

C. INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORM LIVE LOAD REQUIREMENT

D. A SINGLE CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQUARE INCHES, WHICH EVER PRODUCE THE GREATER STRESS, SHALL BE APPLIED AT ANY POINT ALONG THE TOP

E. SEE SECTION RS01.1 FOR DECKS ATTACHED TO EXTERIOR WALLS

F. GUARD INFILL COMPONENTS (ALL THOSE EXCEPT THE HANDRAIL, BALUSTERS AND PANEL FILLS) SHALL BE DESIGNED TO WITHSTAND A HORIZONTAL APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT. THIS LOAD NEED NOT BE APPLIED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENT

G. UNINHABITABLE ATTICS WITH LIMITED STORAGE ARE THOSE WHERE THE CLEAR HEIGHT BETWEEN JOISTS AND RAFTERS IS NOT GREATER THAN 42" OR WHERE THERE ARE TWO OR MORE ADJACENT TRUSSES WITH HED CONFIGURATIONS CAPABLE OF ACCOMMODATING AN ASSUMED RECTANGLE 42" IN HEIGHT BY 24" IN WIDTH OR GREATER WITHIN THE PLANE OF THE TRUSSES. THE LIVE LOAD NEED ONLY BE APPLIED TO THOSE PORTIONS OF THE JOISTS OR TRUSSES BOTTOM CHORDS WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET: 1. THE ATTIC AREA IS ACCESSIBLE FROM AN OPENING NOT LESS THAN 20" IN WIDTH BY 30" IN LENGTH THAT IS LOCATED WHERE THE CLEAR HEIGHT IN THE ATTIC AREA IS NOT LESS THAN 42" 2. THE JOIST OR TRUSS BOTTOM CHORD IS NOT LESS THAN 2" VERTICAL TO 1 HORIZONTAL 3. REQUIRED INSULATION DEPTH IS LESS THAN THE JOIST OR TRUSS BOTTOM CHORD MEMBER DEPTH THE RAFTERS PORTIONS OF THE JOISTS OR TRUSS BOTTOM CHORDS SHALL BE DESIGNED FOR A UNIFORM DISTRIBUTED CONCENTRATED LIVE LOAD OF NOT LESS THAN 10 LBS PER SQUARE FOOT

H. GAZING USED IN HANDRAIL ASSEMBLIES AND GUARDS SHALL BE DESIGNED WITH A SAFETY FACTOR OF 4. THE SAFETY FACTOR SHALL BE APPLIED TO EACH OF THE CONCENTRATED LOADS APPLIED TO THE TOP OF THE RAIL AND TO THE LOAD ON THE INFILL COMPONENTS. THESE LOADS SHALL BE DETERMINED INDEPENDENT OF ONE ANOTHER AND LOADS ARE ASSUMED NOT TO OCCUR WITH ANY OTHER LIVE LOAD

WINDOW EGRESS SCHEDULE (ALL SLEEPING ROOMS)

FLOOR	REQUIRED CLEAR OPENINGS AS A SECOND MEANS OF EGRESS
FIRST	5.0 SQ FT MINIMUM
SECOND	5.7 SQ FT MINIMUM

1. PROVIDE AT LEAST (1) WINDOW (OR DOOR) IN EACH HABITABLE SPACE FOR EMERGENCY ESCAPE IN CONFORMANCE WITH N.Y.S. CODE SECTION RS10 MIN OPENINGS OF 5.7 SQ FT ON SECOND FLOOR AND 5.0 SQ FT AT GRADE LEVEL. MINIMUM NET HEIGHT 20" AND MINIMUM NET WIDTH 20" (OPERATION AND NEED FOR DOORS) BOTTOM OF OPENING @ 44" MAXIMUM AT

2. ALL WINDOWS MUST BE ANDERSON "LOW E" OR APPROVED EQUAL

ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS^{B,C} (TABLE RS01.7)

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GREATER THAN 3/12 WITH FINISHED CEILINGS NOT ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/80
FLOORS	L/360
CEILINGS WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/360
CEILINGS WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS-WIND LOADS ^A WITH PLASTER OR STUCCO FINISH	H/360
EXTERIOR WALLS-WIND LOADS ^A WITH OTHER BRITTLE FINISH	H/240
EXTERIOR WALLS-WIND LOADS ^A WITH FLEXIBLE FINISHES	H/120
LINTELS SUPPORTING MASONRY VENEER WALLS ^A	L/600

NOTE: L = SPAN LENGTH H = SPAN HEIGHT

A. FOR THE PURPOSE OF THE DETERMINING DEFLECTION LIMITS HEREIN THE WIND LOAD SHALL BE PERMITTED TO BE TAKEN AS ONE TIMES THE COMPONENT AND GLAZING (GAS) LOADS OBTAINED FROM TABLE RS01.3.2(2)

B. FOR CANTILEVER MEMBERS L SHALL BE TAKEN AS TWICE THE LENGTH OF THE CANTILEVER

C. FOR ALUMINUM STRUCTURAL MEMBERS OR PANELS USED IN ROOFS OR WALLS OF GARAGES, ACCESSORIES OR PATIO COVERS, NOT SUPPORTING EDGE OF GLASS OR SANDWICH PANELS THE TOTAL LOAD DEFLECTION SHALL NOT EXCEED L/60 FOR CONTINUOUS ALUMINUM STRUCTURAL MEMBERS SUPPORTING EDGE OF GLASS. THE TOTAL LOAD DEFLECTION SHALL NOT EXCEED L/180 FOR EACH GLASS LITE OR LOAD FOR THE ENTIRE LENGTH OF THE MEMBER. HOWEVER, FOR SANDWICH PANELS USED IN ROOFS OR WALLS OR SANDWICH ACCESSORIES OR PATIO COVERS, THE TOTAL LOAD DEFLECTION SHALL NOT EXCEED L/60 DEFLECTION FOR EXTERIOR WALLS WITH INTERIOR STATION BOUND THEREIN SHALL BE LIMITED TO AN ALLOWABLE DEFLECTION OF L/60

