

Application Date: \_\_\_\_\_  
Fees Paid: \_\_\_\_\_

SP# 378a

**INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD**

**NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION**

PROPERTY ADDRESS: <u>127 Bedell St.</u>	ZONING DISTRICT <u>Residence A</u>
SECTION <u>62</u> BLOCK <u>049</u> LOT <u>84</u>	LOT SIZE: _____

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Jose Abreu</u>	Name: <u>Jose Abreu</u>
Address: <u>127 Bedell St. Freeport NY 11520</u>	Address: <u>127 Bedell St. Freeport, NY 11520</u>
Telephone #: _____	Telephone #: _____

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: Replace front door &  
windows at front porch

I request a preliminary meeting: \_\_\_\_\_ YES  NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

\_\_\_\_\_ YES  NO \_\_\_\_\_  
\* Jose Abreu \_\_\_\_\_  
APPLICANT'S SIGNATURE DATE

Sworn to before me this 12 day of Oct 2020  
Notary Public  
MARIA D DURAN  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01DU6127708  
Qualified in Nassau County  
My Commission Expires 05-31-2025

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20 OCT 2020 P 3:41  
VILLAGE CLERK'S OFFICE  
FREEPORT, NY

**Property Owner's Consent:**  
Jose Abreu am (are) the owner(s) of the subject property and consent to the filing of this application.

Jose Abreu \_\_\_\_\_  
PROPERTY OWNER'S SIGNATURE DATE

Sworn to before me this 12 day of Oct 2020  
Notary Public  
MARIA D DURAN  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01DU6127708  
Qualified in Nassau County  
My Commission Expires 05-31-2025

**FOR VILLAGE USE ONLY**

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**

September 26, 2024

Jose Abreu  
127 Bedell St  
Freeport, NY 11520

**RE: 127 Bedell St, Freeport, NY**  
**Zoning District – Residence A Sec. 62 Blk. 049 , Lot 84**  
**Building Permit Application #202439621**  
**Description – Replace front door and windows.**

Dear Ms.

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-3632.

Very truly yours,



Sergio A. Mauras  
Superintendent of Buildings  
Daniela Hernandez  
cc: Village Clerk

ZBA Approval Needed: NO

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VILLAGE CLERK'S OFFICE  
FREEPORT, NY

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20243921

Location: 127 Bedell St

Applicant: Jose Abreu

Description: Replace front door and windows. .

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:  
(only if positive determination)

Dated: September 26, 2024

*Sergio A. Mauras*  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

VILLAGE OF FREEPORT  
2024, OCT 16  
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## Short Environmental Assessment Form

### Part 1 - Project Information

#### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: <i>Jose Abreu</i>			
Project Location (describe, and attach a location map): <i>127 Bedell St. Freeport, NY 11520</i>			
Brief Description of Proposed Action: <i>Interior Alterations / MAINTAIN existing</i>			
Name of Applicant or Sponsor: <i>Jose Abreu</i>		Telephone: <i>516 636 9531</i>	
		E-Mail: <i>JOSE.ABREU.0314@aol.com</i>	
Address: <i>85 Frederick Ave.</i>			
City/PO: <i>Freeport</i>		State: <i>NY</i>	Zip Code: <i>11510</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: <i>Building Department</i>			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			<div style="writing-mode: vertical-rl; transform: rotate(180deg);">           RECEIVED            2021 OCT 16 P 3:41         </div>
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



# DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 20243921  
 Filing Date 9/3/24

## Application for Erection of Buildings or Alterations

**IMPORTANT** - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>127</u> <u>Bedell St.</u> ZONING DISTRICT <u>Residence A</u>
	BETWEEN <u>Archer</u> AND <u>Southside</u>
	SECTION <u>62</u> BLOCK <u>049</u> LOT <u>84</u> APPROX. LOT SIZE _____ X _____ LOT AREA _____

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.	
A. TYPE OF IMPROVEMENT	B. PROPOSED OR EXISTING USE
1     New building 2   <input checked="" type="checkbox"/> Addition-Alteration (If residential, enter number of new housing units added. If non-residential none) 3     Swimming Pool 4     Repair (replacement) 5     Bulkhead (New, Repair) 6     Fence 7     Moving (relocation)	RESIDENTIAL 11   <input checked="" type="checkbox"/> One Family 12     Two families 13     Apartment - Enter No. of Units _____ 14     Transient hotel, motel, or dormitory - Enter No. of Units _____ 15     Garage or Accessory Structure 16     Other - Specify _____  NON RESIDENTIAL - Complete Part "E" 17     Industrial 18     Office, bank, professional 19     Store, mercantile 20     Church, other religious 21     Hospital, institutional 22     Other - Specify _____

C. COST	D. DESCRIPTION OF PROJECT
10 TOTAL COST OF IMPROVEMENT <u>\$25,000.<sup>00</sup></u>	<u>Interior Alterations/ MAINTAIN EXISTING</u>

III. IDENTIFICATION - To be completed by all applicants		
NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee <u>Jose Abrey</u>	<u>85 Frederick Ave. Freeport, N.Y. 11570</u>	<u>516 636 9531</u>
2. Contractor <u>Quality Home Improvement</u>	<u>1866 Carlton Place Baldwin, N.Y. 11510</u>	<u>516 581 9146</u>
3. Architect or Engineer <u>Vladimir constant</u>	<u>7 Melnick Westbury, N.Y. 11590</u>	<u>631 704 6601</u>

IV. OWNER - CONTRACTOR STATEMENT	V. FLOOD ZONE
Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law. Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____ Contractor or Owner <u>Jose Abrey</u> Address <u>85 Frederick Ave.</u> Phone <u>516 636 9531</u> State of New York County of Nassau <u>Jose M. Abrey</u> being duly sworn, says that <u>He</u> is the contractor of owner of the above mentioned building. That the items of the above application also the estimated cost of said building variation, is correct to the best of <u>his</u> knowledge and belief and agrees to conform to all applicable laws.	IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES <input checked="" type="checkbox"/> NO <input checked="" type="checkbox"/> IF YES, WHICH ZONE? _____ IS PROJECT TO REPAIR FLOOD DAMAGE? YES <input checked="" type="checkbox"/> NO <input checked="" type="checkbox"/> PROJECT DESCRIPTION Total/First Flr _____ Square Feet Upper Flrs _____



127 Bedell St. Freeport, NY 11520



127 Bedell St. Freeport, NY 11520



127 Bedell St. Freeport, NY 11520



131 Bedell St. Freeport, NY 11520



130 Bedell St. Freeport, NY 11520



134 Bedell St. Freeport, NY 1152



145 Bedell St. Freeport, NY 11520



140 Bedell St. Freeport, NY 11520

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16 F

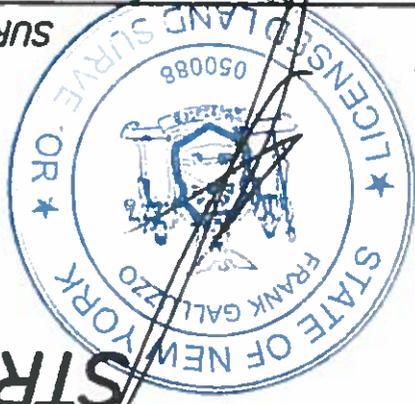
**Empire State Land Surveyor, P.C.**  
 Records of Albert A. Bianco - Barry M. Fahrer - Robert B. Holzman  
 Stephen J. Reid - M. Berry Carman - G. W. Haviland - Vandewater & Lapp  
 Robert E. Carlin - William J. Daly - Franssen & Mantari - Carter B. Harris  
 Francis J. Hickey - William K. Morse - Ludwig Riemenschneider  
 1005 Glen Cove Avenue, Glen Head, NY, 11545  
 empirestatesurveys@aol.com | (516)-240-6901

AS-BUILT SURVEY

UNAUTHORIZED ALTERATIONS AND/OR ADDITIONS TO THIS SURVEY BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, THE TITLE COMPANY, THE GOVERNMENTAL AGENCY AND THE LENDING INSTITUTION LISTED ON THIS SURVEY MAP. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS AND/OR SUBSEQUENT OWNERS. FENCE OFFSETS TAKEN AT CENTERLINE OF POST, ENCROACHMENTS OR WALLS BELOW SURFACE ARE NOT SHOWN. RIGHT OF WAYS AND/OR EASEMENTS OF RECORD NOT SHOWN ON THIS SURVEY ARE NOT CERTIFIED. OFFSETS AND DIMENSIONS HEREON ARE FOR A SPECIFIC PURPOSE AND ARE NOT TO BE USED IN THE ERECTION OF ADDITIONAL STRUCTURES, FENCES OR OTHER IMPROVEMENTS.

LOTS 84 AND 85 ON  
 "MAP OF SOUTH SHORE PARK"  
 FILED ON JUNE 13, 1911 AS MAP #238 CASE #1834  
 SCALE: 1"=20'

SURVEYED: MAY 28, 2024



BEDFORD STREET

N 02°07'00" E 50.00

75.00

S 87°53'00" E

ARCHER

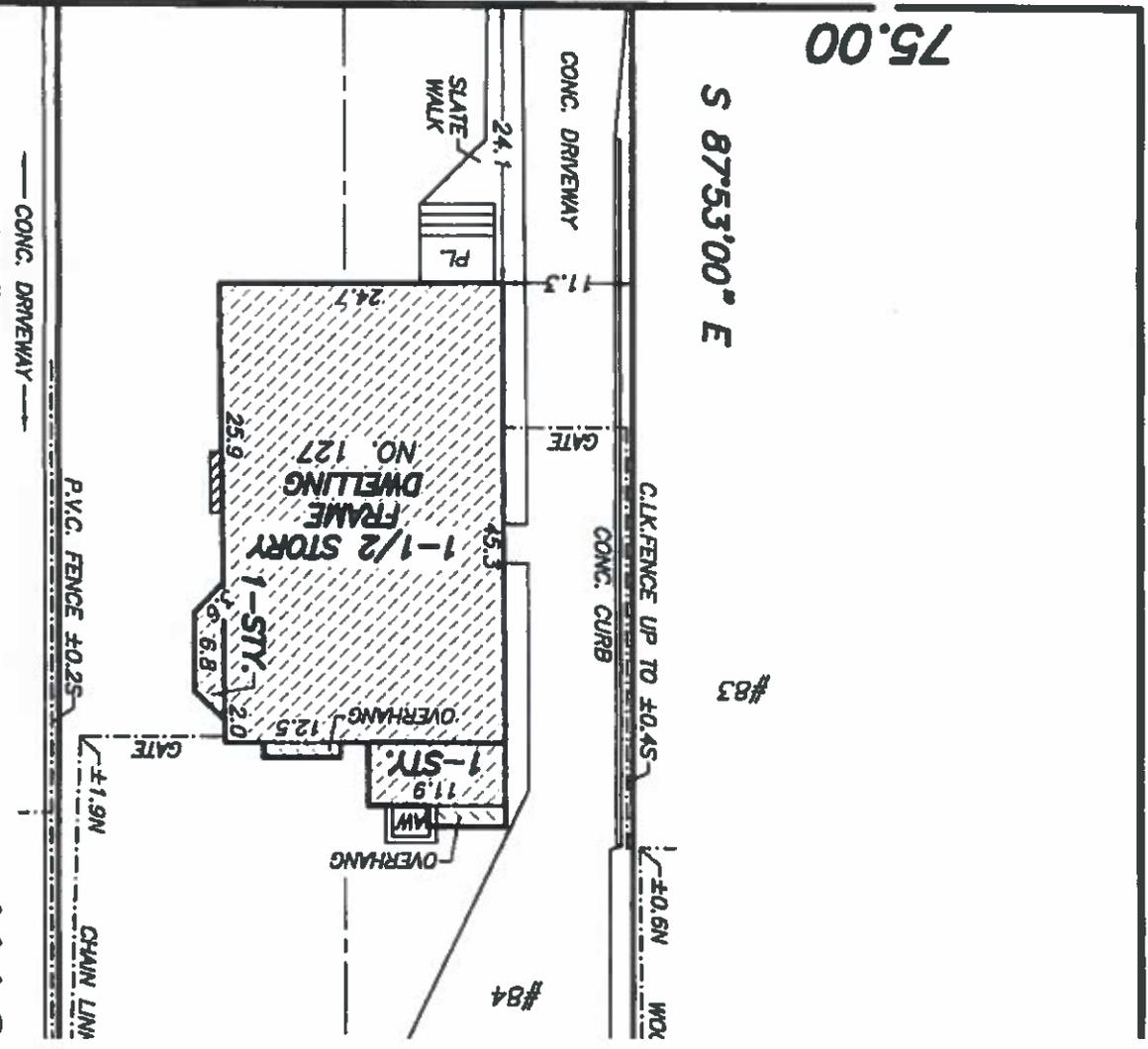
N 87°53'00" W

114.2

#86

#83

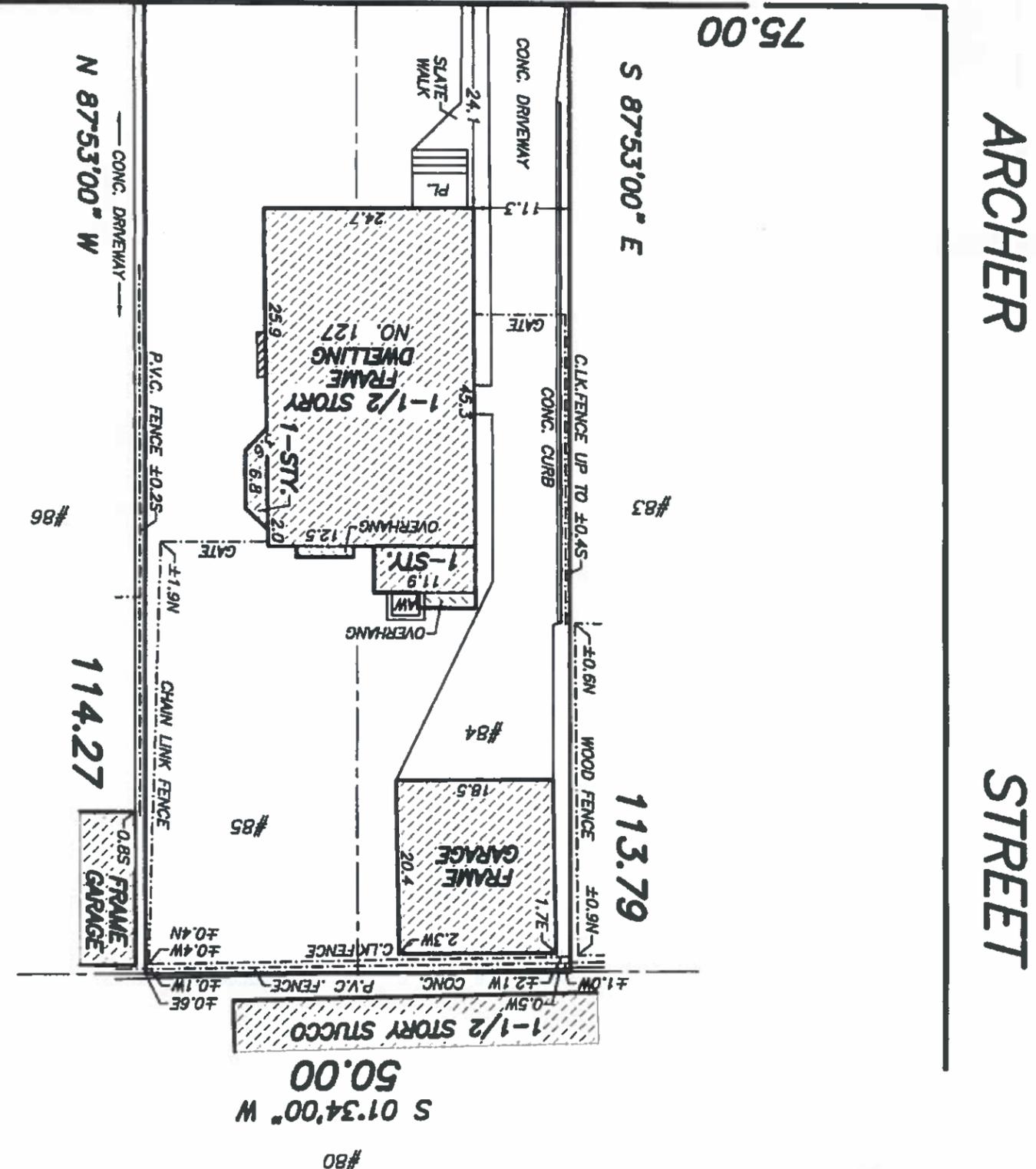
#84



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 OFFICE OF THE CLERK  
 VILLAGE OF TREENORTH, NY

MAP OF PROPERTY SITUATED IN  
**FREEPORT**  
NASSAU COUNTY, N.Y.

TAX SECT.: 62 TAX BLOCK: 49 TAX LOT(S): 84 & 85



N 02°07'00" E 50.00

**BEDELL STREET**



SURVEYED: MAY 28, 2024

LOTS 84 AND 85 ON  
"MAP OF SOUTH SHORE PARK"  
FILED ON JUNE 13, 1911 AS MAP #238 CASE #1834  
SCALE: 1"=20'

UNAUTHORIZED ALTERATIONS AND/OR ADDITIONS TO THIS SURVEY BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, THE TITLE COMPANY, THE GOVERNMENTAL AGENCY AND THE LENDING INSTITUTION LISTED ON THIS SURVEY MAP. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS AND/OR SUBSEQUENT OWNERS. FENCE OFFSETS TAKEN AT CENTERLINE OF POST. ENCROACHMENTS OR WALLS BELOW SURFACE ARE NOT SHOWN. RIGHT OF WAYS AND/OR EASEMENTS OF RECORD NOT SHOWN ON THIS SURVEY ARE NOT CERTIFIED. OFFSETS AND DIMENSIONS HEREON ARE FOR A SPECIFIC PURPOSE AND ARE NOT TO BE USED IN THE ERECTION OF ADDITIONAL STRUCTURES, FENCES OR OTHER IMPROVEMENTS.

AS-BUILT SURVEY

**Empire State Land Surveyor, P.C.**

Records of Albert A. Bianco - Barry M. Fahrer - Robert B. Holzman  
Stephen J. Reid - M. Berry Carman - G. W. Haviland - Vandewater & Lapp  
Robert E. Carlin - William J. Daly - Fransen & Mantant - Carter B. Harris  
Francis J. Hickey - William K. Morse - Ludwig Riemenschneider  
1005 Glen Cove Avenue, Glen Head, NY, 11545  
empirestate@empirestate.com | (516)-240-6901

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VILLAGE OF FREEPORT, N.Y.





**VLADIMIR CONSTANT P.E.**  
 7 Melnick Court  
 Westbury, New York 11590  
 Phone: (516) 779-2343  
 E-MAIL: v.constant@yaho.com



**MAR**  
 CONSULTANT  
**DRAFTING CORPORATION**  
 RESIDENTIAL & COMMERCIAL DESIGN  
 33 LAMONT PLACE  
 WEST BABYLON, NY 11794  
 MOBILE (833) 704-6828

**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		
3		
4		

NO.	DATE

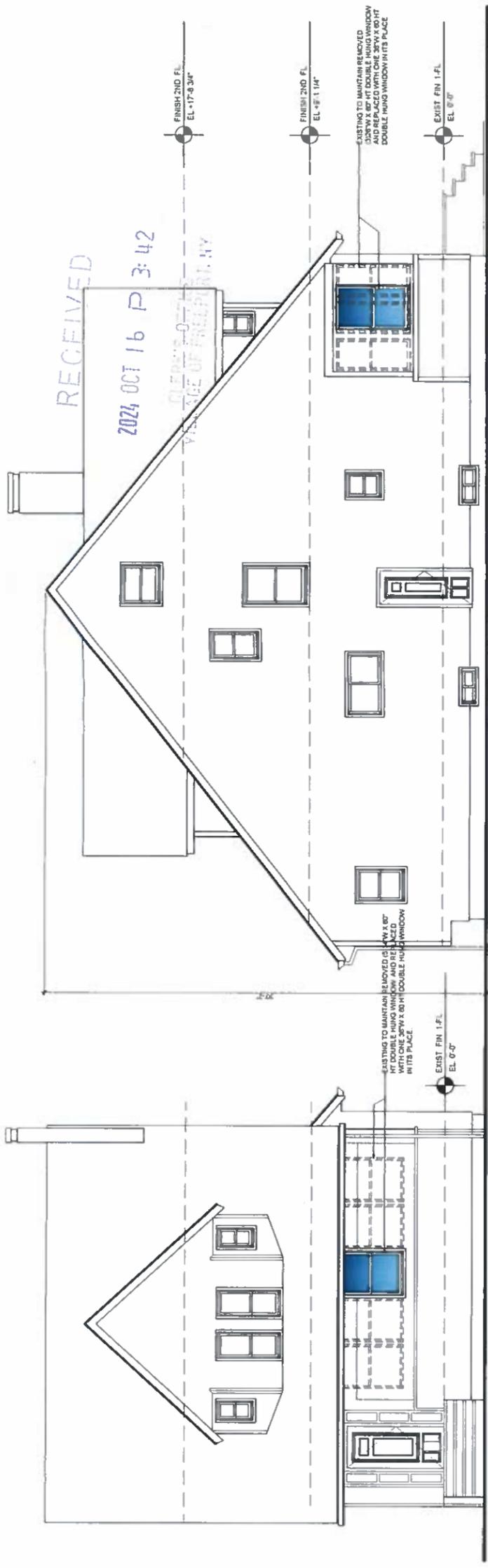
APPLICATION NO.

**APPLICANT/OWNER**  
 JOSE ABREU  
 ADDRESS  
 127 Beckett Street, Freeport, New York 11520  
 PHONE: (516) 636-9331  
 E-mail: jose@joseabreu.com  
 127 BECKETT STREET, FREEPORT, NY 11520  
 LUIS RIVERA/OWNER  
 PHONE: (516) 632-2397

**PROJECT TITLE**  
 LEGALIZE EXISTING  
 CONDITION TO EXISTING  
 2-1/2 STORY 1-FAMILY  
 RESIDENCE  
 BEDELL STREET  
 FREEPORT, N.Y. 11520  
 SEC 02 BLK 40 LOT 04 S 05

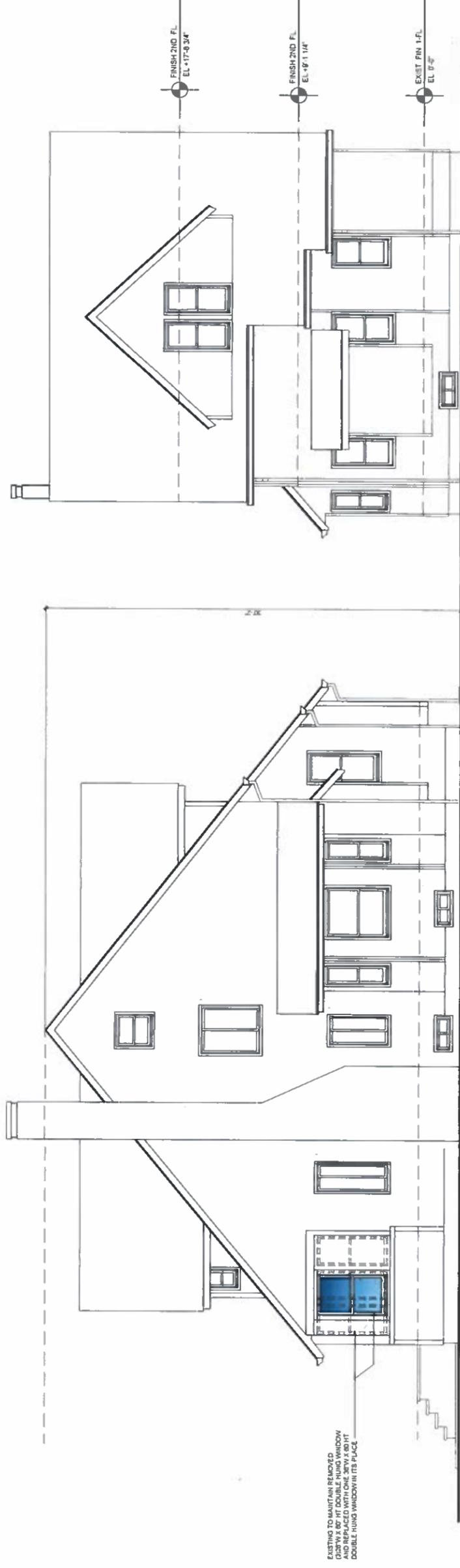
**DRAWING TITLE**  
 EXISTING EXTERIOR  
 ELEVATIONS

DRAWN BY WIGDEL RAMIREZ	DRAWING NO <b>A-2</b>
CHECKED BY VC	PROJECT NO 202401
DATE JAN 2024	3
SCALE AS SHOWN	



**A** EXISTING FRONT ELEVATION  
 SCALE 1/8"=1'-0"

**B** EXISTING LEFT SIDE ELEVATION  
 SCALE 1/8"=1'-0"



**C** EXISTING RIGHT SIDE ELEVATION  
 SCALE 1/8"=1'-0"

**D** EXISTING REAR ELEVATION  
 SCALE 1/8"=1'-0"





CONSULTANT  
**MAR**  
 DRAFTING CORPORATION  
 RESIDENTIAL & COMMERCIAL DESIGN  
 33 LAMONT PLACE  
 WEST BABYLON, NY 11704  
 OFF: (631)920-2445  
 MOBILE: (631)704-6601

**REVISIONS**

NO.	DATE	DESCRIPTION
1	0/09/2024	REVISED AS PER VILLAGE OF FREEPORT COMMENTS
2	NOV/2024	REVISED AS PER VILLAGE OF FREEPORT COMMENTS
3		
4		

NO.	DATE

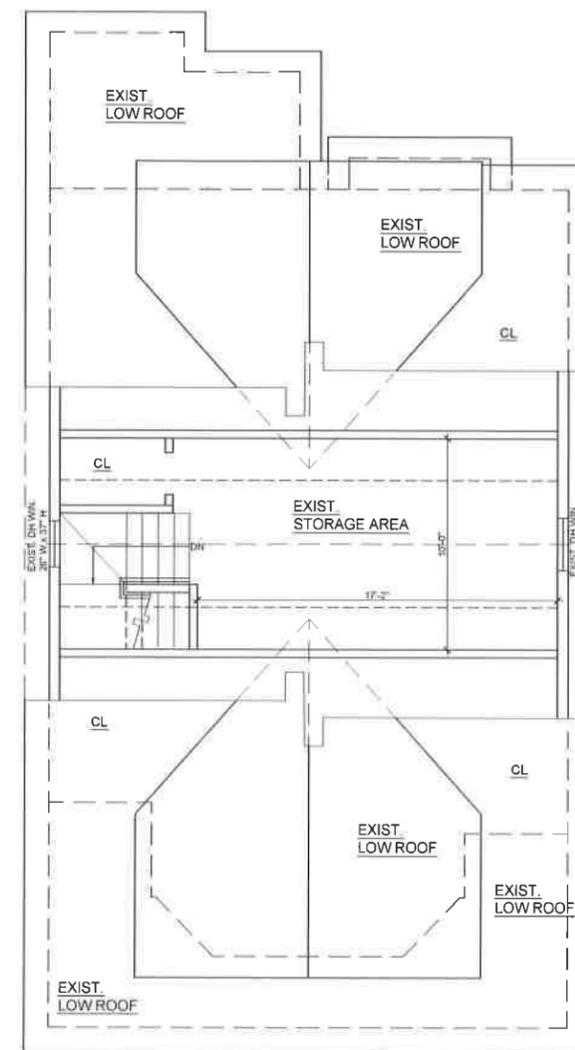
APPLICATION NO.

APPLICANT/OWNER  
 JOSE ABREU  
 ADDRESS:  
 127 Betell Street, Freeport, New York 11520  
 PHONE: (516)636-9531  
 E-mail: jtabreu@gmail.com  
 EMERGENCY CONTACT  
 LUIS RODRIGUEZ  
 PHONE: (516)852-4297

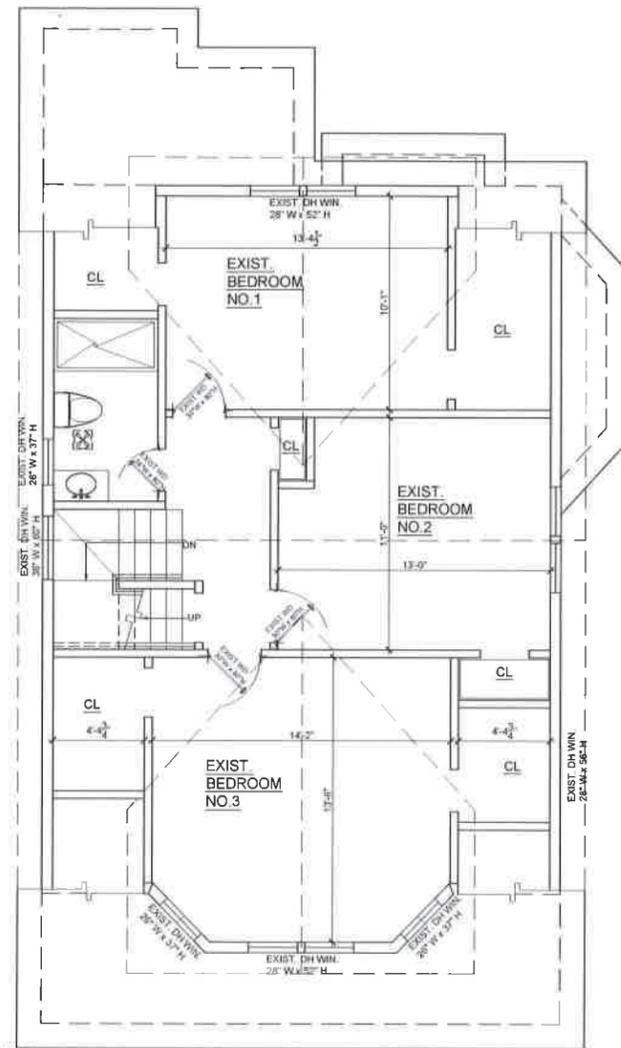
PROJECT TITLE  
**LEGALIZE EXISTING CONDITION TO EXISTING 2-1/2 STORY 1-FAMILY RESIDENCE**  
 BEDELL STREET  
 FREEPORT, N.Y. 11520  
 SEC: 62 BLK 49 LOT 84 & 85

DRAWING TITLE  
**EXISTING FIRST, SECOND AND ATTIC FLOOR PLANS**

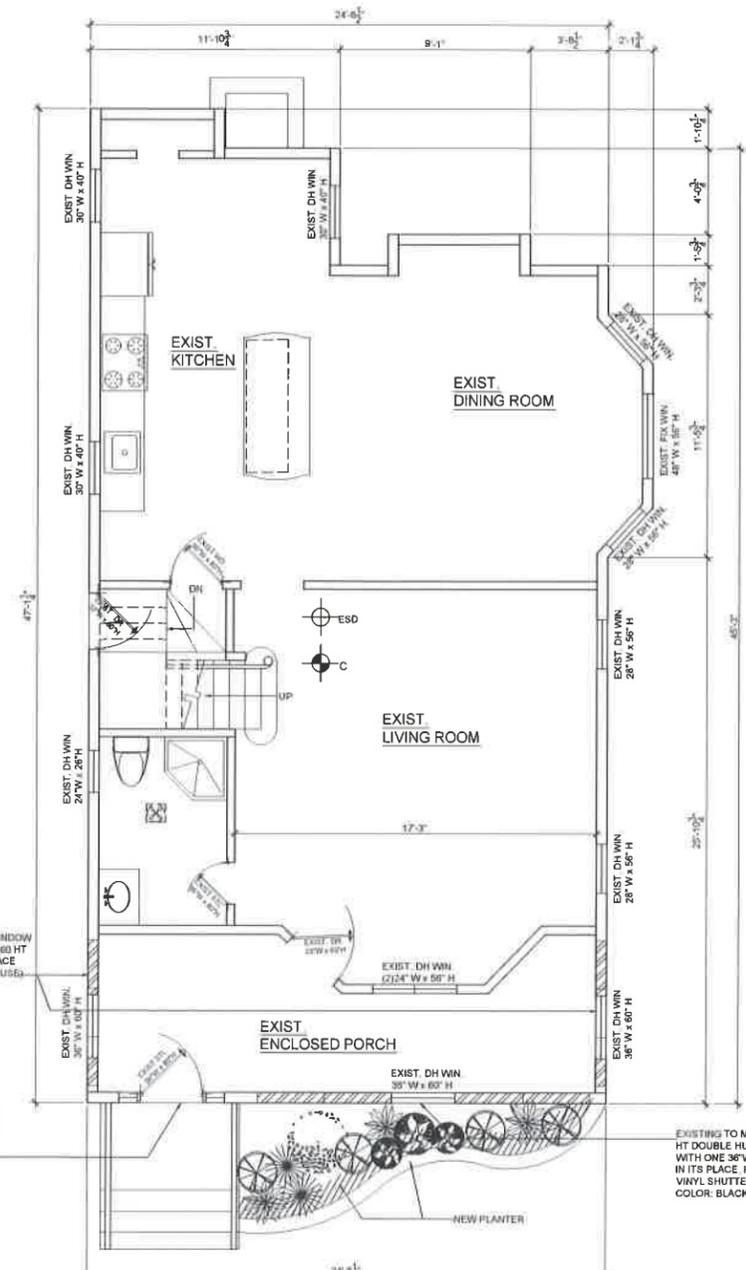
DRAWN BY: MIGUEL RAMIREZ	DRAWING NO. <b>A-1</b>
CHECKED BY: VC	PROJECT NO. 2
DATE: AUG 2024	SCALE: 202401
SCALE: AS SHOWN	3



**B**  
 A-2  
 EXISTING ATTIC FLOOR  
 SCALE: 1/4"=1' (AREA: 265 S.F.)



**A**  
 A-2  
 EXISTING SECOND FLOOR  
 SCALE: 1/4"=1' (AREA: 861 S.F.)



**B**  
 A-1  
 EXISTING FIRST FLOOR  
 SCALE: 1/4"=1' (AREA=1,092 S.F.)

**WALL TYPE LEGEND**

	EXISTING TO REMAIN EXT. 8" LOAD BEARING CONCR. BLOCK FOUNDATION WALL WITH EXISTING INTERIOR FURRED OUT
	EXISTING WALL AND/OR EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING INTERIOR & EXTERIOR WALL FRAME TO REMAIN
	NEW EXTERIOR WALL CONSTRUCTION OF VINYL SIDING OVER 1" RIGID INSUL. (R-5) OVER 1/2" CDX PLWD. SHEATHING OVER 2"x4" STUDS @ 16" O.C. PROVIDE 3 1/2" FOL-FACED BATT INSUL. (R-25) BETWEEN STUDS. FINISH INTERIOR W/1/2" GYP. BD. (TYP.)
	NEW INTERIOR WALL PARTITION CONSISTING OF (1) LAYERS OF 1/2" GYP. BD. EACH SIDE OF 3 1/2" WD. STUDS @ 16" O.C. FROM FLOOR TO THE UNDERSIDE OF STRUCTURE ABOVE
	1-HR FIRE RATED INTERIOR WALL PARTITION CONSISTING OF (1) LAYER OF 5/8" TYPE 'X' GYP. BD. EACH SIDE OF 3 1/2" WD. STUDS @ 16" O.C. FROM FLOOR TO THE UNDERSIDE OF STRUCTURE ABOVE (TYP. AT BOILER ROOM AREA)