LEGEND

	24' WIDE FTG WITH PILE AND CONC PIER
	PILE WITH CONC PIER
	WALLS
	BREAK AWAY WALLS
	NEW DOORS

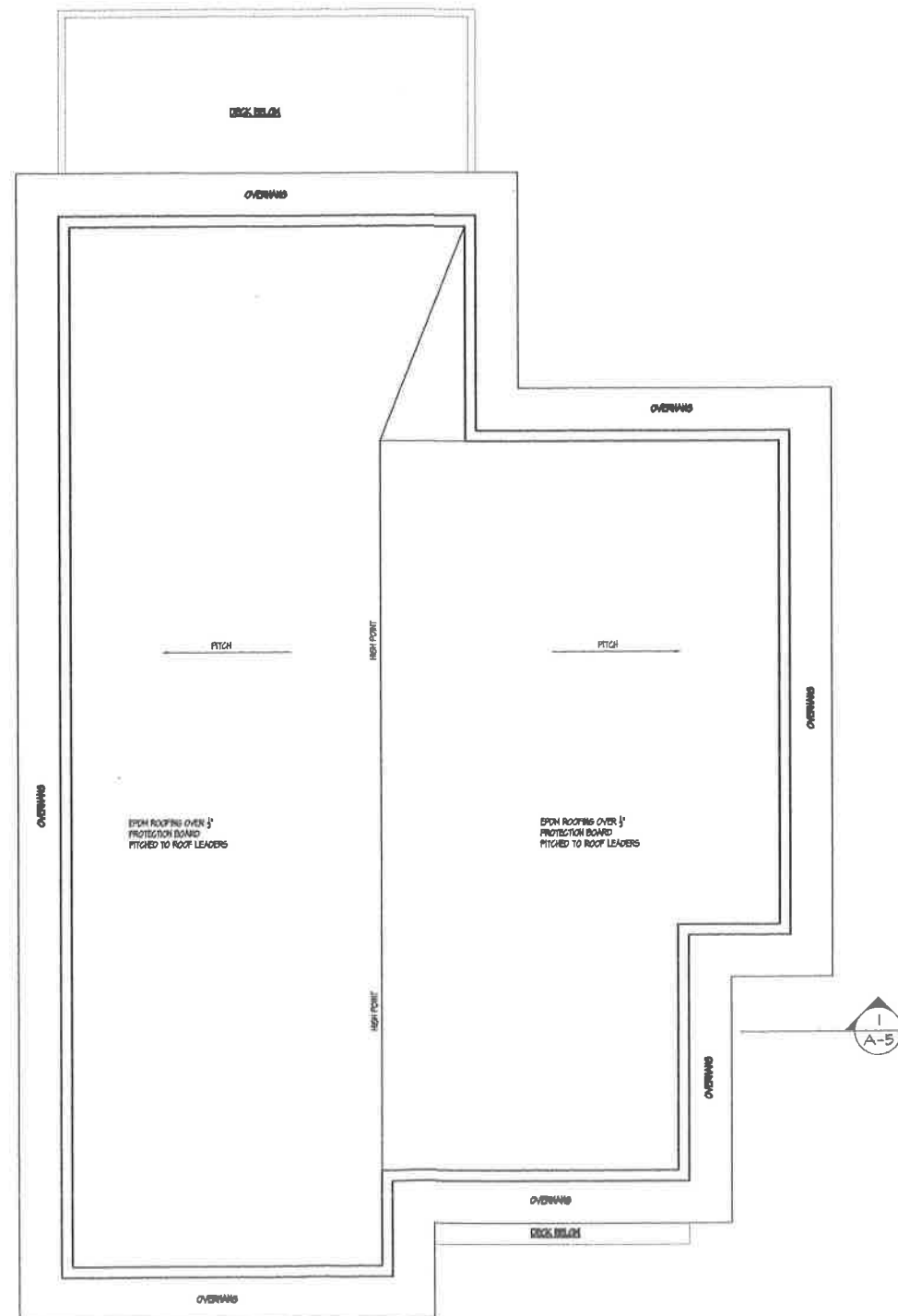
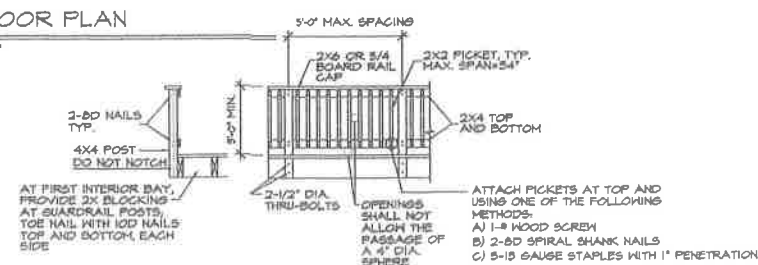
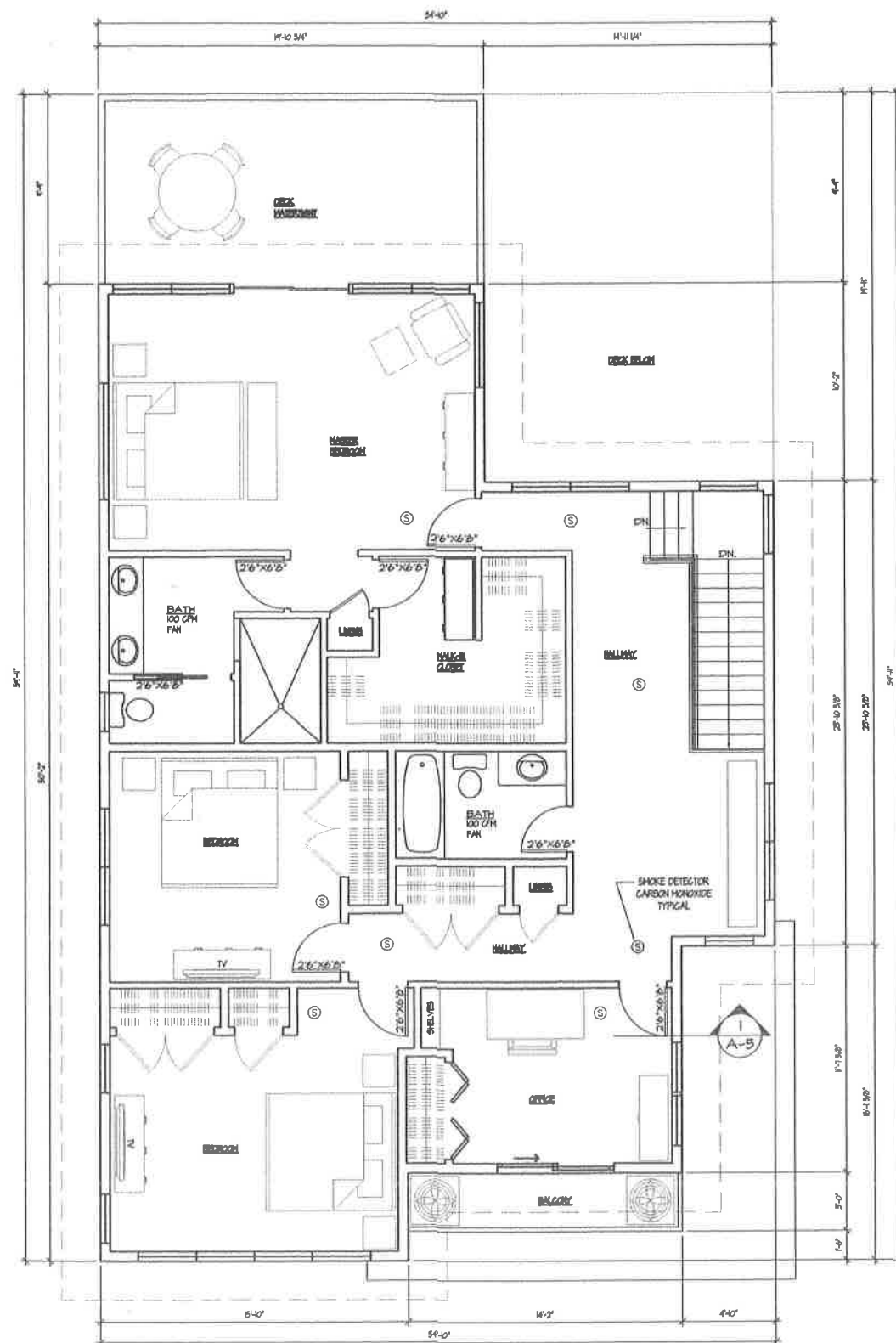
SANDY REPAIR
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300 W. 10TH STREET, 1ST FLOOR
FREEPORT, NY 11520
COMMERCIAL ARCHITECTURE & INTERIOR DESIGN
EMAIL: BOUNYARCHITECTURE@GMAIL.COM PHONE: 516-220-0969