**SIMBOL LIST**

	ELECTRIC INTERCOM SMOKE DETECTOR (TYP.)
	ELECTR. CARBON MONOXIDE DETEC. (TYP.)
	WINDOW NUMBER DESIGNATION (SEE WINDOW SCHEDULE ON PLAN A-7, PAG 11)
	DOOR LETTER DESIGNATION (SEE DOOR SCHEDULE ON PLAN A-7, PAG 11)
	EXHAUST FAN FOR MECHANICAL VENTILATION TO EXTERIOR W/IN 80 CFM CAPACITY
	CATHEDRAL CEILING AREA

**GENERAL NOTES:**

- SEE DRAWING C-1 FOR NEW DOOR AND WINDOW SCHEDULES
- SEE DRAWING C-1 THRU C-3 FOR THE RESIDENTIAL CODE OF NEW YORK STATE GENERAL CONSTRUCTION DETAILS FASTENING/ANGLING & STRAPPING SCHEDULES
- NEW SMOKE ALARM DETECTOR TO BE INSTALLED AT EACH SLEEPING ROOM HALLWAY & BASEMENT. ALL SMOKE DETECTORS TO BE INTERCONNECTED IN ACCORDANCE WITH SECTION R317.1 AND POWER SOURCE FOR SMOKE DETECTORS IS TO COMPLY WITH SECTION R317.2 OF THE NYC RESIDENTIAL CODE. (TYP.)
- NEW CARBON MONOXIDE DETECTOR IS TO BE INSTALLED LISTED AND LABELED AS COMPLYING WITH 2014-2015 STANDARD AND TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS
- FOR BASEMENT & CELLAR WALLS FOUND WALLS, EXT. WALLS AND OTHER VERTICAL CONCR. WORK EXPOSED TO THE WEATHER USE 3000 PSI AIR ENTRAINED CONCRETE
- PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER AND GARAGE FLOOR SLABS USE 3500 PSI AIR ENTRAINED CONCRETE
- O.C. TO REMOVE EXIST. FIRST FLOOR MAIN ROOF STRUCTURE UP TO EXISTING TOP OF PLATE IN ORDER TO INSTALL NEW ROOF AND CEILING STRUCTURE AS PROPOSED 1-STY. ADDITION
- PROVIDE FIRE STOPPING AND SOLID BLOCKING AS PER CODE
- ALL FLOOR LEVELS

**HEADER SCHEDULE:**

ALL HEADERS OVER WINDOWS AND OPENINGS TO BE AS FOLLOWS

- (1) 2x8" FOR OPENINGS LESS THAN 3' WIDE
- (2) 2x10" FOR OPENINGS BETWEEN 3' AND 8' WIDE
- (3) 2x12" FOR OPENINGS BETWEEN 8' AND 12' WIDE FOR LARGER OPENINGS, SEE FLOOR PLANS

APPROVED FOR THE VILLAGE OF FREEPORT, NY  
 2024 NOV 20 P 12  
 REC'D

VLADIMIR CONSTANT P.E.  
 7 Melrick Court  
 Westbury, New York 11590  
 Phone: (516) 779-2343  
 E-MAIL: v.constant@yahoo.com



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 2024 NOV 20 P 12:12  
 DEPT OF PLANNING  
 VILLAGE OF FREEPORT, NY

CONSULTANT



**MAR**  
**DRAFTING CORPORATION**  
 RESIDENTIAL & COMMERCIAL  
 DESIGN  
 33 LAMONT PLACE  
 WEST BAYLON, NY 11704  
 OFF. (631)920-2445  
 MOBILE:(631)704-6601

REVISIONS

NO.	DATE	DESCRIPTION
1	0/09/2024	REVISED AS PER VILLAGE OF FREEPORT COMMENTS
2	NOV/2024	REVISED AS PER VILLAGE OF FREEPORT COMMENTS
3		
4		

NO.	DATE

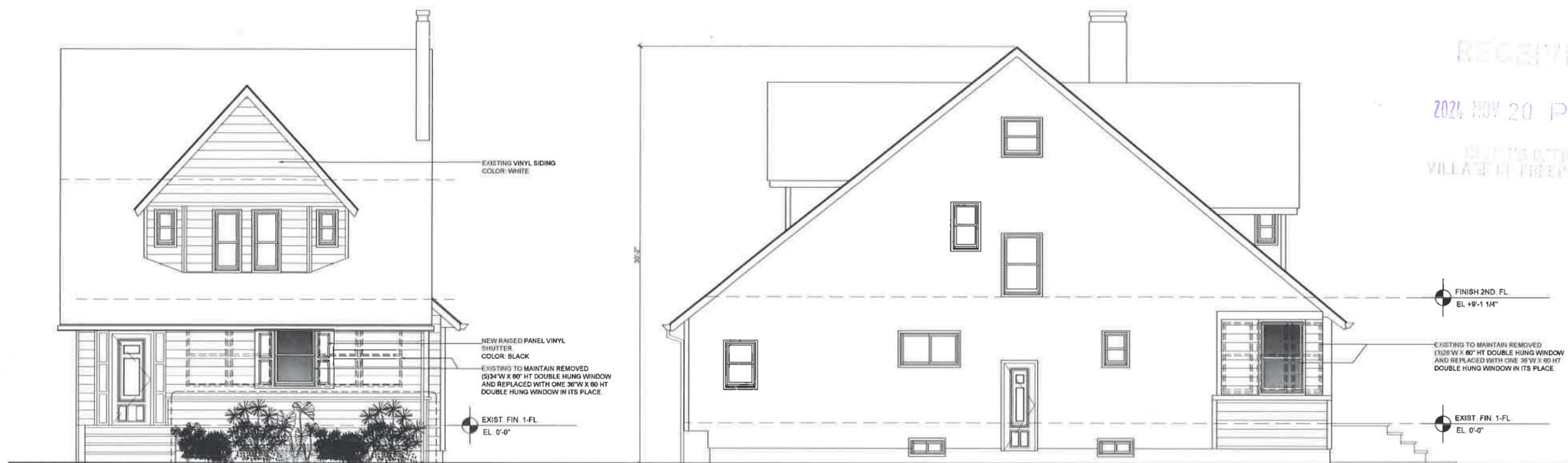
APPLICATION NO.

APPLICANT/OWNER  
 JOSE ABREU  
 ADDRESS:  
 127 Bedell Street, Freeport, New York 11520  
 PHONE: (516)636-9531  
 E-mail: luispre@gmail.com  
 EMERGENCY CONTACT  
 LUIS RODRIGUEZ  
 PHONE: (516)852-4297

PROJECT TITLE  
 LEGALIZE EXISTING  
 CONDITION TO EXISTING  
 2-1/2 STORY 1-FAMILY  
 RESIDENCE  
 BEDELL STREET  
 FREEPORT, N.Y. 11520  
 SEC: 62 BLK. 49 LOT. 84 & 85

DRAWING TITLE  
 EXISTING EXTERIOR  
 ELEVATIONS

DRAWN BY: MIGUEL RAMIREZ	DRAWING NO. <b>A-2</b>
CHECKED BY: VC	PROJECT NO. 3
DATE: JAN 2024	SCALE: 202401
SCALE: AS SHOWN	3



**A**  
**A-2**  
 SCALE: 1/4"=1'  
 EXISTING FRONT ELEVATION

**B**  
**A-2**  
 SCALE: 1/4"=1'  
 EXISTING LEFT SIDE ELEVATION



**C**  
**A-2**  
 SCALE: 1/4"=1'  
 EXISTING RIGHT SIDE ELEVATION

**D**  
**A-2**  
 SCALE: 1/4"=1'  
 EXISTING REAR ELEVATION

Application Date: \_\_\_\_\_  
Fees Paid: \_\_\_\_\_

SP# 3793

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 292 North MAIN ST. ZONING DISTRICT Business B  
SECTION 55 BLOCK 370 LOT 250 LOT SIZE: \_\_\_\_\_

<input type="checkbox"/> TENANT <u>APPLICANT</u>	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Jose Reyes &amp; Mario Hernandez</u>		Name: <u>Steven Celella</u>
Address: <u>292 N. MAIN ST. FREEPORT NY 11520</u>		Address: <u>292 N. MAIN ST. FREEPORT NY 11520</u>
Telephone #: <u>(516) 499-2741</u>		Telephone #: _____

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: BUSINESS Proposed Land Use: BUSINESS

Description of Proposed Work: replacement of existing 24" W x 84" height front glass panel to be replaced by a new 48" height x 24" width double hung outdoor pick up window and 37" height x 24" width bottom fixed glass panel.  
I request a preliminary meeting:  YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  
\_\_\_\_\_ YES  NO

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OCT 16 P 3:43  
VILLAGE OF FREEPORT  
CLERK'S OFFICE

José René Reyes  
APPLICANT'S SIGNATURE  
Sworn to before me this 25<sup>th</sup>  
day of September, 2024  
Joshua E Horowitz  
Notary Public

09/25/24  
DATE  
JOSHUA E HOROWITZ  
Notary Public - State of New York  
NO. 01HO6186205  
Qualified in Nassau County  
My Commission Expires Apr 28, 2028

Property Owner's Consent:  
I, Stephen Celella am (are) the owner(s) of the subject property and consent to the filing of this application.

Stephen Celella  
PROPERTY OWNER'S SIGNATURE  
Sworn to before me this 25<sup>th</sup>  
day of September, 2024  
Joshua E Horowitz  
Notary Public

09/25/2024  
DATE  
JOSHUA E HOROWITZ  
Notary Public - State of New York  
NO. 01HO6186205  
Qualified in Nassau County  
My Commission Expires Apr 28, 2028

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required:  YES  NO  
Date of Hearing: \_\_\_\_\_  
Date of Decision: \_\_\_\_\_  
 Approved  Denied  
Date: \_\_\_\_\_  
Village Clerk's Signature: \_\_\_\_\_

Application Date: \_\_\_\_\_  
Fees Paid: \_\_\_\_\_

SP# 3793

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

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SECTION 55 BLOCK 370 LOT 250 LOT SIZE: \_\_\_\_\_

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Name: <u>Jose Reyes &amp; Mario Hernandez</u>			Name: <u>Steven Celella</u>	
Address: <u>292 N. MAIN ST. Freeport NY 11520</u>			Address: <u>292 N. MAIN ST. Freeport NY 11520</u>	
Telephone #: <u>(516) 499-2741</u>			Telephone #: _____	

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

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C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  
\_\_\_\_\_ YES  NO

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OCT 16 P 3:43  
VILLAGE CLERK'S OFFICE

Jose René Reyes  
APPLICANT'S SIGNATURE

09/25/24  
DATE

Sworn to before me this 25<sup>th</sup>  
day of September, 2024

JOSHUA E HOROWITZ  
Notary Public - State of New York  
NO. 01HO6186205  
Qualified in Nassau County  
My Commission Expires Apr 28, 2028

Joshua E Horowitz  
Notary Public

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I, Stephen Celella am (are) the owner(s) of the subject property and consent to the filing of this application.

Stephen Celella  
PROPERTY OWNER'S SIGNATURE

09/25/2024  
DATE

Sworn to before me this 25<sup>th</sup>  
day of September, 2024

JOSHUA E HOROWITZ  
Notary Public - State of New York  
NO. 01HO6186205  
Qualified in Nassau County  
My Commission Expires Apr 28, 2028

Joshua E Horowitz  
Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
Planning Board Signature: _____	Date: _____

**INC. VILLAGE OF FREEPORT**  
**Department of Buildings**  
46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS

MAYOR

SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**  
August 22, 2024

Jose Reyes & Mario Hernandez  
292 N Main St  
Freeport, NY 11520

**RE: 292 N Main St, Freeport, NY**  
**Zoning District – Business B Sec. 55 Blk. 370 , Lot 250**  
**Building Permit Application #20243905**  
**Description – Replacement of front door.**

Dear Ms.

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-3632.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
Daniela Hernandez  
cc: Village Clerk

ZBA Approval Needed: NO

RECEIVED  
AUG 23 10 34 AM  
VILLAGE CLERK'S OFFICE

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

**X Negative Declaration**  
**Declaration**

**Positive**

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

**X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.**

**The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)**

**Project :**

**Building Permit App. 20243905**

**Location: 292 N Main St**

**Applicant: Jose Reyes & Mario Hernandez**

**Description: Replacement of front door.**

**Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY**

**Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242**

**REASON(S) FOR DETERMINATION**

**This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:**

**A)**

**B) Possible environment effects identified:  
(only if positive determination)**

**Dated: August 22, 2024**

**Sergio A. Mauras**

**Sergio A. Mauras  
Superintendent of Buildings**

**IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.**

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VILLAGE OF FREEPORT  
DEPARTMENT OF BUILDINGS

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

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       The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20243905

Location: 292 N Main St

Applicant: Jose Reyes & Mario Hernandez

Description: Replacement of front door.

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: August 22, 2024

*Sergio A. Mauras*

Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

RECEIVED  
2024 OCT 16 2 34 PM  
VILLAGE OF FREEPORT DEPARTMENT OF BUILDINGS

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: <i>LA CASTELLANA</i>			
Project Location (describe, and attach a location map): <i>284-292 North MAIN St. Freeport</i>			
Brief Description of Proposed Action: <i>INTERIOR ALTERATIONS</i>			
Name of Applicant or Sponsor: <i>JOSE LUYES / MARIO HERNANDEZ</i>		Telephone:	
		E-Mail:	
Address: <i>330 RUTLAND Rd.</i>			
City/PO: <i>Freeport</i>		State: <i>NY</i>	Zip Code: <i>11560</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: <i>Building Department</i>			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ acres		RECEIVED 2024 OCT 16 P 3:43 VILLAGE OF FREEPORT (CLERK'S OFFICE)	
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?  b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
		✓	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
		✓	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	✓		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?  b. Are public transportation service(s) available at or near the site of the proposed action?  c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	✓		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
		✓	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
		✓	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
		✓	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?  b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	✓		
	✓		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	✓		
	✓		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	✓		
16. Is the project site located in the 100 year flood plain?	NO	YES	
	✓		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES  b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	✓		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> Applicant/sponsor name: <u>Jose Reyes</u> Date: <u>8/21/2024</u> Signature: <u>[Signature]</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.**

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 CLERMONT'S OFFICE  
 VILLAGE OF FALL POND, NY

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



292 N. Main St. Freeport NY 11520 FRONT



292 N. Main St. Freeport NY 11520 LEFT



292 N. Main St. Freeport NY 11520 RIGHT

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2021, OCT 16 P 3:44  
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294 N. Mains St. Freeport NY 11520



271 N. Main St. Freeport NY 11520

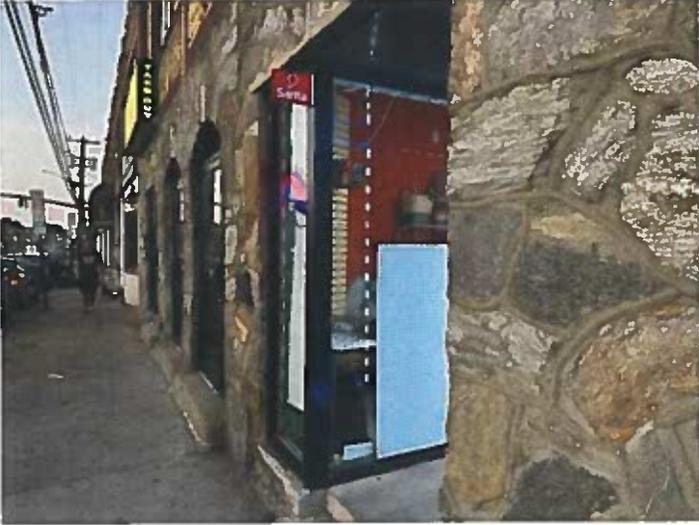


311 North Main St. Freeport NY 11520



300 North Main St. Freeport NY 11520

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VILLAGE OF FREEPORT, NY



284 N. Main St. Freeport NY 11520



282 N. Main St. Freeport NY 11520

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2024 OCT 16 P 3:44  
VILLAGE OF FREEPORT  
VILLAGE OF FREEPORT NY

**VLADIMIR CONSTANT**  
Professional Engineer  
7 Melnick Court, Westbury  
New York, NY 11590  
Phone: (516) 779-2343  
E-mail: vladimirconstant@yahoo.com



**CONSULTANT**  
**MAR**  
**DRAFTING CORPORATION**  
RESIDENTIAL & COMMERCIAL DESIGN  
33 LAMONT PLACE  
WEST BAVLON, NY 11724  
MOBILE: (813) 704-0401

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REVISIONS	
NO	DATE DESCRIPTION
1	
2	
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ISSUED TO	NO.	DATE