LOWER LEVEL PLAN
FIRST FLOOR PLAN

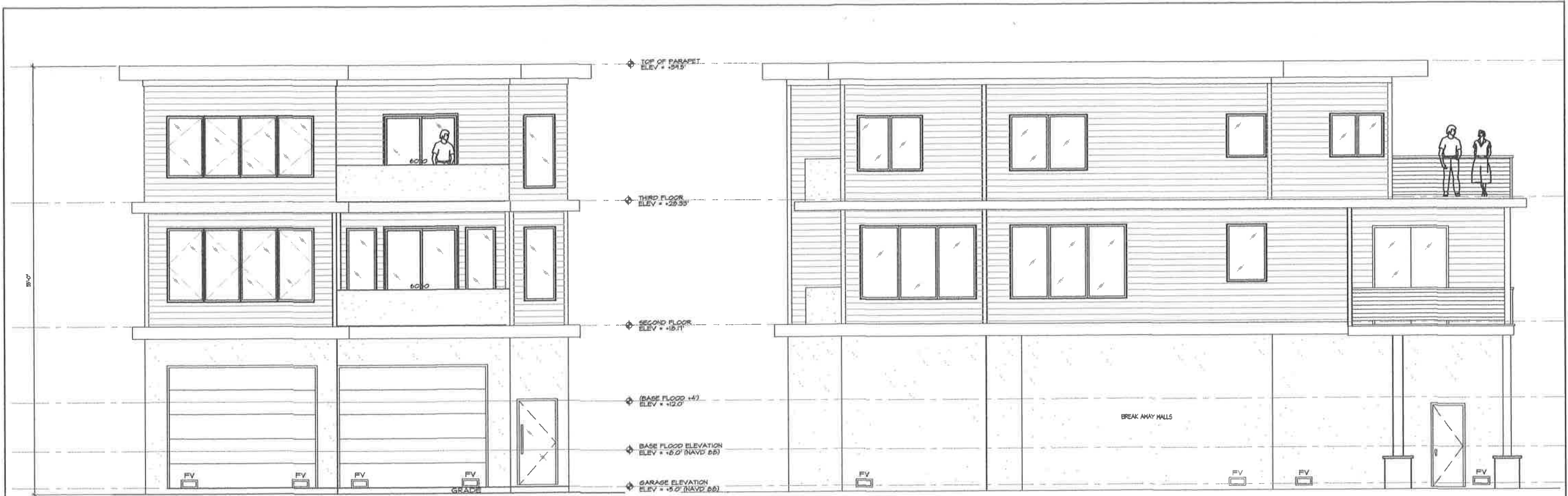
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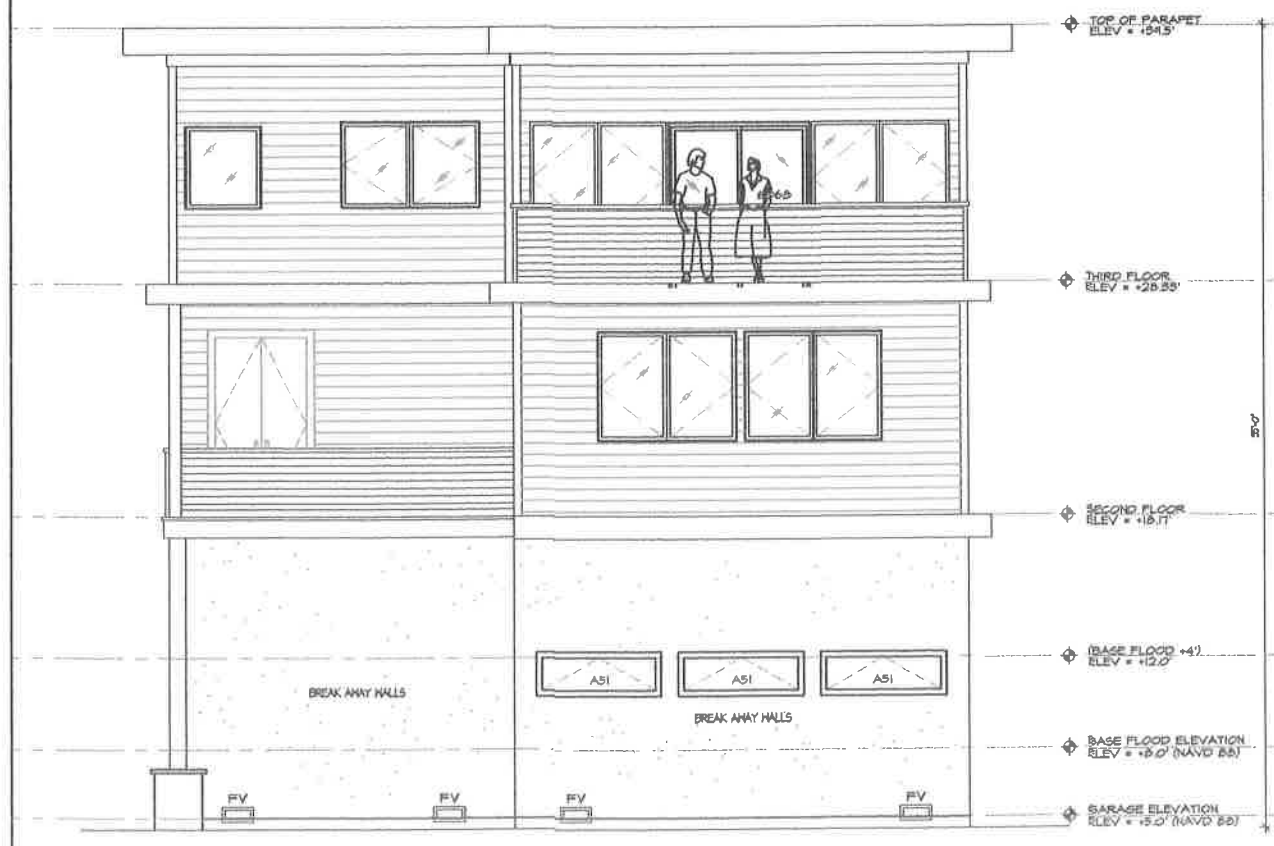
LEGEND