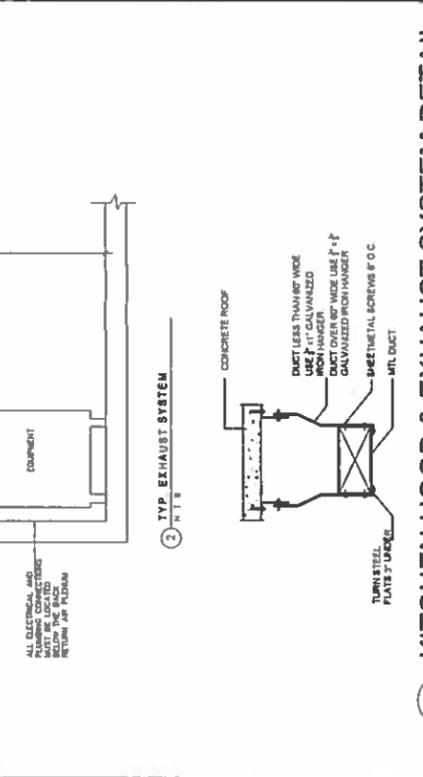
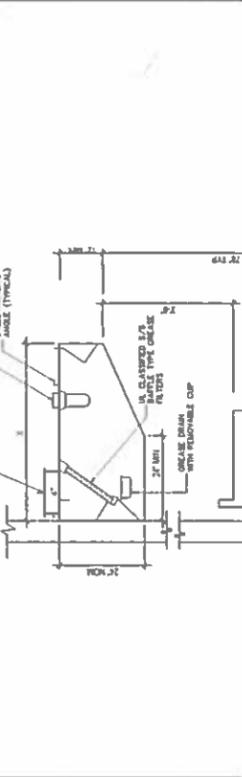
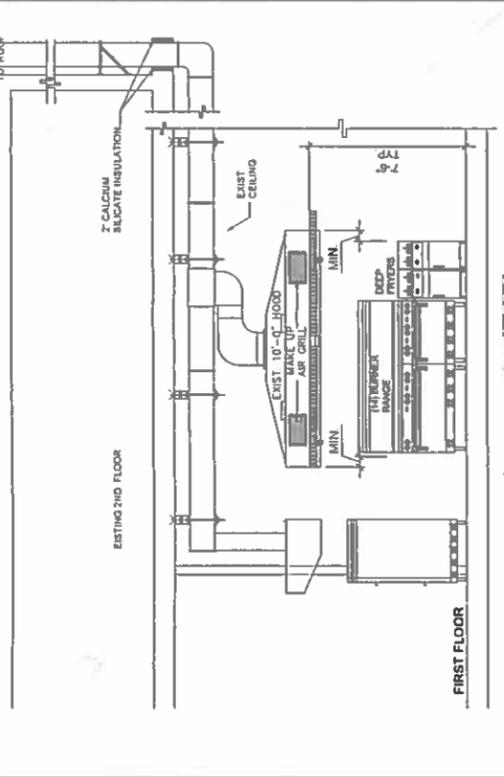
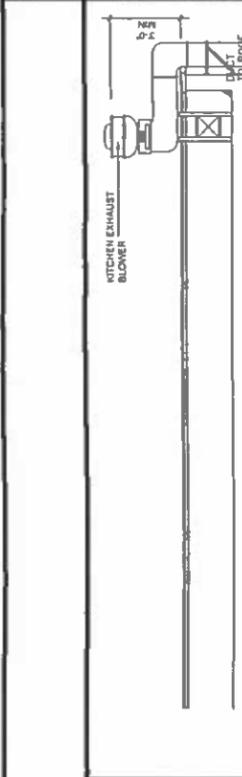
**APPLICANT/BUSINESS OWNER**  
**MARIO HERNANDEZ**  
ADDRESS: 202 MAIN STREET  
FREEPORT, NEW YORK 11520  
PHONE: (516) 881-1511  
CONTACT NAME: MIGUEL RAMIREZ  
CELL: (631) 704-6601

**PROJECT TITLE**  
**PROPOSED CHANGE OF USE FROM CARIBBEAN REST. TO TAKE OUT ITALIAN KITCHEN REST.**

202 MAIN STREET  
FREEPORT, N.Y. 11520  
SBL 35 370 250

**DRAWING TITLE**  
**TITLE INFORMATION, LOCATION MAP AND GENERAL BUILDING NOTES**

DWG BY: MIGUEL RAMIREZ	DRAWING NO. T-1
CHECKED BY: VLADIMIR CONSTANT	PROJECT NO. 202402
DATE: AUGUST 2024	SCALE: AS SHOWN
	1
	3

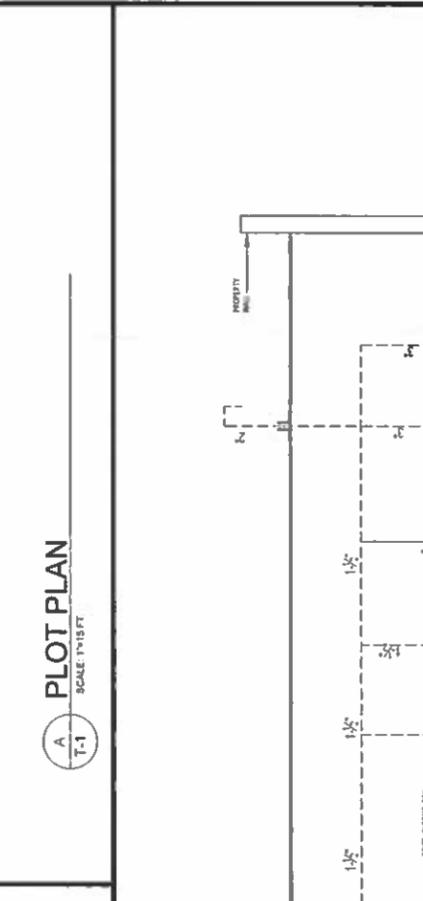
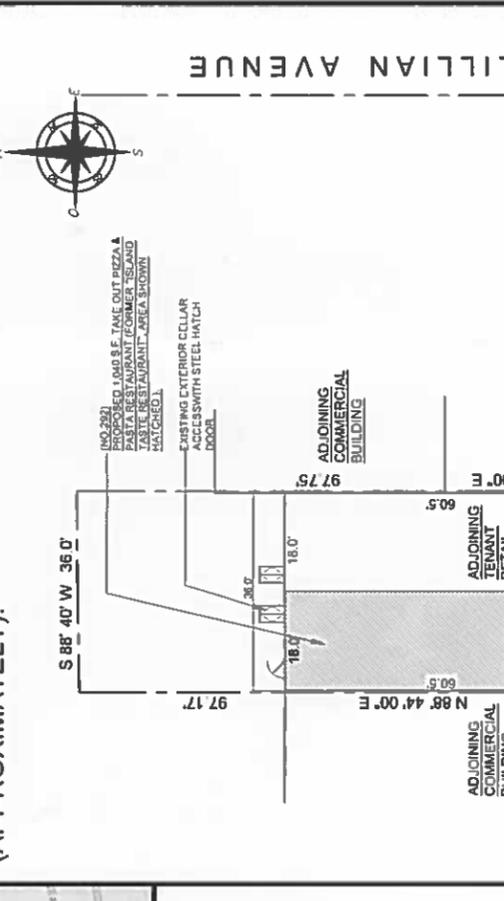


**SCOPE OF WORK:**

1. CONVERT EXISTING 1,040 SQ. FT. CARIBBEAN RESTAURANT INTO A PIZZERIA AND PASTA TAKE OUT RESTAURANT USE
2. INSTALL NEW 6 FT S/S KITCHEN HOOD FOR NEW DOUBLE DECK NATURAL GAS FIRED PIZZA OVEN
3. INSTALL NEW COUNTER WITH PIZZA DISPLAY.

**DRAWING LIST**

1. T-1 Title/Information Sheet, General Notes, Plot Plan, Location Map  
General construction notes, kitchen hood detail and deli Plumbing Riser Diagram.
2. A-1 Existing Cellar & First Floor plan, Store front elevation and kitchen equipment schedule

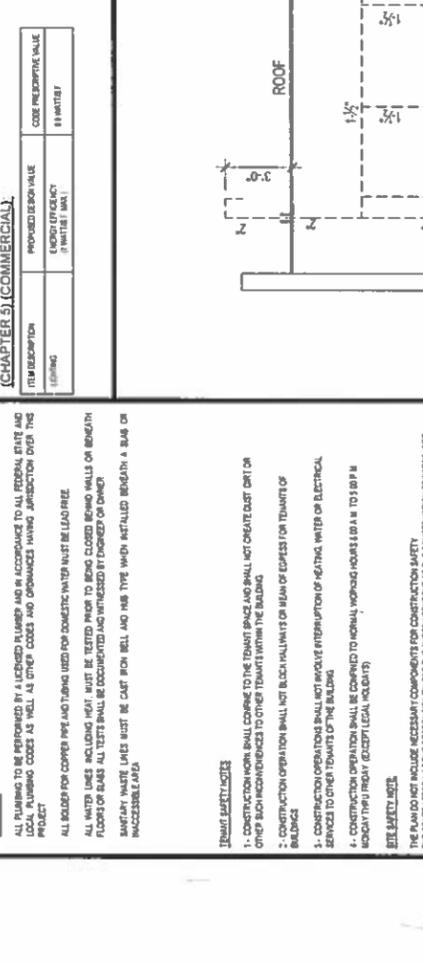
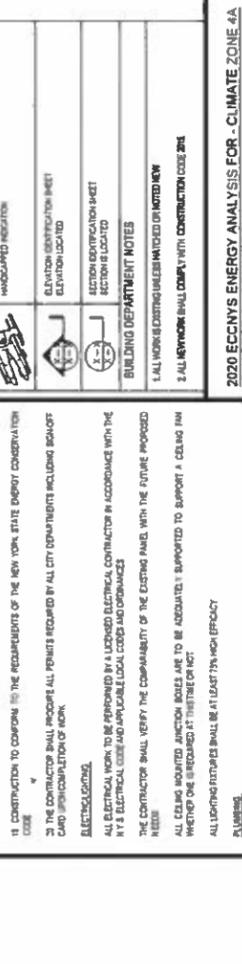
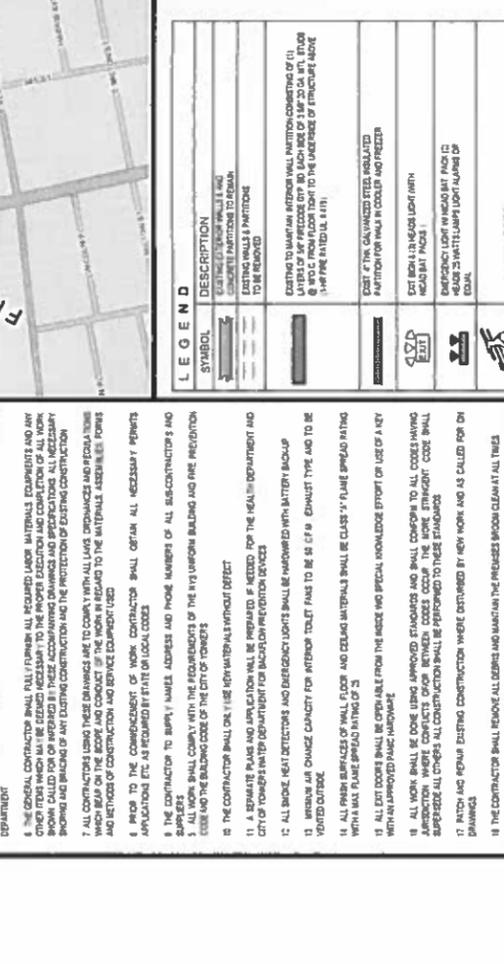
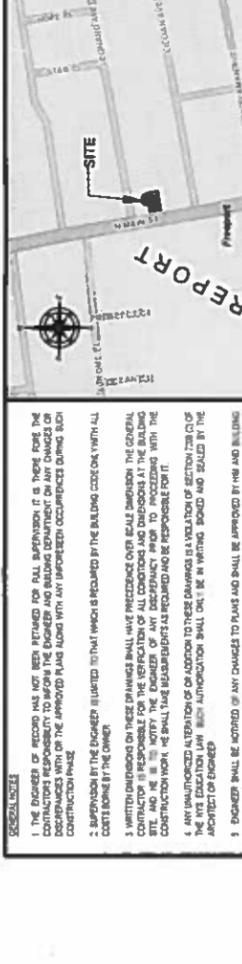


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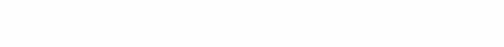


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**VLADIMIR CONSTANT**  
Professional Engineer  
7 Melnick Court, Westbury  
New York, NY 11590  
Phone: (516)779-2343  
E-mail: vladimirconstant@yahoo.com



**CONSULTANT**  
**MAR**  
**DRAFTING CORPORATION**  
RESIDENTIAL DESIGN COMMERCIAL  
31 LAMONT PLACE  
WEST BABYLON, NY 11704  
OFF: (516)202-2445  
MOBILE: (516)202-6861

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND THE PROPERTY OF FRANCISCO PEREZ PROFESSIONAL ENGINEER. IMPROVEMENTS WILL BE PROSECUTED.

**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

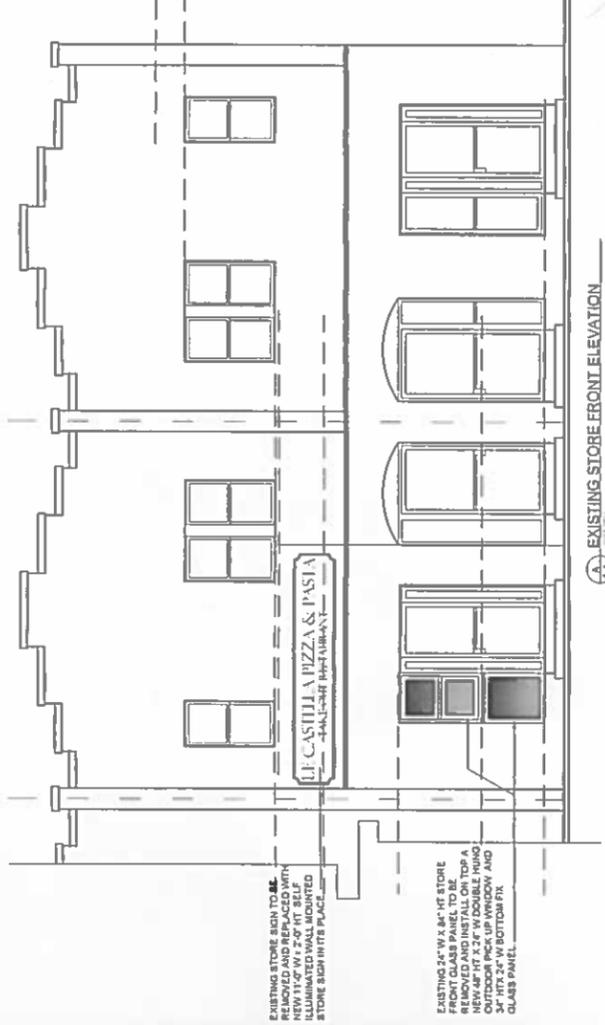
ISSUED TO	NO.	DATE
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PEREZ	2	10/11/2004
PEREZ	3	10/11/2004
PEREZ	4	10/11/2004
PEREZ	5	10/11/2004

**APPLICANT/BUSINESS OWNER**  
**MARIO HERNANDEZ**  
ADDRESS:  
282 MAIN STREET  
FREEPORT, NEW YORK 11520  
PHONE: (516)981-1531  
CONTACT NAME:  
MIGUEL RAMIREZ  
CELL: (516)704-6601

**PROJECT TITLE**  
**PROPOSED CHANGE OF USE FROM CAREBBEAN REST. TO TAKE OUT ITALIAN KITCHEN REST.**

**DRAWING TITLE**  
**TITLE INFORMATION, LOCATION MAP AND GENERAL BUILDING NOTES**

DWG BY: MIGUEL RAMIREZ	DRAWING NO <b>T-1</b>
CHECKED BY: VLADIMIR CONSTANT	PROJECT NO 201402
DATE: AUGUST 2004	SCALE AS SHOWN
	2



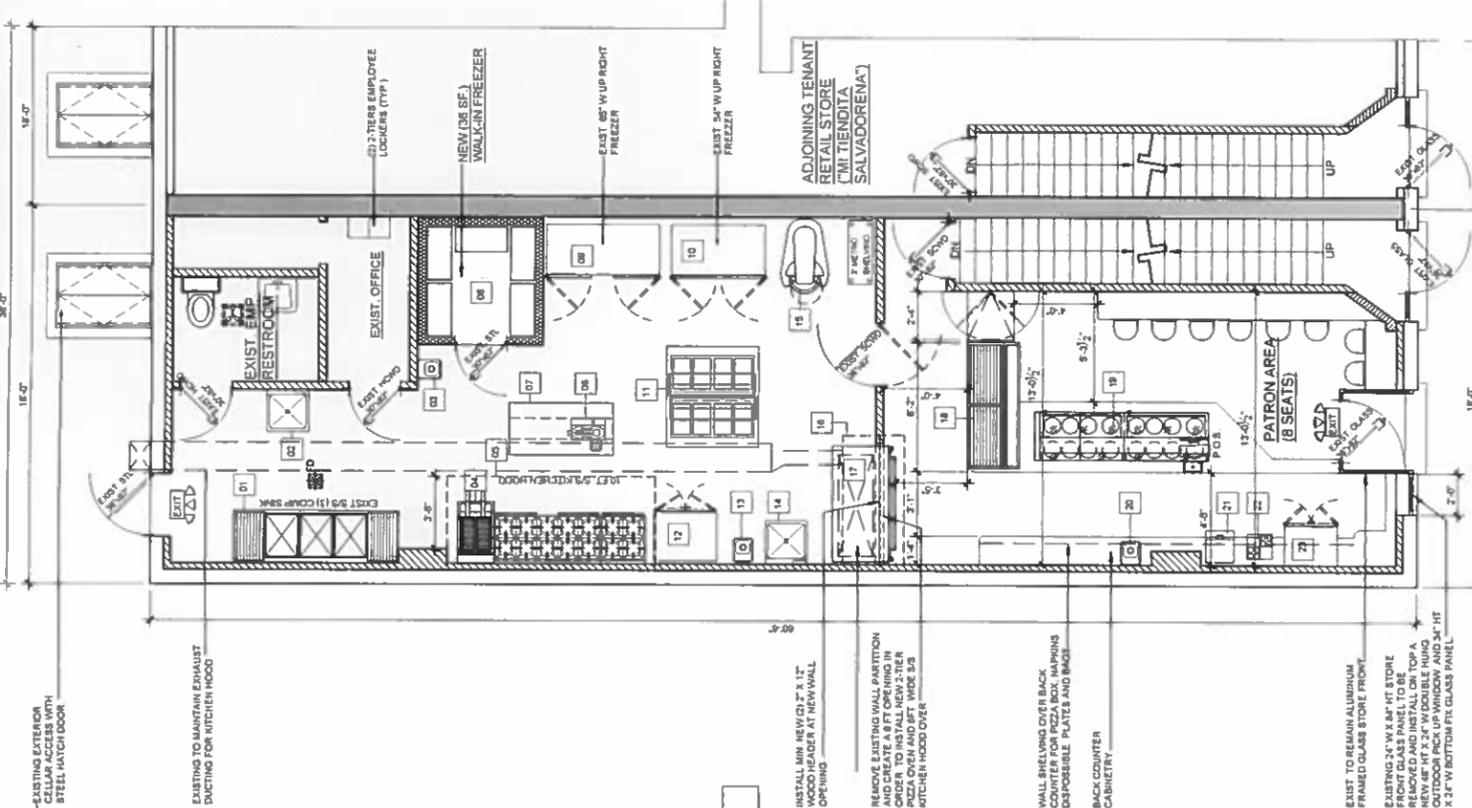
EXISTING STORE FRONT ELEVATION

EXISTING STORE SIGN TO BE REMOVED AND REPLACED WITH NEW 11'-0" W x 7'-0" H SELF ILLUMINATED WALL MOUNTED STORE SIGN IN ITS PLACE.

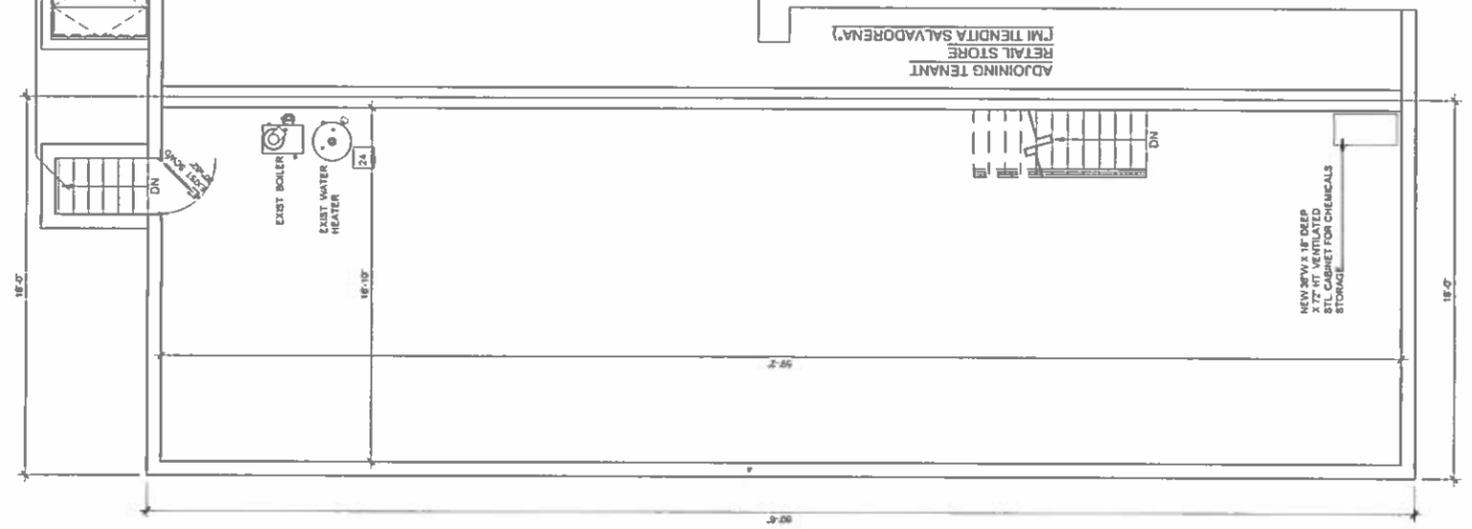
EXISTING 34" W x 84" H STORE FRONT GLASS PANEL TO BE REMOVED AND REPLACED WITH NEW 48" H x 3'-0" W WOODEN HUNG OUTDOOR PICK UP WINDOW AND 34" H x 2'-0" W BOTTOM FIX GLASS PANEL.

**SCHEDULE OF FOOD SERVICE EQUIPMENT**

NO	ITEM	MANUFACTURER
1	EXISTING 8.5 COMPARTMENT BIN W DOUBLE DRAIN BOARDS	COSTUM (EXISTING TO MAINTAIN)
2	MOP BINK WITH MOP HOOK ABOVE	BY JUSTICE, MODEL 63M
3	8.5 HAND BINK	MODEL NSF
4	7 DEEP Fryer (NATURAL GAS)	PITCO, MODEL 35C-8000 BTU/Hr
5	EXISTING 19 FT LONG 8.5 KITCHEN HOOD	CUSTOM BY MANUFACTURER
6	EXISTING 8 FT x 8 FT WALK IN FREEZER	CUSTOM BY MANUFACTURER-208-240 V801
7	NEW 5'-0" x 8' WORK TABLE	NSF CUSTOM
8	SLICER MACHINE (OVER BACK COUNTER)	MODEL 26-12 BY HOBART 110/871 1AMP
9	65/12 200PT SELF CONTAINED WALK IN FREEZER (DECATED)	MODEL FORGED BY TRUE
10	65/12 200PT SELF CONTAINED UPRIGHT REF	MODEL 24000 BTU BY TRUE (DECATED) 1150001 PHASE/3 AMP/5 DECATED
11	21 4" SELF CONTAINED REFRIGERATED SALAD BAR	1150001 PHASE/8 AMP
12	NEW CONVECTION OVEN	5000 MODEL 6513 2000VA, 3PH, 8.8 KW, 200 AMP
13	NEW 8.5 HAND BINK WITH SIDE SPLASH GUARD	MODEL BY AERIO
14	EXISTING 24" x 24" 8.5 PREP BINK	MODEL CUSTOM NSF
15	NEW DOUGH METER	MODEL HUBBOC BY HOBART
16	NEW 18" LONG 8.5 KITCHEN HOOD OVER NEW PIZZA OVEN	CUSTOM BY MANUFACTURER
17	DOUBLE DECK PIZZA OVEN	MODEL ALT180-78 BY ALT OVENS
18	7' L REF PIZZA PREP TABLE	MODEL 1800PT8 BY DELFIELD SELF CONTAINED W/ CONDENSATE EVAPORATOR
19	8" HEATED PIZZA HOLDING CABE GUARDS	MODEL CS 1 SERIES BY METRO
20	NEW 8.5 HAND BINK WITH SIDE SPLASH GUARD	MODEL BY AERIO
21	17 1/2" x 17 1/2" SELF CONTAINED DOUBLE BOWL JUICE DISPENSER	MODEL D25 DOUBLE BOWL BY CRATINGCO, 1150002/5 AMP
22	22 1/4" H x 14" W CUP AND LID DISPENSER	MODEL CTC4-32-258 BY DISPENSE RITE
23	SELF CONTAINED 18" W x 24" x 27" H UPRIGHT REF FOR BEVERAGES	MODEL 60M-200-LO BY TRUE 1150001 PHASE/5 AMP/5 DECATED
24	NEW NATURAL GAS WATER HEATER	MODEL NO. 60275H/75 G. G. MAX CAP 75, 600 BTU BY BRADFORD CORP



EXISTING FLOOR PLAN WITH PROP. ALTERATIONS  
SCALE: 1/4" = 1'-0" (AREA 1063.50 FT<sup>2</sup>)



EXISTING CELLAR FLOOR PLAN  
SCALE: 1/4" = 1'-0" (AREA 1,089.80 FT<sup>2</sup>)

- NONE SPRINKLERED BUILDING
- ASBESTOS WITHIN 10' OF FLOOR UNDER A REMOVED/ALTERED
- ILLUMINATED SIGNAGE
- NEW PASSEUR HARDWARE BEARS EAST TO GRASP WITH ONE HAND TOOTH UNAPPROPRIATE TWISTING UP NEXT
- NEW PASSEUR HARDWARE BEARS EAST TO GRASP WITH ONE HAND TOOTH UNAPPROPRIATE TWISTING UP NEXT
- INTERIOR TO BE REFINISHED TO MATCH 114

Application Date: 10/23/24  
Fees Paid: \$32500

SP# 3786

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 73 Smith St. ZONING DISTRICT Residence A  
SECTION 62 BLOCK 76 LOT 27 LOT SIZE: Residence A

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> <b>APPLICANT</b>	<input type="checkbox"/> LESSEE	<input checked="" type="checkbox"/> <b>PROPERTY OWNER</b>
Name: <u>Andre Reviero</u>	Name: <u>Andre Reviero</u>		
Address: <u>73 Smith St</u> <u>Freeport NY 11520</u>	Address: <u>73 Smith St</u> <u>Freeport NY 11520</u>		
Telephone #: <u>516-309-1353</u>	Telephone #: <u>516-309-1353</u>		
Agent Attorney Name: <u>Morano Expediting</u>	Address: <u>2438 Hempstead Tpk</u> <u>Levittown NY 11756</u>		
Phone #: <u>631-698-5602</u>			
Present Land Use: <u>two family house</u>	Proposed Land Use: <u>same</u>		

Description of Proposed Work: Maintain gazebo, detached garage, deck, cellar entrance, roof overhang, one-story addition

I request a concept plan conference:  YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES  NO  
08/26/2024  
DATE

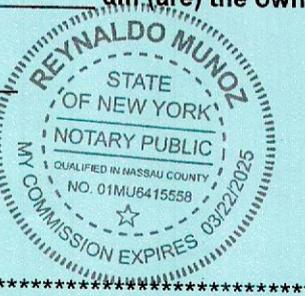
Andre Reviero  
APPLICANT'S SIGNATURE  
Sworn to before me this 26<sup>th</sup>  
day of AUGUST, 2024



Reynaldo Munoz  
Notary Public

Property Owner's Consent:  
I, Andre Reviero am (are) the owner(s) of the subject property and consent to the filing of this application.

Andre Reviero  
PROPERTY OWNER'S SIGNATURE  
Sworn to before me this 26<sup>th</sup>  
day of AUGUST, 2024



Reynaldo Munoz  
Notary Public

08/26/2024  
DATE  
RECEIVED  
VILLAGE CLERK'S OFFICE  
OF FREEPORT, NY  
OCT 23 10:30 AM '24

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required:  YES  NO Date of Hearing: \_\_\_\_\_  
Date of Decision: \_\_\_\_\_

Village Clerk's Signature: \_\_\_\_\_ Approved  Denied   
Date: \_\_\_\_\_

Planning Board Signature: \_\_\_\_\_ Date: \_\_\_\_\_



RECEIVED

2024 OCT 23 A 10:31

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

## INC. VILLAGE OF FREEPORT

### Department of Buildings

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

ROBERT T. KENNEDY  
MAYOR

### AMENDED SITE PLAN LETTER October 7, 2024

Andre Reviero  
73 Smith St  
Freeport, NY 11520

RE: 73 Smith St, Freeport, NY

**Zoning District – Residence A Sec. 62 Blk. 76 Lot 27**

**Building Permit Application #20243662**

**Description: Maintain garage (550SqFt), Deck (388SqFt), Cellar entrance and framed overhangs on the East side of the property and proposed (105 SqFt) addition on west side and repair fire damage.**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

*Sergio A. Mauras*

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

c: Village Clerk  
ZBA Approval Needed: **Yes**

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project:

Building Permit App. 20243662

Location: 73 Smith Street , Freeport, NY

Applicant: Andre Reviero

Description: Maintain garage (550SqFt), Gazebo (126SqFt), Deck (388SqFt), Cellar entrance and framed overhangs on the East side of the property and proposed (105 SqFt) addition on west side and repair fire damage.

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: October 07, 2024

Sergio A. Mauras

Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form

RECEIVED

2024 OCT 23 A 10:34

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>		73 Smith St, Freeport, NY 11520 Andre Reviero	
Name of Action or Project:			
Project Location (describe, and attach a location map):			
73 Smith St, Freeport, NY 11520			
Brief Description of Proposed Action:			
1. FIRE DAMAGE REPAIR & MAINTAIN ENCLOSED PORCH WITH PROPOSED BATHROOM 2. REMOVE FINISHED ATTIC WITH BATHROOM 3. REMOVE FINISHED BASEMENT & BASEMENT ENTRANCE 4. MAINTAIN KITCHEN CANTILEVERED ADDITION 5. MAINTAIN EXISTING REAR DECK 6. MAINTAIN EXISTING DETACHED GARAGE 7. MAINTAIN AND RELOCATE REAR COVERED PLATFORM (GAZEBO) 8. REMOVE EXISTING REAR YARD POOL			
Name of Applicant or Sponsor:		Telephone: 631) 229-3159	
Ben Berkowitz		E-Mail: ben@east-endconstruction.com	
Address:			
4 Di Tomas Ct			
City/PO:		State:	Zip Code:
Copiague		NY	11726
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?			NO
If Yes, list agency(s) name and permit or approval:			YES
3.a. Total acreage of the site of the proposed action? <span style="float: right;">0.23 acres</span>			
b. Total acreage to be physically disturbed? <span style="float: right;">_____ acres</span>			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <span style="float: right;">_____ acres</span>			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Ben Berkowitz</u>	Date: <u>2/20/24</u>	
Signature: <u><i>Ben Berkowitz</i></u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

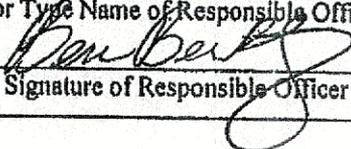
	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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VILLAGE OF FREEPORT, NY

<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
East End Construction & Renovation Corp	2/20/24
Name of Lead Agency	Date
Ben Berkowitz	President
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
	
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

INCORPORATED VILLAGE OF FREEPORT  
ZONING BOARD OF APPEALS DECISION

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DATE: August 15, 2024

2024 OCT 23 A 10:34

Partial APPROVAL, Partial DENIAL

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

Building Department Permit Application #20243662

Chairman, regarding Application #2024-8 for the premises located at 73 Smith Street, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-43, 210-41, and 210-21 seeking approval to maintain a 550 square foot garage, 126 square foot gazebo, and 105 square foot addition on west side of premises.

I, Anthony Mineo move that this Board make the following findings of fact:

A public hearing was held on July 18, 2024 wherein applicant Andre Reviero was represented by Christina Bravin of Morano Expediting. She explained that the applicant had purchased the house in 2018 with all of the items before the Board for review already in existence, except for the gazebo. She explained that the garage is a pre-existing garage that she found a property record for in Nassau County dating back to 1938. The side addition was also existing when the applicant purchased the house, and appears to have been added in 1984. The applicant was living in the home until an electrical fire in November 2023. She explained that the applicant did construct the gazebo himself, and it is 3.3 feet from the side lot line. She said that the gazebo could be moved if necessary.

She explained that when the house was purchased in 2018, there was an apartment in the garage, which has been removed. The requirement for a variance to extend the pre-existing non-conformity of the house refers to the addition to a two family house. Part of the house was already 2.8 feet from the lot line. The addition is 4.8 feet from the lot line, so it is not as bad as the present encroachment. That is why that was not called out for a variance.

As to the variances required to maintain the 550 square foot garage, when 500 feet is permitted, and the encroachments into the required setback for the garage and the extension of the non-conforming building by means of the addition, the Board finds:

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
  - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance;
  - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;

RESOLVED

c. that the requested area variance is insubstantial;

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CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and

e. that the alleged difficulty was not self-created. The Board finds the testimony credible that the garage and addition were pre-existing when the applicant purchased the property.

However, regarding the gazebo:

2. On balance, the benefit to the applicant by the granting of this variance is far outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
  - a. that an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance. The Board is not going to approve new structures too close to the property line that can be moved without too much difficulty.
  - b. that the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance. The gazebo could be relocated to an appropriate distance from the property line.
  - c. that the requested area variance is substantial.
  - d. that the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
  - e. that the alleged difficulty was self-created.

Therefore, the Board hereby **DENIES** the request for a side yard variance for the gazebo.