	24" WIDE FTGS WITH PILE AND CONC PIER
	PILE WITH CONC PIER
	WALLS
	BREAK AWAY WALLS
	NEW DOORS

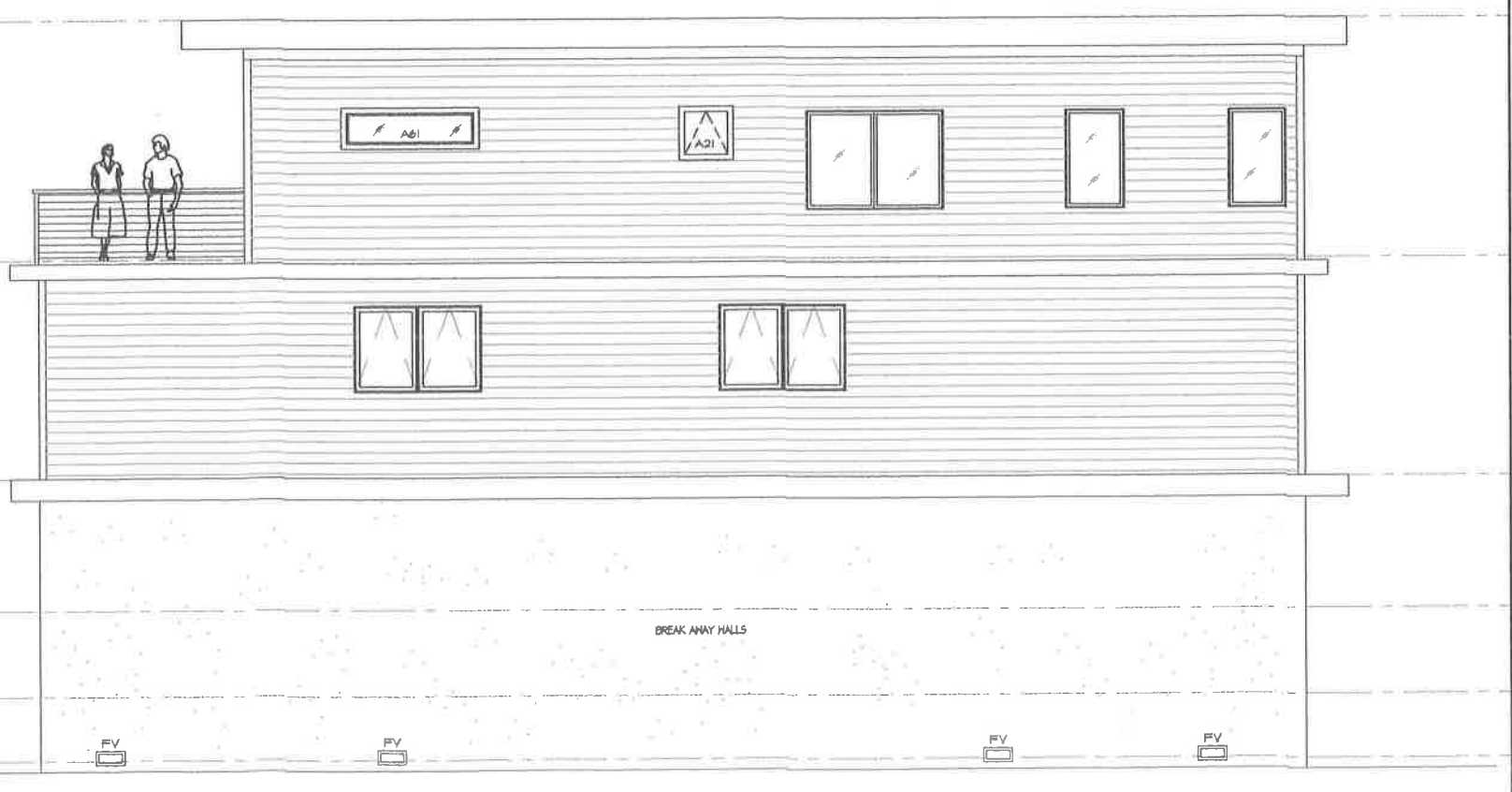


PROPOSED FRONT ELEVATION
SCALE: = 1/4" = 1'-0"

PROPOSED SIDE ELEVATION
SCALE: = 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE: = 1/4" = 1'-0"



PROPOSED SIDE ELEVATION
SCALE: = 1/4" = 1'-0"

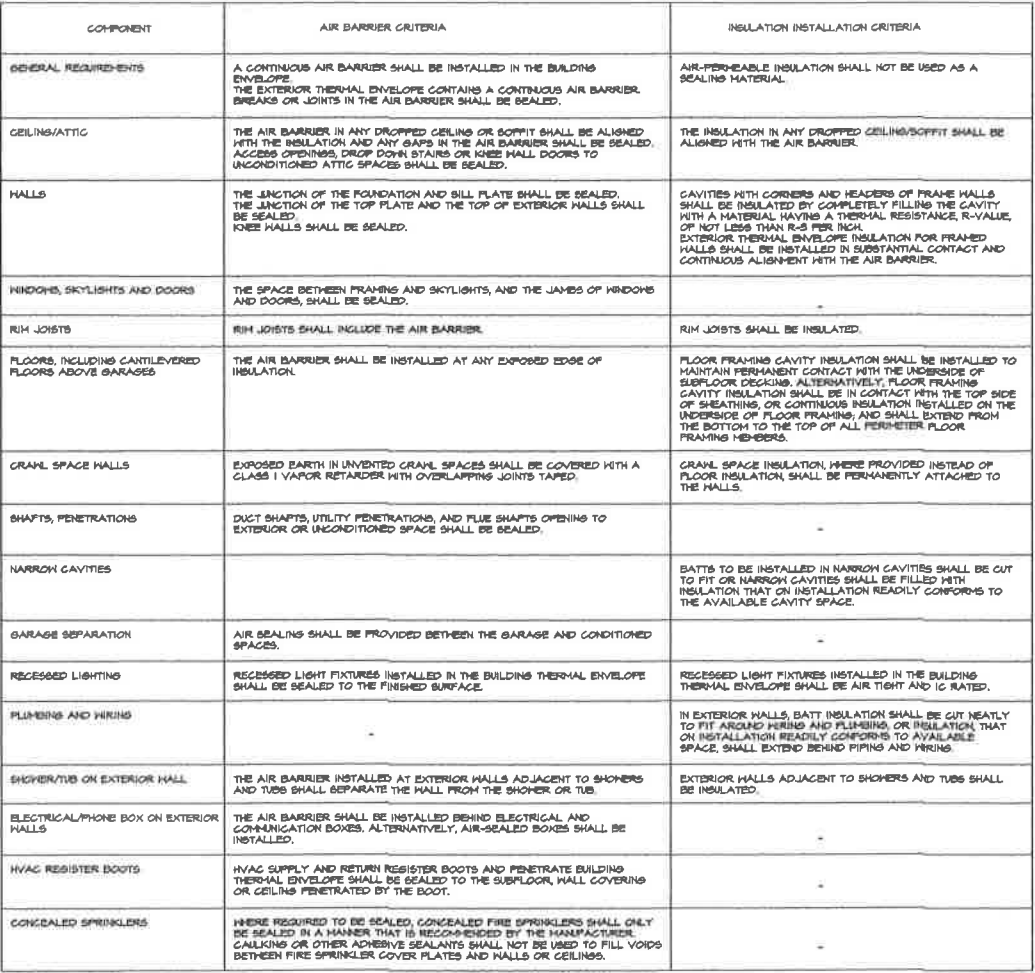
SANDY REPAIR
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BCNY ARCHITECTURE
CUSTOM DESIGNED RESIDENCES
206 WEST 14TH STREET, 4TH FLOOR
NEW YORK, NY 10011-3208
TEL: 646-220-0959
EMAIL: BCNYARCHITECTURE@GMAIL.COM

ELEVATIONS

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24-43
SHEET NO.
A-4

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GENERAL NOTES AND SPECIFICATIONS

REINFORCING:

1. ALL REINFORCING BARS ARE TO BE THE DIAMETER SHOWN, DEFORMED INTERMEDIATE GRADE BILLET STEEL HAVING A DESIGN STRENGTH OF 30,000 P.S.I.
2. TYPICAL COVER FOR ALL REINFORCING SHALL BE THREE TIMES UNLESS OTHERWISE NOTED ON DRAWINGS.
3. ALL BARS TO BE CONTINUOUS UNLESS SPECIFIC LENGTHS ARE SHOWN. ALL SPICES TO BE FORTY BAR DIAMETERS MINIMUM.
4. SPICES FOR BOTTOM STEEL IN BEAMS TO BE LOCATED OVER A PILE. SPICES FOR TOP STEEL TO BE LOCATED BETWEEN PILES.
5. HELDED WIRE FABRIC (HWFP) IS TO BE 6"x6" SPACED, #4 & #4 GAGE WHICH SHALL CONSIST OF COLD DRAWN MEMBERS HAVING AN ULTIMATE STRENGTH OF NOT LESS THAN 100,000 P.S.I. HELDED WIRE FABRIC IS TO BE PLACED AS SHOWN ON THE PLANS.
6. ALL REINFORCING IS TO BE SECURELY FASTENED TO RESIST MOVEMENT DURING CONCRETE PLACEMENT. USE EPOXY REBAR IF WATER IS ENCOUNTERED.
7. SUPPLY 40 DEGREE BENT #5 BARS - 18" LONG - AT ALL CORNERS. MINIMUM 8 PER CORNER. CENTER IN GRADE BEAMS, TOP, MIDDLE AND BOTTOM. PROVIDE MIN. 2 AT HANCH BEAMS TO GRADE B/S. (TOP & BOTTOM) W/ 2 BEAM SEAT AT SAME LOCATION. IF ANY WATER IS ENCOUNTERED, EPOXY REBAR TO BE USED.