3. The Board, as lead agency has determined that this action is a Type II action and under SEQRA and no further review is required.

I further move that this application for variances for the oversized garage, maintenance of the garage location, and the extension of the non-confirming house by means of the addition be granted subject to the following conditions:

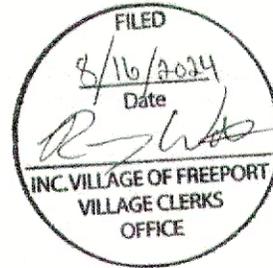
1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.

3. This application for variance(s) is being granted on the basis of the specific use proposed. If anything in this application is to change, the applicant must return to the Board for further review.

**Second by: Charles Hawkins**

**The Clerk polled the Board:**

Member Mineo	In Favor
Member Hawkins	In Favor
Chairperson Rhoden	In Favor



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VILLAGE OF FREEPORT, NY

# Material List for 73 Smith St, Freeport, NY 11520



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VILLAGE OF FREEPORT, NY

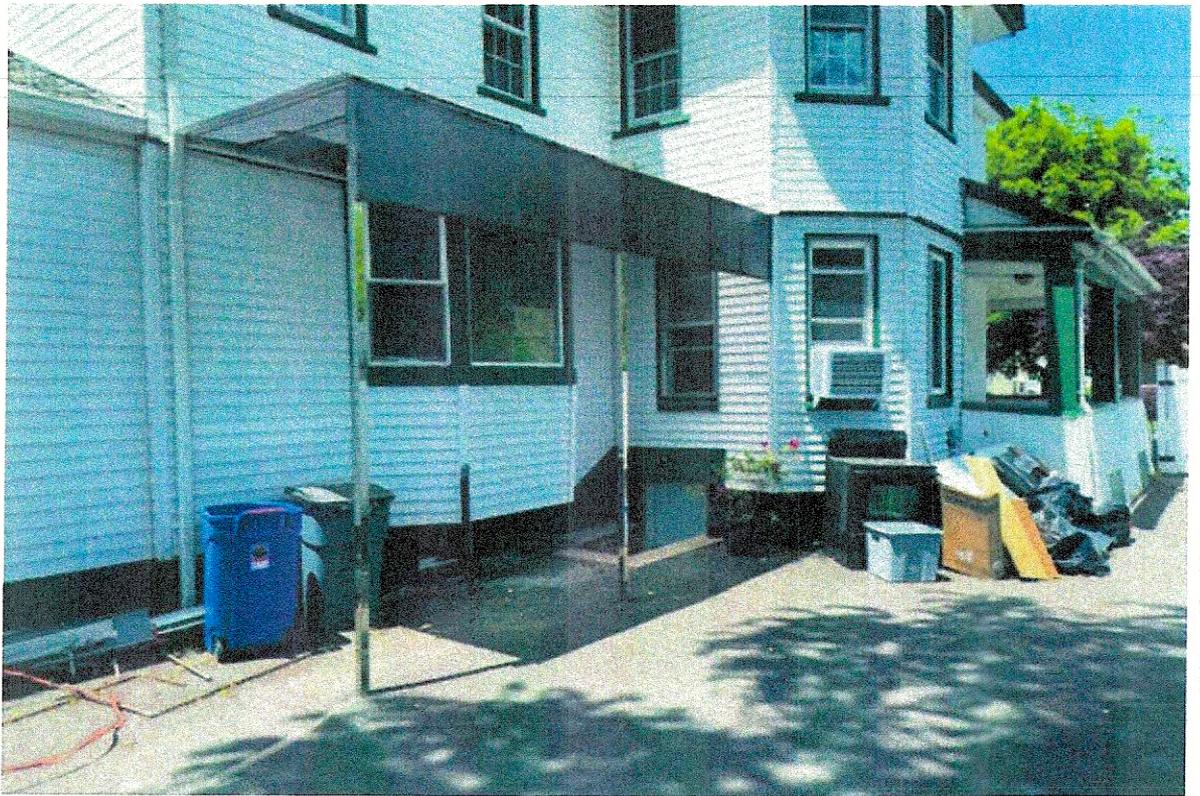


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2024 OCT

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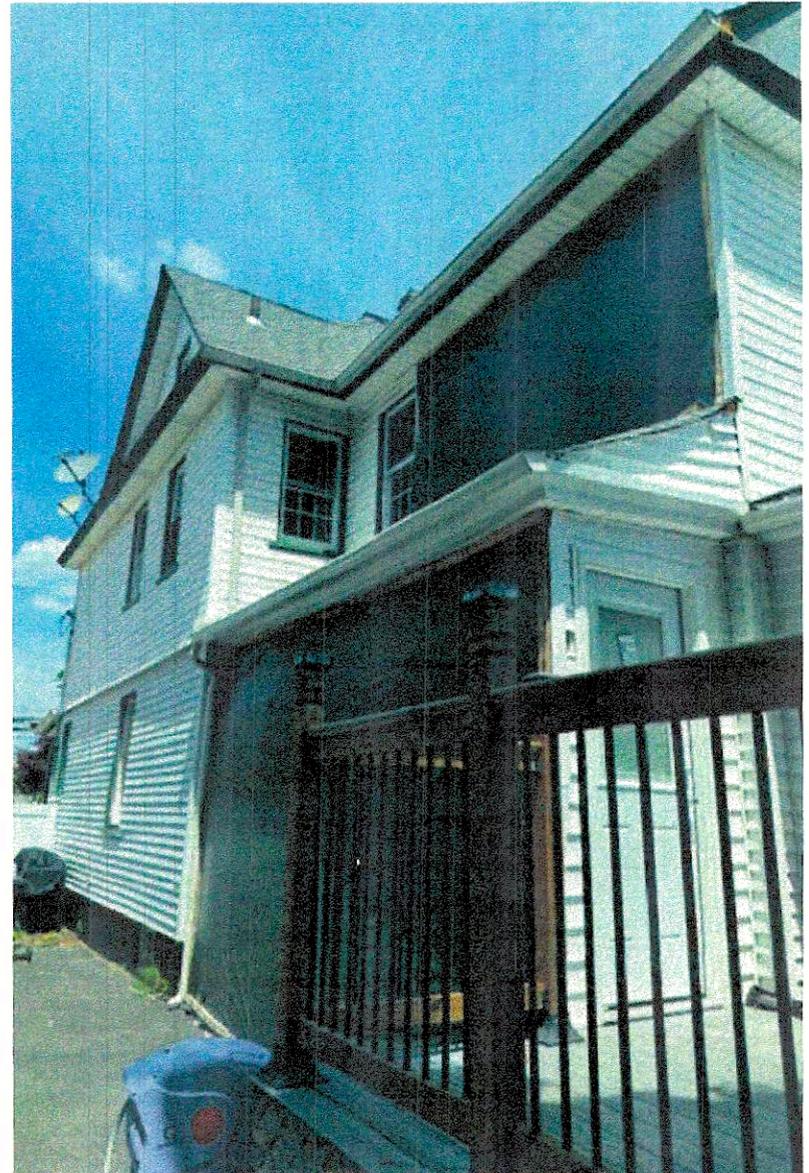
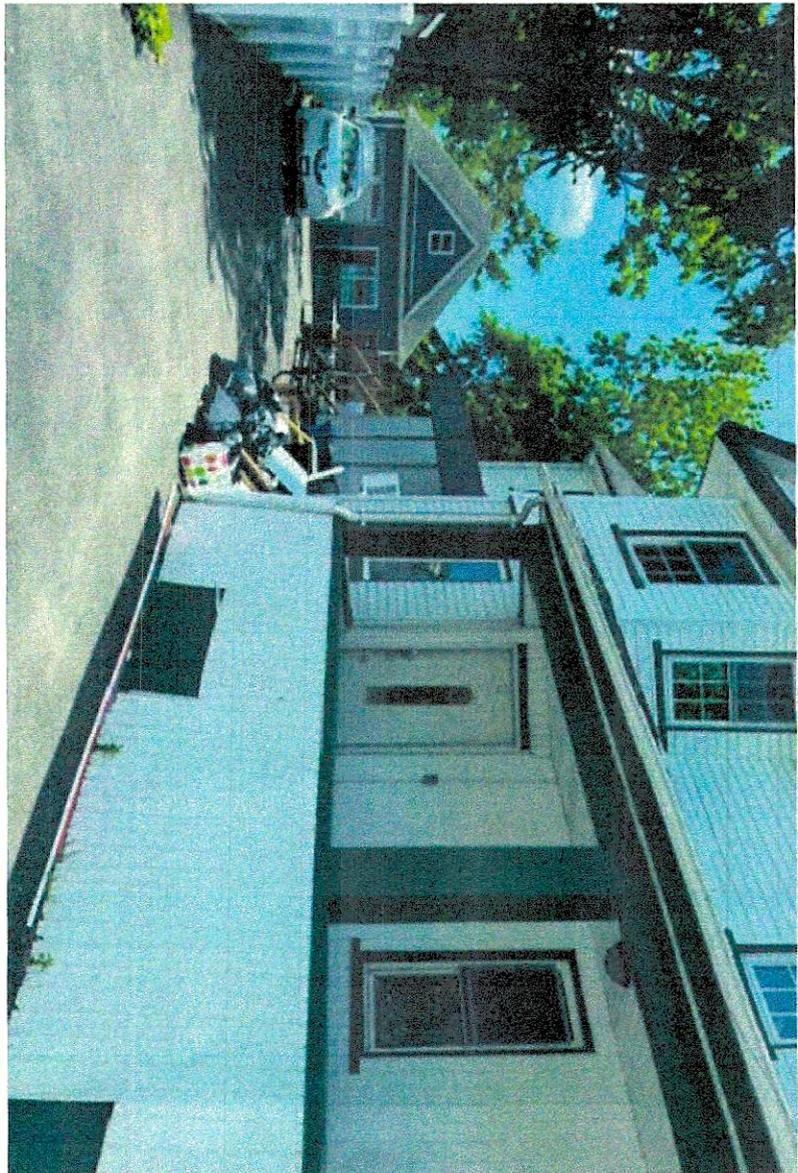
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**Existing  
Front**



**Existing  
Rear/Side**

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VILLAGE OFFICE



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VILLAGE OF FREEPORT, NY





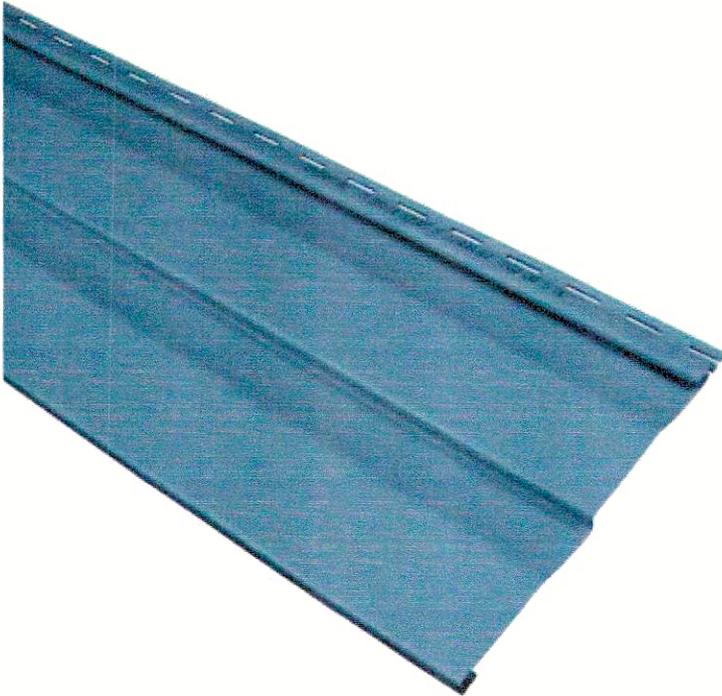
**Existing  
Rear Deck  
Image**



**Existing Rear  
Deck Railing &  
Stair Image**

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2021 OCT 23 10:36  
CLERK OF THE SUPREME COURT  
VILLAGE OF EAST HAVEN, NY

# Detached Garage



## Siding

Georgia-Pacific Compass Double 4.5  
Dutch Lap Vinyl Siding Sample  
Bayou Blue 24-in



## Roofing

GAF Timberline Hdz Slate Laminated  
Architectural Roof Shingles

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GLENN'S OFFICE  
VILLAGE OF FALEBORO

<b>Summary of Project</b>	<b>3</b>
<b>Main House</b>	<b>4</b>
Siding	4
Roofing	4
Trim/Fascia Paint	5
Proposed Windows	5
Existing Rear Decking	6
Existing Deck Railings	6
Deck Post Caps/Solar Lights	7
Existing Front/Side Image	7
Existing Rear/Side Image	8
Existing Side Yard Metal Awning Image	8
Existing Rear Deck Image	9
Existing Rear Deck Railing & Stair Image	9
<b>Detached Garage</b>	<b>10</b>
Siding	10
Roofing	10
Existing Front	11
Existing Rear/Side	11

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 VILLAGE OF FREEPORT, NY

# Summary of Project

## Introduction to the Proposal:

The residence at 73 Smith St, Freeport, NY, has recently sustained fire damage, prompting the homeowner to undertake necessary repairs and enhancements. This proposal seeks approval from the Village of Freeport's Site Planning Review Board for these modifications, which include restoring the damaged areas and adding a new, code-compliant bathroom on the first floor. The addition, which measures 6.7' x 15.6', will be located where the fire damage was most severe, ensuring that the repair work also serves to improve the home's accessibility and functionality.

## Details of the Proposed Work:

The exterior work is confined to the side addition where the new bathroom will be installed. This addition has been designed to blend seamlessly with the existing structure, maintaining the architectural integrity of the home and the neighborhood. Inside, the new bathroom will meet all current building codes for safety and accessibility, enhancing the home's livability. The detached garage, fortunately, remains unaffected by the fire and thus, no modifications are proposed should you approve it's current condition.

## Materials and Compliance:

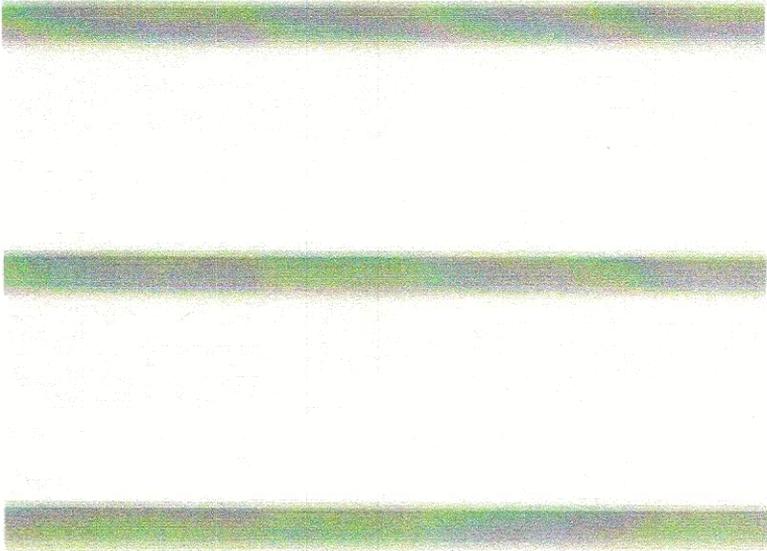
To ensure the addition matches the existing main house, the homeowner has selected materials that closely resemble those used in the original construction. A detailed list of these materials, along with photographs of both the current state of the house and samples of the proposed materials, is included for review. The homeowner is committed to adhering to all local zoning laws and building codes, ensuring that the project not only restores the residence but does so in a manner that respects and complies with the standards set by the Village of Freeport.