PILES:

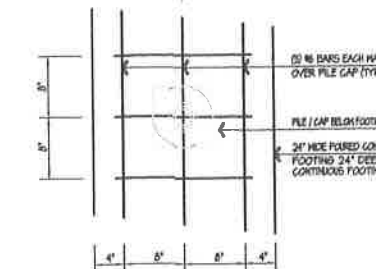
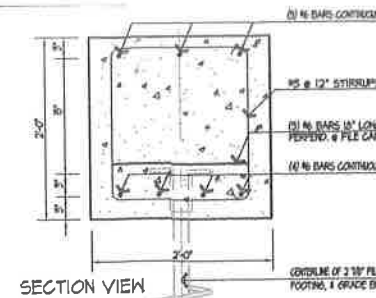
8. PILES ARE TO BE 2 7/8" DIA GALVANIZED STEEL HELICAL PILES WITH 1/2" DIA. PILE CAPS. PILE TO BE 2 7/8" DIA. PILE AND CAP SIZES TO BE VERIFIED BY LICENSED PILE CONTRACTOR AND NO DIMENSION.
9. ALL PILES ARE TO HAVE A SAFETY FACTOR OF (2) TWO (20 TON ULTIMATE) PILES ARE TO BE DRIVEN TO MINIMUM DESIGN TORQUE SPECIFIED ON PLAN.

CONCRETE:

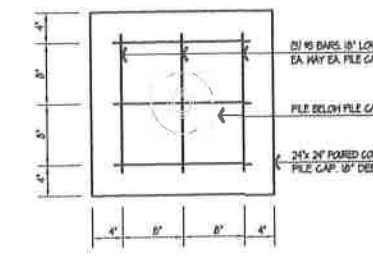
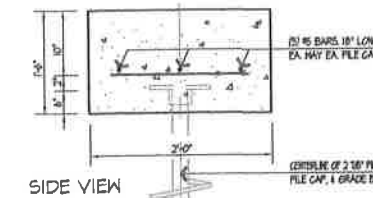
10. CONCRETE IS TO HAVE A MINIMUM STRENGTH OF 3500 P.S.I. AT 28 DAYS.
11. SLAB AND HANCH BEAMS ARE TO BE POURED MONOLITHICALLY.

GENERAL:

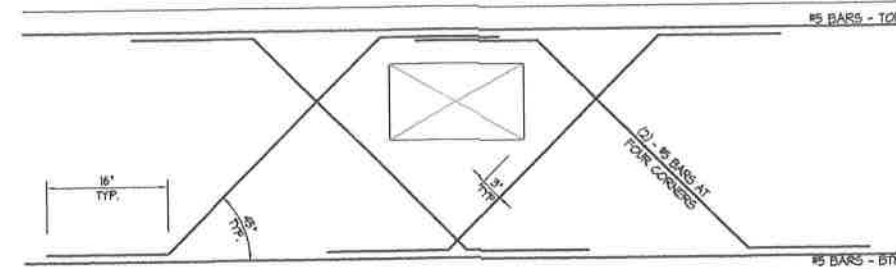
12. INSTALLATION OF PILES AND REINFORCING STEEL ARE TO BE INSPECTED AND CERTIFIED BY LICENSED PILE'S ENGINEER.
13. NO CONCRETE TO BE POURED UNTIL THE PILE LOG IS SUBMITTED AND APPROVED AND UNTIL FORMWORK AND STEEL WORK IS APPROVED.



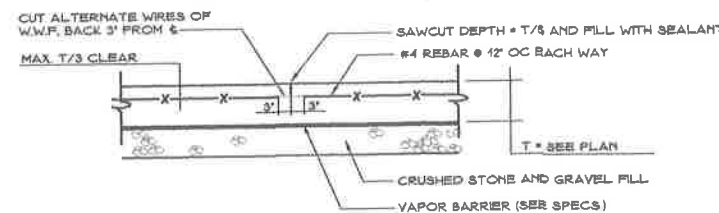
DETAIL - PILE CAP FOOTING PLAN
CONTINUOUS FTG 1
1"=1'-0" A-6
ALL PILES TO BE 2 7/8" DIA



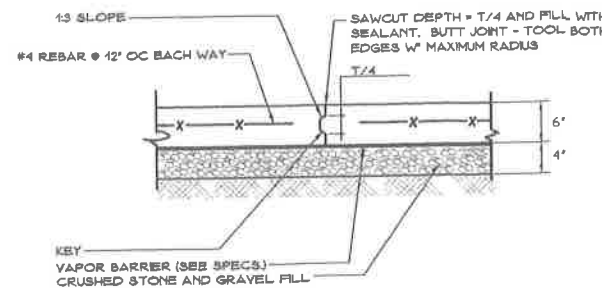
DETAIL - PILE CAP PLAN 2
NTS A-6



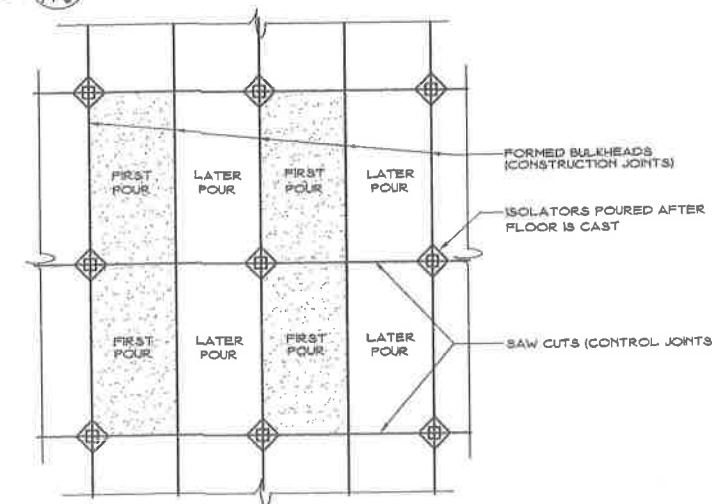
DETAIL - GRADE BEAM OPENINGS 3
1"=1'-0" A-6



TYPICAL CONTROL JOINT DETAIL
NOT TO SCALE



TYP. CONSTRUCTION JOINT DETAIL
NOT TO SCALE



NOTE:

1. PROVIDE CONTINUOUS GALVANIZED METAL JOINT.
2. CONSTRUCTION JOINTS SHALL BE LOCATED ON COLUMN CENTERLINES UNLESS OTHERWISE INDICATED ON DRAWINGS.
3. PROVIDE ISOLATION JOINTS FOR COLUMNS, FOOTINGS AND OTHER POINTS OF RESTRAINT.
4. INSERT EXPANSION JOINT FILLERS FULL DEPTH OF THE JOINT BEFORE OR DURING CONCRETING OPERATIONS.
5. CONSTRUCTION JOINTS SHALL BE LOCATED NOT LESS THAN 8'-0" FROM ANY OTHER JOINT TO WHICH THEY ARE PARALLEL.
6. PROVIDE CONTROL JOINTS SPACED AT 15 TO 20 FOOT INTERVALS IN BOTH DIRECTIONS. IF COLUMNS ARE LOCATED FARTHER APART THAN 20'-0", PROVIDE INTERMEDIATE JOINTS. THE RESULTING SLAB PANELS SHOULD BE APPROXIMATELY SQUARE. ELONGATED AND L-SHAPED PANELS SHOULD BE AVOIDED. SAW CUT WITHIN 24 HOURS.
7. CONCRETE SHOULD NOT BE PLACED ON THE SUBGRADE FASTER THAN IT CAN BE SPREAD, STRAIGHTENED AND BULL FLOATED.

SLAB ON GRADE PLACING SEQUENCE

NOT TO SCALE

RAISED FIRST FLOOR
ELEV = +16'-5" (+16.41')

SIMPSON ZMAX ANCHOR
STAINLESS EVERY JST

SIMPSON ANCHOR

OPEN

#6 VERTICAL
8 TOTAL PER PIER

#5 #12" HORIZONTAL
STIRRUPS

6" POURED CONCRETE
FLOOR SLAB WITH #4
REBAR #12" O.C.
EACH WAY ALL
INTRODUCED FILL TO
BE COMPACTED TO
1,000#/1" IN 4"-6" LIFTS

GRADE

(4) #6 TOP

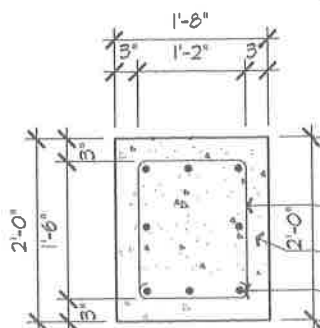
#5 #12" HORIZONTAL
STIRRUPS

(4) #6 BOTTOM

HELICAL PILE

SECTION

SCALE: 1"=1'-0"



PIER PLAN

SCALE: 1"=1'-0"

#5 #12" HORIZONTAL
STIRRUPS

20X24" POURED CONC PIER

#6 VERTICAL
8 TOTAL PER PIER

SANDY REPAIR
RIEMER RESIDENCE
691 SOUTH BAYVIEW AVE. FREEPORT, NY

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BCNY ARCHITECTURE & INTERIOR DESIGN
EMAIL: BCNYARCHITECTURE@GMAIL.COM PHONE: 516-220-0959

DETAILS

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24-43

SHEET NO.

A-6

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2024 NOV 15 P 2:47

BUILDING DEPT
VILLAGE OF FREEPORT, NY

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

September 26, 2024

LETTER OF DENIAL

Azin Tarifard
226 Atlantic Ave
Freeport, NY 11520

RE: 226 Atlantic Ave, Freeport, NY
Zoning District – Residence AA Sec. 62 Blk. 119, Lot 220
Building Permit Application #20231239
Description – Erect 7'1" high x 5' width ground sign.

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-212. Ground Signs.

As per section 210-212 ground signs: Ground signs shall be limited as follow to a maximum 6ft in height and maximum size of 4SF. According to what you have submitted the proposed sign is 7'1" high and has a square footage of 18.75SF minus 3' of height of posts. You will be seeking a variance of 1'1" for height and 14.75SF for the square footage.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-2202 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only

ONE complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the VILLAGE CLERK'S OFFICE at 377-2202.

Very truly yours,



Sergio A. Mauras

Superintendent of Buildings

Daniela Hernandez

cc: Village Clerk

SITE PLAN APPROVAL NEEDED: NO

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VILLAGE CLERK'S OFFICE
VILLAGE OF FALMOUTH, NY

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20231239

Location: 226 Atlantic Ave

Applicant: Azin Tarifard

Description: Erect 7'1" high x 5' width ground sign.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: September 26, 2024

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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SEC. 62 BLK. 119 LOT. 220

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
Of
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No. _____

COMPLY WITH
ORIGINAL NOTES

The application of Azin Tarifard
respectfully states and alleges:

Strike out
inapplicable
phrase

1. That the applicant (resides at) (has its principal office for the conducting of its business at)

226 Atlantic Ave
Freeport, NY 11520

2. That the premises affected by this application is located at

Land Map of Nassau County

Sec. 62 Blk. 119 Lot(s) 220

State whether
applicant is owner,
lessee, or has option
or contract. If other
than owner, state
briefly terms of
agreement.

and that the interest which the applicant has in the property concerned is that of

Permit & Variance for Ground sign for Dental office
(Pediatric Dental office)

3. That (the applicant) (the applicant's duly authorized Azin Tarifard) on or about the
16 day of 10 2023, filed in the office of the Department of Buildings of the Village of
Freeport, New York, an application for a Building Permit. Documents filed with said application were
as follows:

Permit for Ground Sign

Obtain reason for
denial from
Department of
Buildings.

4. That on or about the 26 day of 9, 2024, the Department of Buildings denied said
application; upon information and belief that the reason for said denial was as follows:

Ground sign requested is over max 6' height & max
4 sq ft size.

Describe by
construction and
number of stories. If
none, so state.

5. That the nature of the improvements now upon said premises is as follows:

Ground sign 7'1" x 5' and 18.75 sq ft

State nature of use of
property. If a
business, give brief
description.

6. That said premises are now being used as follows:

Ground sign for visibility of a pediatric Dental office

Describe fully and
clearly the use
desired.

7. That the applicant seeks authority to make use of said premises as follows:

Pediatric Dental office, ground sign to be visible for
people driving by and passing by (wall sign not much visible)

Strike out whichever
word is not
applicable. Follow
language in
ordinance.

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by
virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the
State of New York N/A

Refer where possible
to paragraphs and
section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the
application involves a subdivision of property, describe the existing property:

N/A

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

10. That the grounds for this application are as follows: To have a visible & large enough Ground Sign for this pediatric Dental office so potential patients/parents can see this office when driving by.

11. That any deed restrictions running with the land prohibiting the desired use are as follows: -none-

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous preceding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: NOV. 7th, 20 24

BY: Azin Tariford
ITS: _____

State of New York)
County of Nassau) ss:
The applicant Azin Tariford named in the foregoing application, being duly sworn, depose and say that she read the foregoing application subscribed by _____ and know the contents thereof; and that the same is true to _____ own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters _____ believe _____ to be true.

PEGGY M. LESTER sworn to before me this 7th day
Notary Public, State of New York of NOVEMBER, 20 24
No. 01LE6293122
Qualified in Nassau County
Commission Expires Nov. 25, 2025
Peggy M. Lester
Notary Public

[Signature]
Signature of Applicant

**Notice
Conflict of Interest**
I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.
NOV 7th, 20 24
Date Year
[Signature]
Signature

Affidavit of Owner
To be completed only if the owner is not the applicant.
State of New York)
County of Nassau) ss:
I _____ being duly sworn, depose and say:
That he/she (the owner of _____) (is the _____ of _____ the property concerned is correct to the best of the knowledge of deponent _____.)
That the owner _____ consents to the granting of the authority sought in the above application.

Sworn to before me this _____ day
of _____, 20 _____.
Notary Public _____
Signature _____



DEPARTMENT OF BUILDING
OF THE VILLAGE OF FREEPORT

APPLICATION FOR ERECTION OF SIGN

APPLICATION#: _____

PERMIT#: _____

☒ NEW APPLICATION

☐ APPROVED

☐ RENEWAL

☐ DENIED

APPLICATION IS HEREBY MADE PURSUANT TO VILLAGE OF FREEPORT ORDINANCES FOR APPROVAL OF PLANS AND SPECIFICATIONS OF THE SIGN STRUCTURE HEREIN DESCRIBED, TO BE ERECTED, HUNG AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AFORESAID ORDINANCE, THE BUILDING CODE, AND ANY OTHER ORDINANCE OR LAW APPLICABLE THERETO. SIGN PERMIT NUMBER WILL BE PLACED IN THE LOWER RIGHT CORNER OF SIGN.