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VILLAGE OF FREEPORT, NY

**Main House**

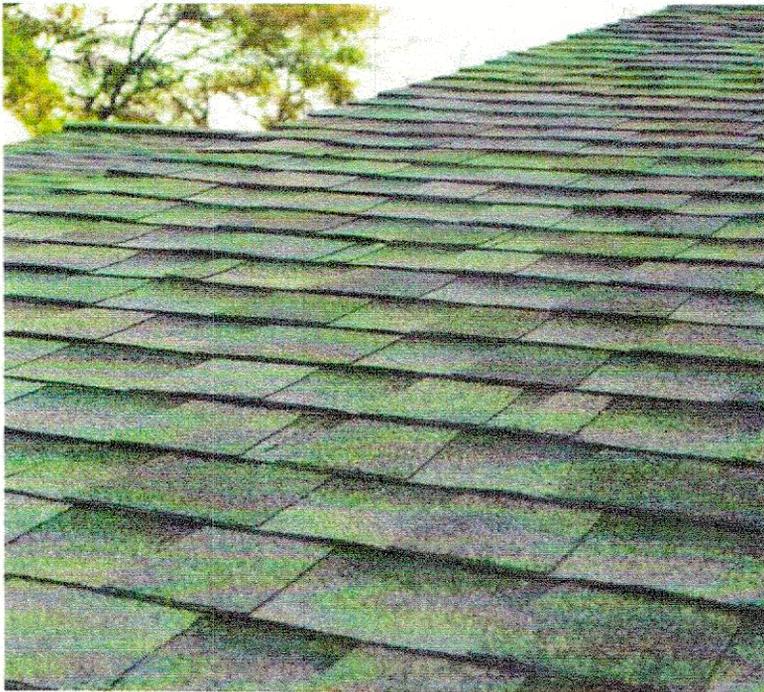
**Siding**

CertainTeed's Mainstreet Woodgrain  
- D4 - #01 Colonial White

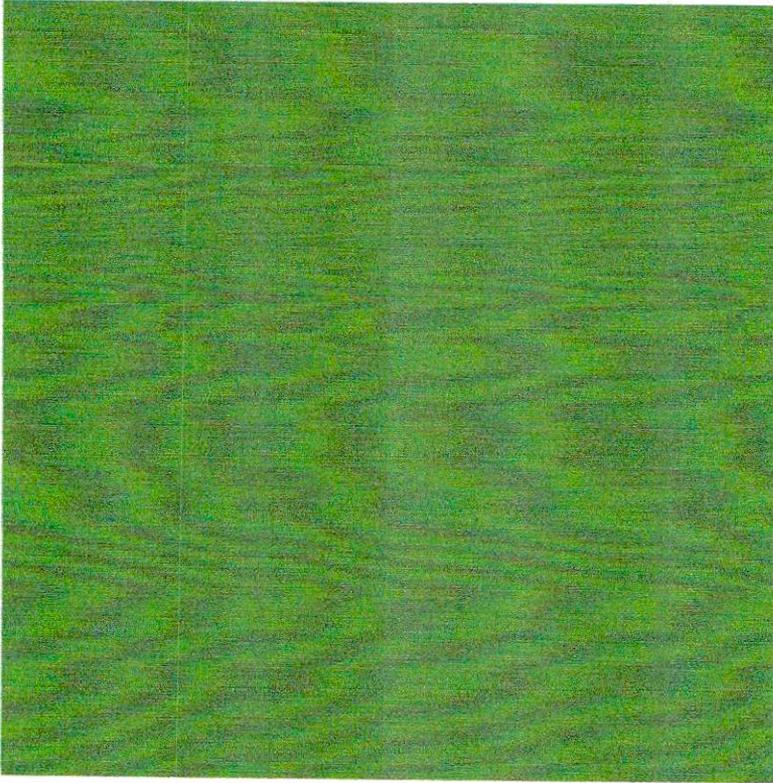


**Roofing**

GAF Timberline Hdz Slate Laminated  
Architectural Roof Shingles

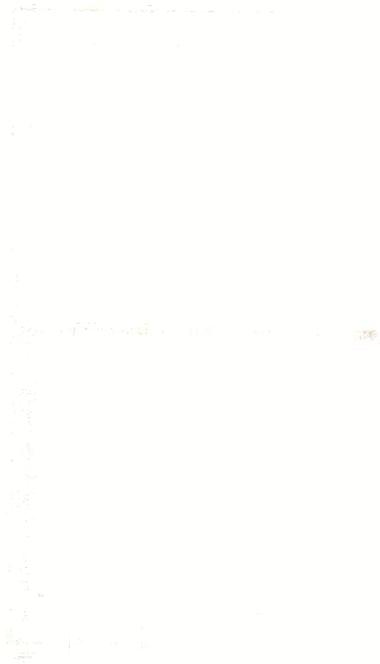


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VILLAGE OF FREEPORT, NY



**Trim/Fascia Paint**

Valspar Signature Satin Base  
Color: Derbyshire HGSW6741



**Proposed Windows**

Andersen 400 Series White Clad  
Wood Tilt-Wash Double-Hung  
Window with Low-E Glass

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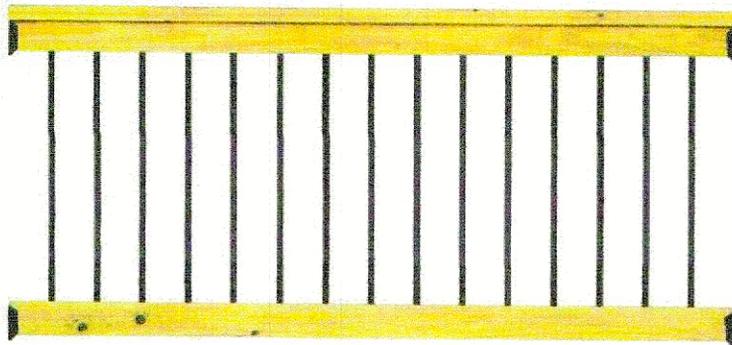
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VILLAGE OF FREEPORT, NY



**Existing Rear  
Decking**

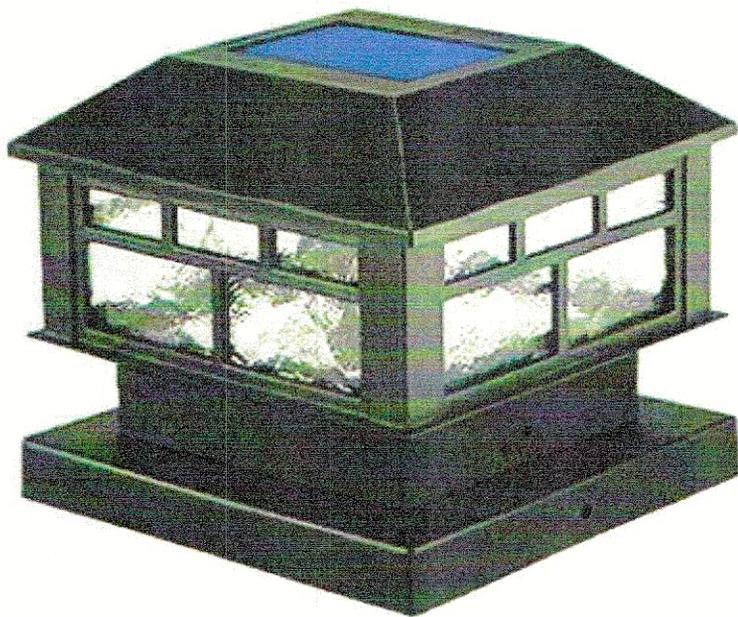
Trex Enhance Basics 1-in x 6-  
in x 16-ft Grooved Composite  
Deck Board  
Color: Tide Pool



**Existing Deck  
Railings**

ProWood Pressure-Treated 6 ft.  
Aluminum Southern Yellow Pine  
Rail

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VILLAGE OF FREEPORT, NY



**Deck Post Caps/  
Solar Lights**

Powdlt Solar Post Lights  
Outdoor, 20LM Fence Post Cap  
Lights, Waterproof  
Color: Black



**Existing  
Front/Side  
Image**

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VILLAGE OF FREEPORT, NY



**Existing  
Rear/Side  
Image**



**Existing  
Side Yard  
Metal  
Awning  
Image**

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VILLAGE OF FREEPORT, NY

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74 Smith St



76 Smith St.



7/23/10  
12:31 AM  
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E OF FR

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150 Church St.

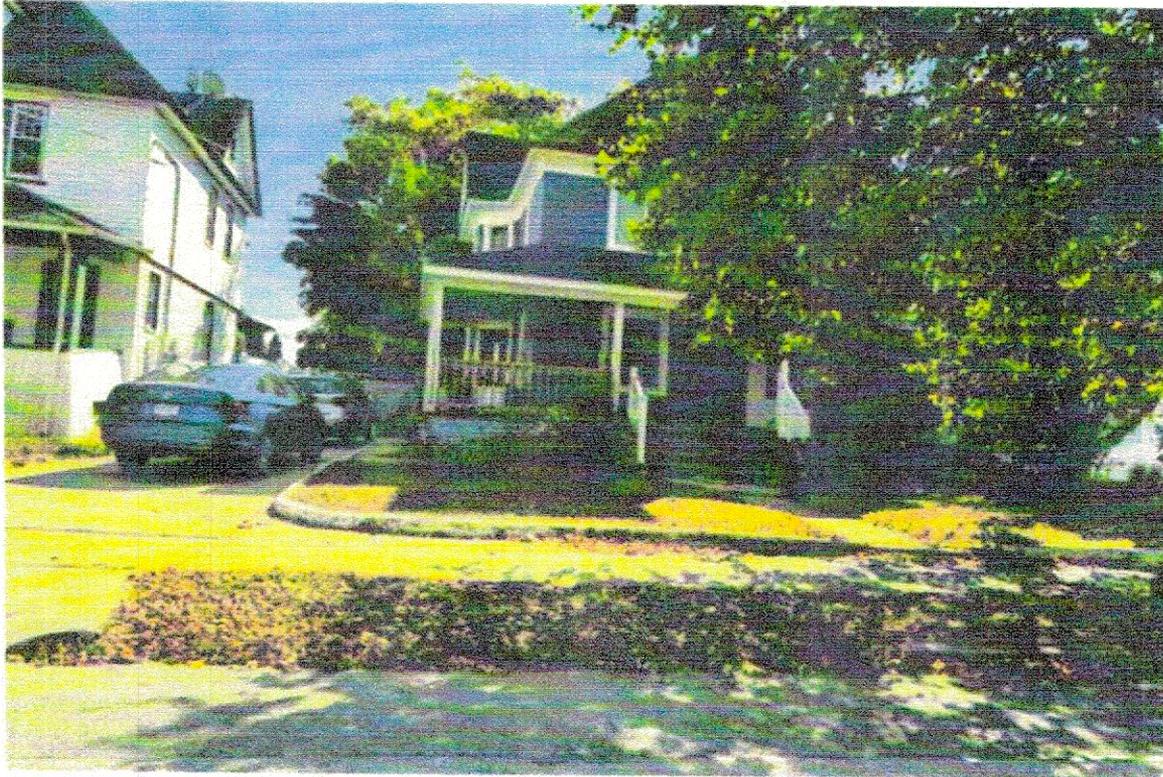
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CLERK OFFICE  
VILLAGE OF PORT JEFFERSON



77 Smith St.



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 2024 OCT 23 A 10:37  
 CLERK'S OFFICE  
 VILLAGE OF FREEPORT, NY

# SURVEY OF PROPERTY

SITUATE  
 INC. VILLAGE OF  
 FREEPORT

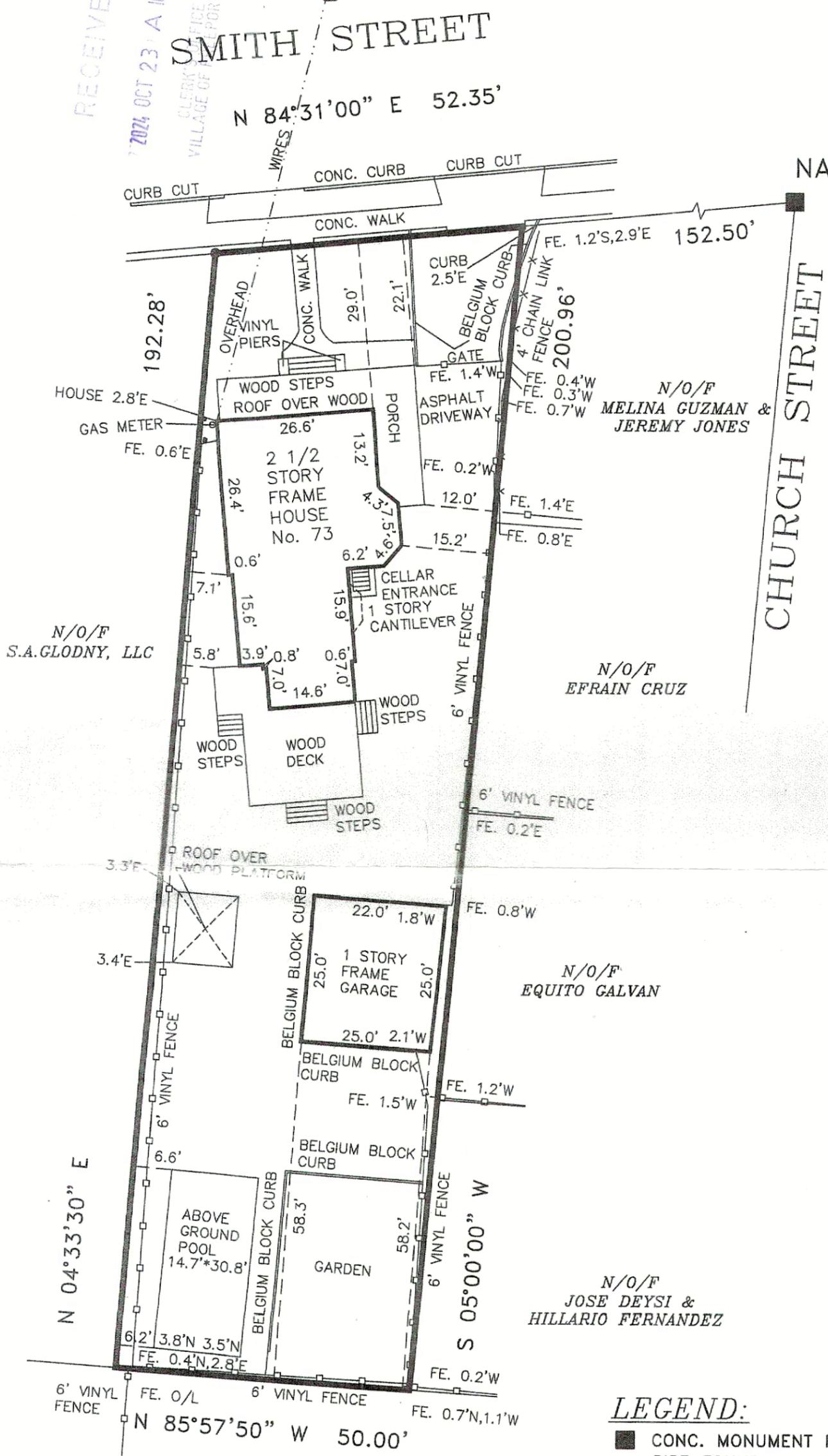
TOWN OF HEMPSTEAD  
 NASSAU COUNTY, NEW YORK

N.C. TAX No. 62-76-27

SCALE 1"=20'

DECEMBER 7, 2023

AREA = 10,000 sq. ft.  
 0.230 ac.



N/O/F  
 S.A. GLODNY, LLC

N/O/F  
 MELINA GUZMAN &  
 JEREMY JONES

N/O/F  
 EFRAIN CRUZ

N/O/F  
 EQUITO GALVAN

N/O/F  
 JOSE DEYSI &  
 HILLARIO FERNANDEZ

N/O/F  
 FERNANDA D. ENAMORADO  
 & KEVIN M. RODAS

### LEGEND:

- CONC. MONUMENT FOUND
- PIPE FOUND
- UTILITY POLE
- BOLLARD

NOTE: LOCATIONS AND EXISTENCE OF ANY  
 SUBSURFACE UTILITIES AND/OR STRUCTURES  
 NOT READILY VISIBLE, ARE NOT CERTIFIED.

### METES AND BOUNDS SURVEYING

22 AMERICAN AVENUE  
 CORAM, N.Y. 11727  
 PHONE (631) 736-9350  
 FAX (631) 736-9350

THIS SURVEY IS SUBJECT TO ANY EASEMENT  
 OF RECORD AND ANY OTHER PERTINENT FACTS  
 WHICH A TITLE SEARCH MIGHT DISCLOSE

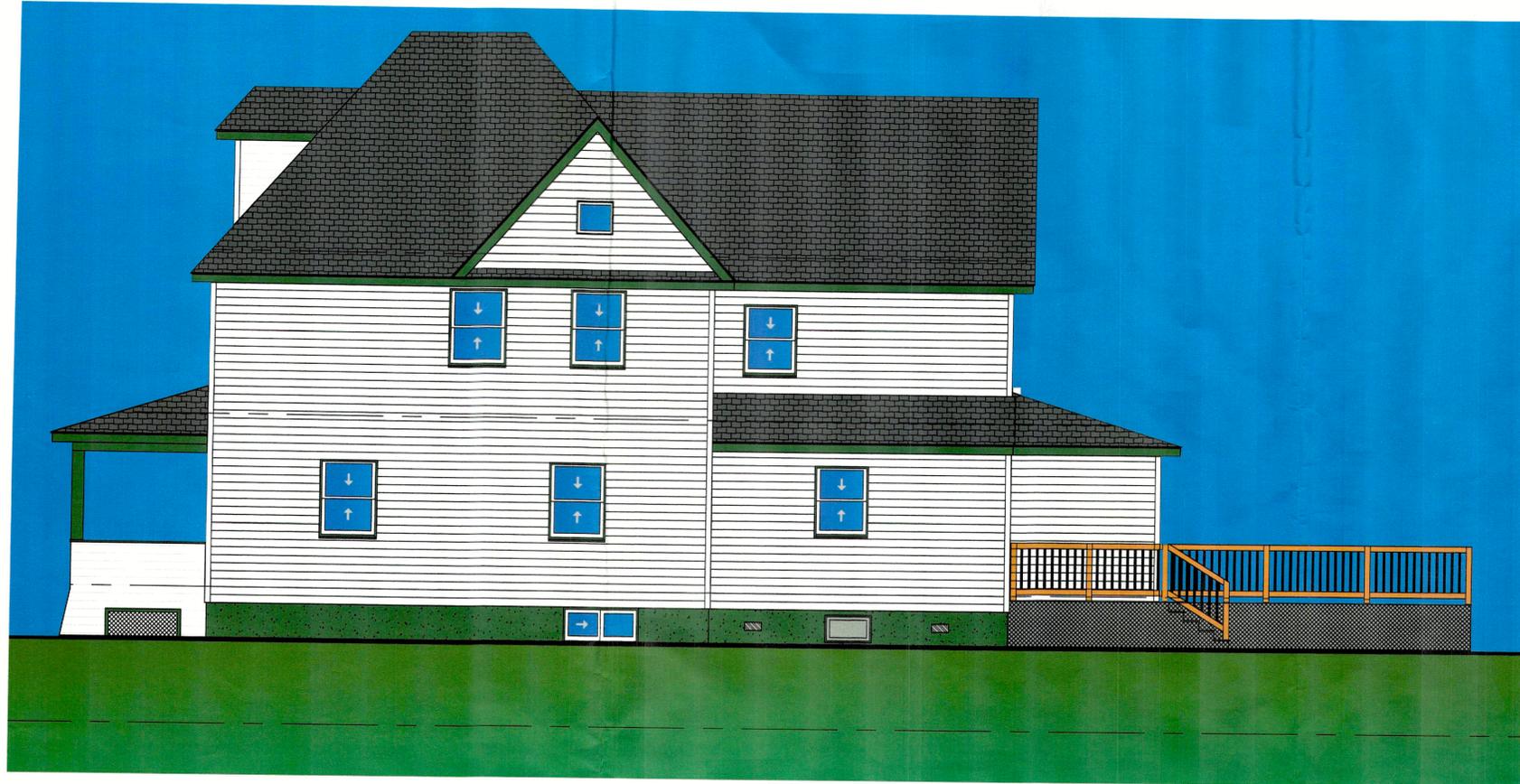
"UNAUTHORIZED ALTERATION OR ADDITION TO A  
 SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S  
 SEAL IS A VIOLATION OF ARTICLE 134, SECTION  
 7209, SUBDIVISION 2, OF THE NEW YORK STATE  
 EDUCATION LAW"

"Copies from the original of this survey map  
 not marked with an original of the land  
 surveyor's inked seal or his embossed seal  
 shall not be considered a valid true copy."  
 "Certification indicated hereon signify that  
 this survey was prepared in accordance with  
 the existing Code of Practice for Land Surveys  
 adopted by the New York State Association of  
 Professional Land Surveyors. Said  
 certifications shall run only to the person  
 for whom the survey is prepared, and on his  
 behalf to the title company, governmental  
 agency and lending institution.  
 Certifications are not transferable to  
 additional institutions or subsequent owners."