DATE: 10/16/23

ADDRESS OF PREMISES: 226 Atlantic Ave, Freeport NY 11520

☐ WALL SIGN ☒ GROUND SIGN ☐ CANOPY RENEWAL PERIOD: _____

NAME OF PROPERTY OWNER: Azin Tarifard/Tarifard Realty LLC PHONE#: 209-482-2143

NAME OF APPLICANT: Azin Tarifard PHONE#: 209-482-2143

EMAIL ADDRESS: azintari.dds@gmail.com

WIDTH OF BUILDING (FRONTAGE): 31' LENGTH OF BUILDING (DEPTH): 36.7'

HEIGHT OF BUILDING: 7', 2" SETBACK OF NEAREST BUILDING: _____

EXACT LOCATION OF SIGN: Front Yard, 5'0" from side walk

STREET SIGN FRONTS ON: Atlantic Ave

WIDTH OF SIGN: 5', 0" HEIGHT OF SIGN: 3', 9" DEPTH OF SIGN: 8"

PROJECTION FROM BUILDING: N/A SETBACK OF SIGN: 5', 0"

IS SIGN TO BE ILLUMINATED? ☒ YES ☐ NO (IF YES, GIVE NAME, ADDRESS, AND PHONE NUMBER OF THE FREEPORT LICENSED ELECTRICIAN PERFORMING THE WORK)

NAME OF ELECTRICIAN: Great Contracting & Home Improvement Corp ADDRESS: 51 Redmond Ave, Bay Shore NY 11706

SIGN HANGER'S NAME: Valle Signs ADDRESS: 55 Decker St. Copiague NY

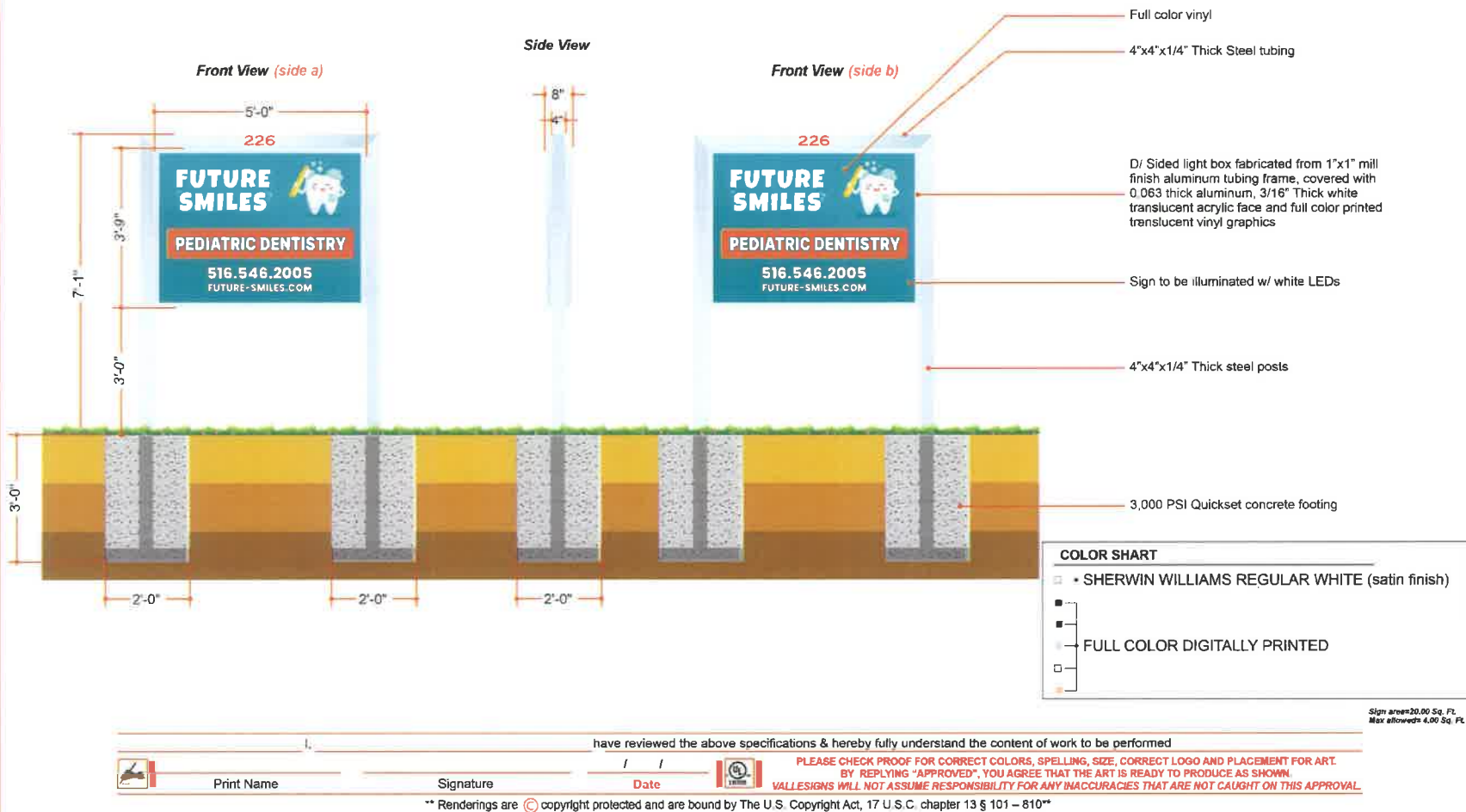
SIGN HANGER'S PHONE#: 516-408-3440 EMAIL: maria@vallesigns.com

APPROVAL IS HEREBY GIVEN TO THE FOREGOING APPLICATION AND PERMISSION IS GRANTED FOR THE HANGING OF THE SIGN DESCRIBED HEREIN. THIS PERMIT IS REVOCABLE IN CASE OF ANY NON-COMPLIANCE WITH PROVISIONS OF AFORESAID ORDINANCES. PERMIT EXPIRES THREE (3) YEARS, PROVIDED THAT SUCH A SIGN CONTINUES TO BE MAINTAINED IN COMPLIANCE WITH THE ORDINANCES OF THE INCORPORATED VILLAGE OF FREEPORT IN FORCE AT THE TIME OF RENEWAL.

DATED: FREEPORT, NY _____, 20____

SUPERINTENDENT OF BUILDINGS

Double Sided Illuminated Pylon Sign



VALLE
SIGNS AWNINGS IMAGE
55 Decker St. Copiague NY
516.408.3440
888.254.7322
www.vallesigns.com

DATE

10-13-2023

REVISION

G

PROJECT NAME

Future Smiles
PEDIATRIC DENTISTRY

ADDRESS

226 Atlantic Ave,
Freeport NY

SIGN TYPE

Pylon Sign

PM

Mariel

DESIGNER

Orlando

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SCALE

N.T.S

P-414

COLORS ON PROOF MAY VARY FROM ACTUAL PRODUCT USED

Double Sided Illuminated Pylon Sign



I, _____ have reviewed the above specifications & hereby fully understand the content of work to be performed

PLEASE CHECK PROOF FOR CORRECT COLORS, SPELLING, SIZE, CORRECT LOGO AND PLACEMENT FOR ART.
BY REPLYING "APPROVED", YOU AGREE THAT THE ART IS READY TO PRODUCE AS SHOWN.
VALLESIGNS WILL NOT ASSUME RESPONSIBILITY FOR ANY INACCURACIES THAT ARE NOT CAUGHT ON THIS APPROVAL.

Print Name: _____ Signature: _____ Date: _____

** Renderings are © copyright protected and are bound by The U.S. Copyright Act, 17 U.S.C. chapter 13 § 101 – 810 **

VALLEY
SIGN & GRAPHICS IMAGE
65 Decker St. Cresskill, NJ
516.408.3440
888.354.7322
www.vallesigns.com

DATE

10-13-2023

REVISION

G

PROJECT NAME

Future Smiles
PEDIATRIC DENTISTRY

ADDRESS

226 Atlantic Ave,
Freeport NY

SIGN TYPE

Pylon Sign

PM

Mariel

DESIGNER

Orlando

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SCALE

N.T.S

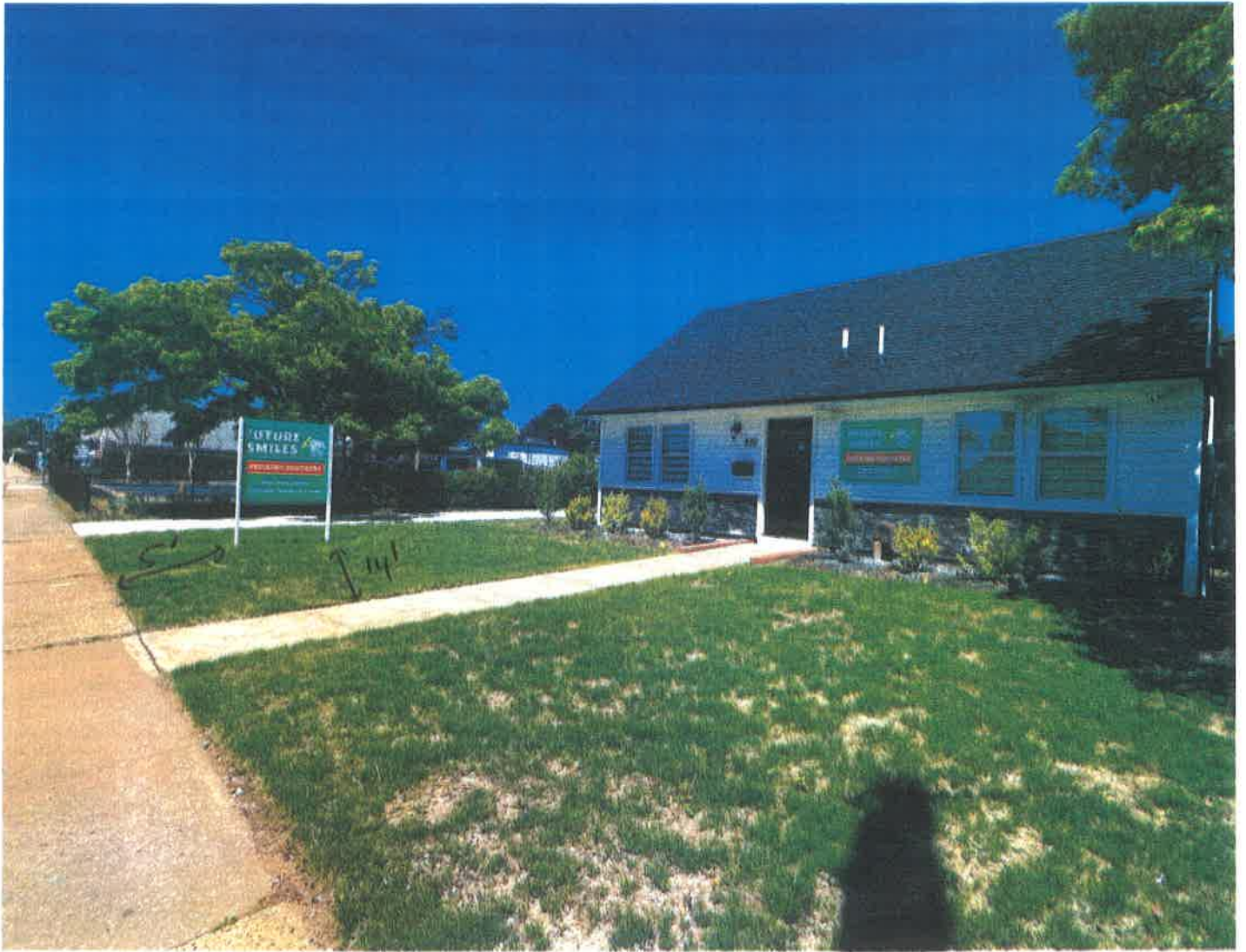
P- 3/4

COLORS ON PROOF MAY VARY FROM ACTUAL PRODUCT USED

VALLEY SIGN & GRAPHICS
2024 NOV 15 P 2:48

RECEIVED

Set Back
From sidewalk 5'
From walkway 14'



RECEIVED

2024 NOV 15 P 2:48

LIBRARY
VILLAGE OF PELHAM, NY



RECEIVED

2024 NOV 15 P 2:48

WELLS OFFICE
WILLARD UP FREE PORT, NY



RECEIVED

2024 NOV 15 P 2:48

CLERK'S OFFICE
VILLAGE OF TOWN OF NY

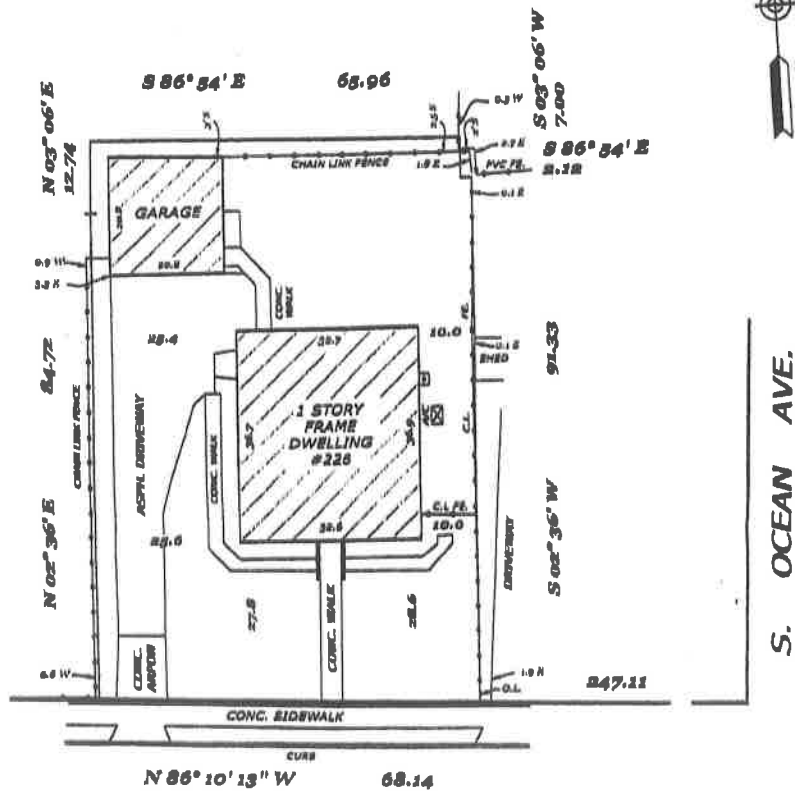
SURVEY No: 2507-B-119

TITLE No: RT-46450

LEGEND

 FENCE
 SHRUB/HEDGE
 O.H.S.W.
 OVER HEAD SERVICE WIRES
 ON-LINE

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S. OCEAN AVE.

ATLANTIC

AVE.

2024 NOV 15 1 P 2:48
CLERK'S OFFICE
VILLAGE OF FREEPORT, N.Y.

RECEIVED

Peter J. Brabazon PLS, P.C.
Professional Land Surveyor
430 West Old Country Rd, Hicksville NY 11801
Phone: (516) 822-8344, Fax: (516) 822-4398
Website: www.peterjbrabazon.com
Email: pbrabazon@optonline.net

SUCCESSOR TO

KENNETH E. GIBLIN, SALVATORE SPANIELLO - PETER
& WALTER GEMPA, FREDERICK W. KAHLEN - GEORGE H.
WALBRIDGE CO. INC. (SUTHERLAND), PETER L. PFLIDDERER JR.,
ARTHUR W. LEACH - JR. BISHOP - ROBERT D. JONES
(NABEAU) - SHAH ASSOCIATES - JULIUS ZARSTOFF
- MURRETT H. DELORME - WILLIAM H. BEAMAN - JEFFREY
J. ROBERTSON - H.A. SCHMIDT - IVAN E. CZEPOTT -
E.A. HENSON - KARLA S. FRENCH - BRIAN S.
NALECHUK - ALBERT L. LUEFFLER - WILLIAM E. ALCH.
BIRDSALL JACKSON

SURVEY OF PROPERTY AT: **FREEPORT**
MAP: **TAX MAP**
SECTION: **82** BLOCK: **118** LOT(S): **329**
FILED: **CASH No.**
MAP No.: **COUNTY OF: NASSAU, N.Y.**
GUARANTEED TO:

• WESTCOR LAND TITLE INSURANCE COMPANY
 • TARRIFORD REALTY LLC
 • REGAL TITLE AGENCY

SURVEY DATE: 06/21/2021