LOTS: 27	BLOCK: 76	SECTION: 62
MAP OF:		
SITUATED AT: INC. VILLAGE OF FREEPORT TOWN OF HEMPSTEAD, NASSAU CO., N.Y.		
CERTIFIED TO		

JOB NO.: 23-303  
 DATE: DECEMBER 7, 2023





SIDE ELEVATION (WEST)



REAR ELEVATION (SOUTH)



FRONT ELEVATION (NORTH)



SIDE ELEVATION (EAST)



CONSULTATIONS:

REVISIONS:

FILE NO.:

CAD DWG FILE:

DWG. NAME:

DWG. NO.:

SHEET:

DATE: 01/11/2012

DWG DATE:

A-05.04

SCALE:

FILE

DESCRIPTION:

DRAWN BY:

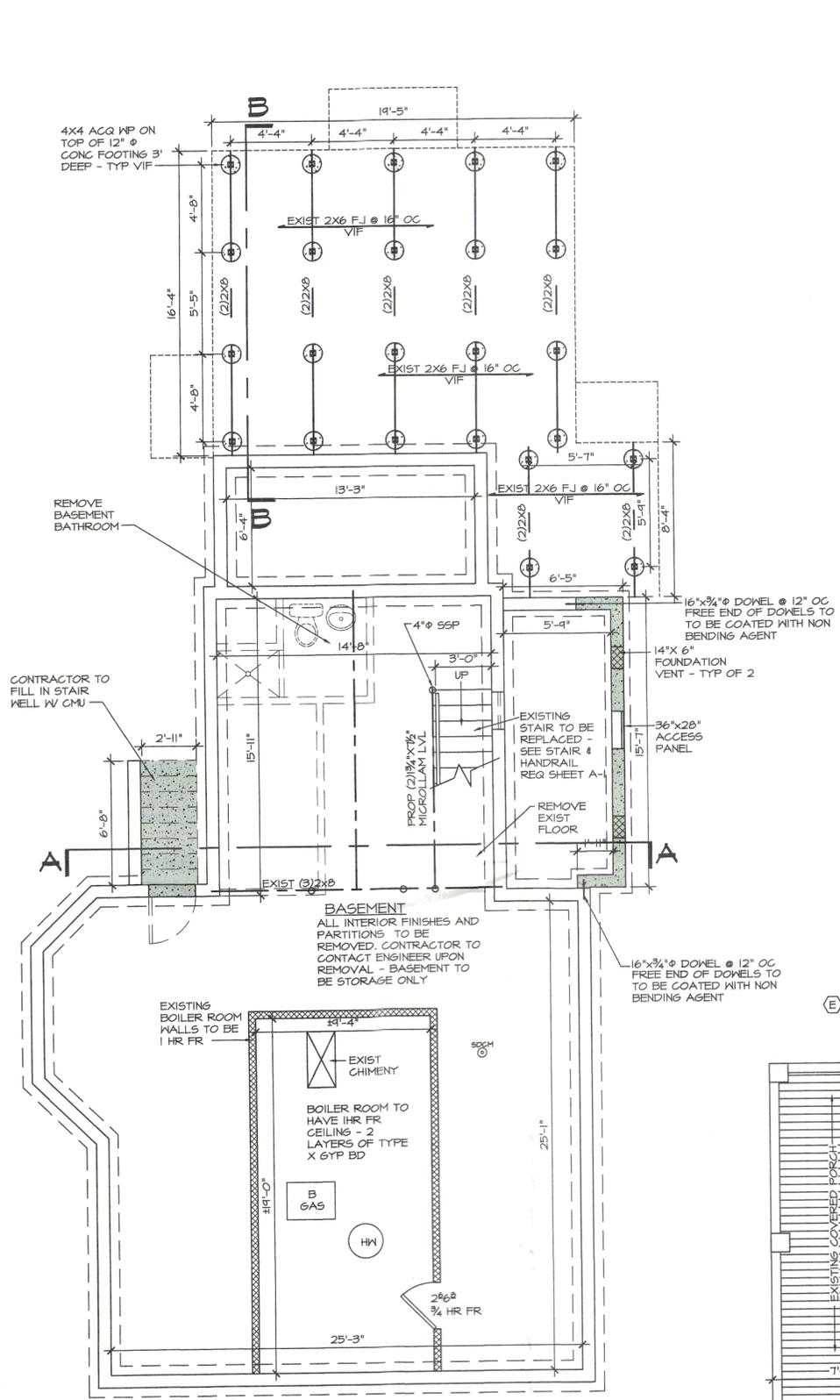
CHOKED BY:

FILE



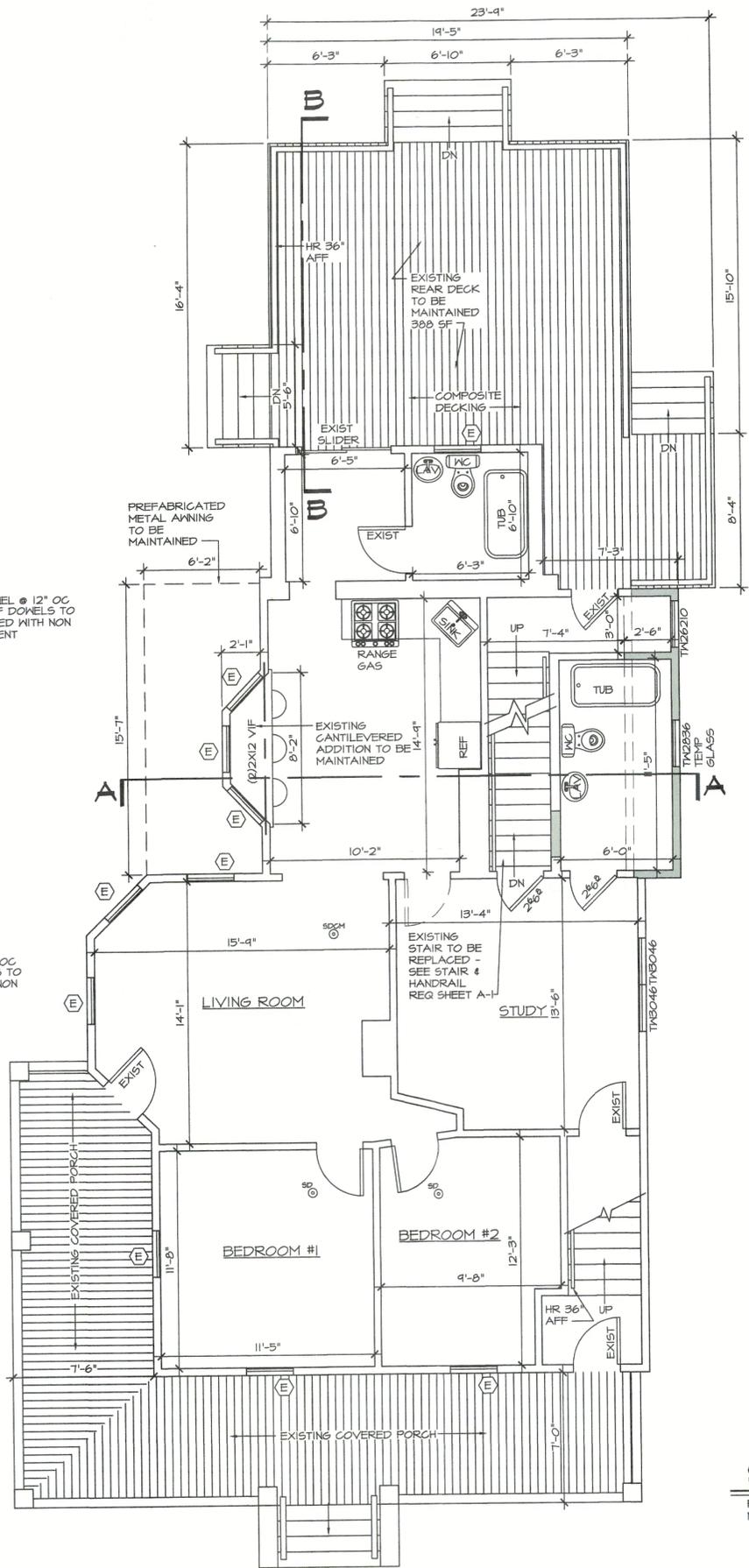






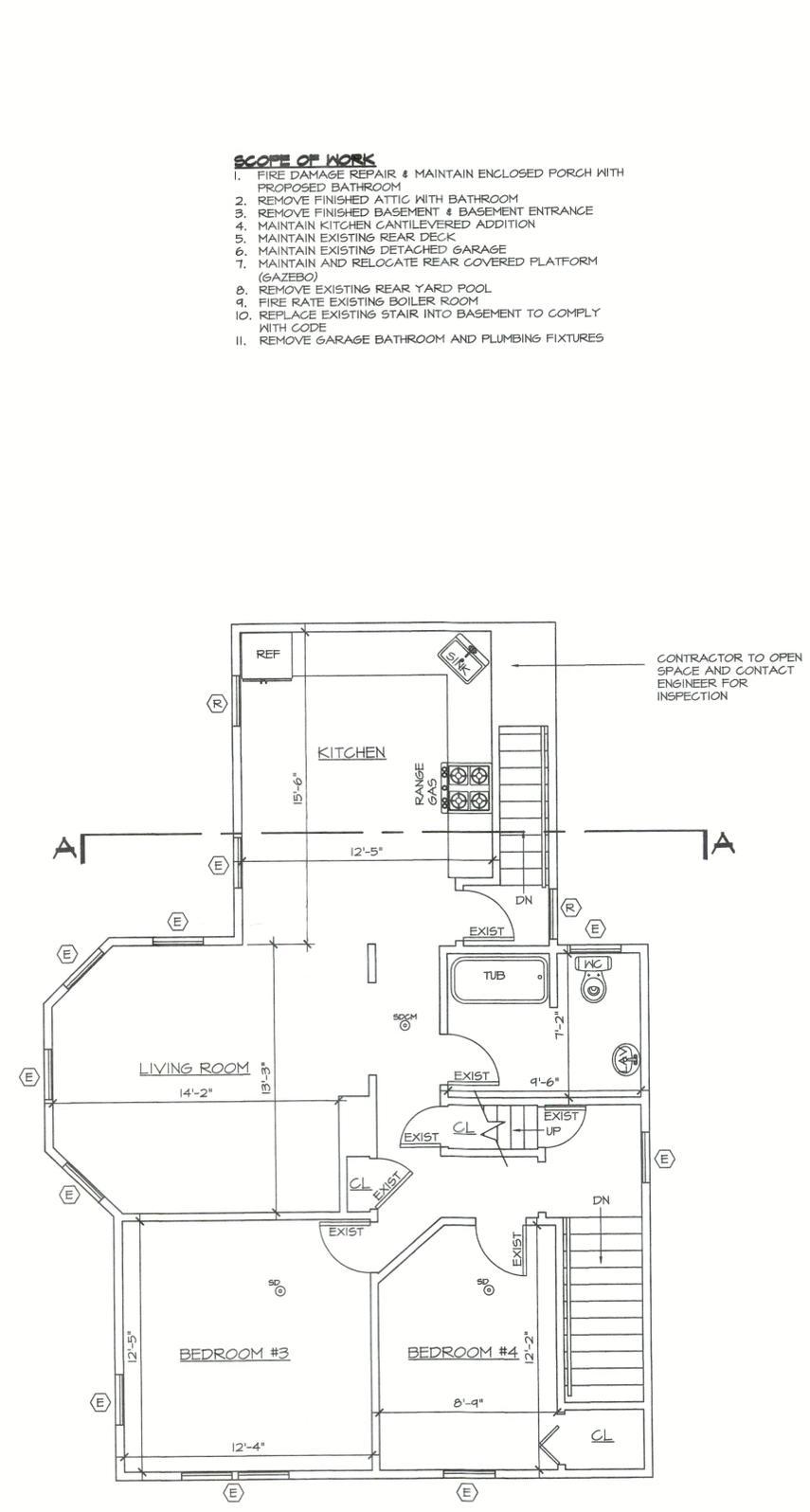
**BASEMENT FLOOR PLAN**

FLOOR AREA = 999 SF  
 NOTE: ALL CONDITIONS ARE EXISTING UNLESS OTHERWISE NOTED - CONTACT ENGINEER IF DIFFERENT  
 REMOVE ALL INTERIOR PARTITIONS  
 REMOVE BASEMENT ENTRY AND FILL IN WITH CMU  
 REMOVE EXTERIOR STAIR - FILL IN WITH CMU



**FIRST FLOOR PLAN**

FLOOR AREA = 1180 SF  
 NOTE: ALL CONDITIONS ARE EXISTING UNLESS OTHERWISE NOTED



**SECOND FLOOR PLAN**

FLOOR AREA = 494 SF  
 NOTE: ALL CONDITIONS ARE EXISTING UNLESS OTHERWISE NOTED

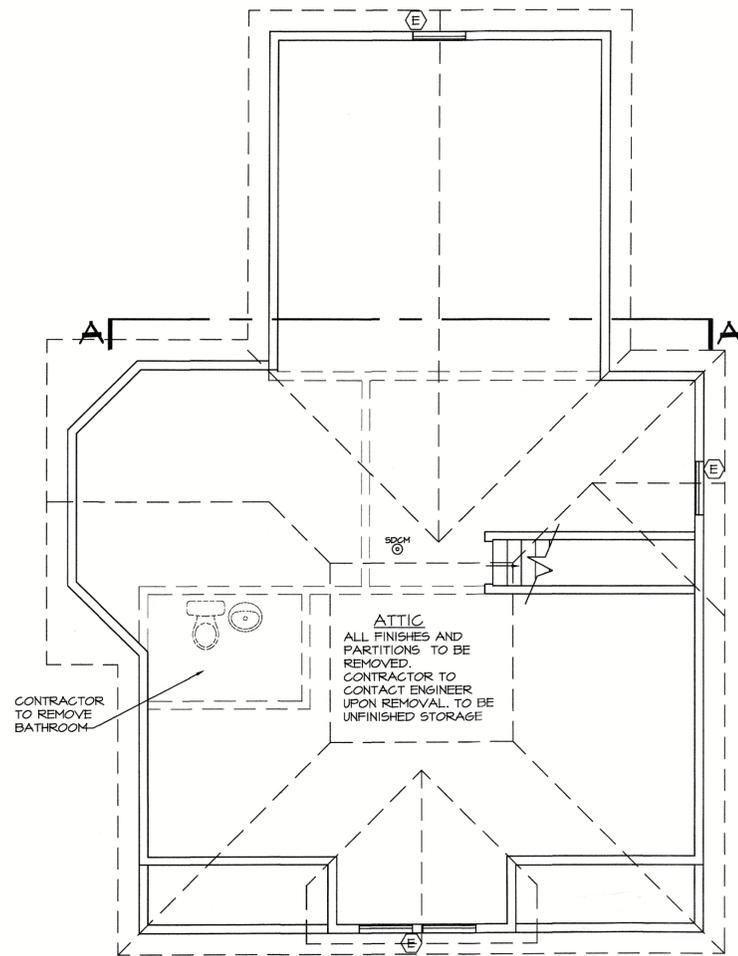


- SCOPE OF WORK**
1. FIRE DAMAGE REPAIR & MAINTAIN ENCLOSED PORCH WITH PROPOSED BATHROOM
  2. REMOVE FINISHED ATTIC WITH BATHROOM
  3. REMOVE FINISHED BASEMENT & BASEMENT ENTRANCE
  4. MAINTAIN KITCHEN CANTILEVERED ADDITION
  5. MAINTAIN EXISTING REAR DECK
  6. MAINTAIN EXISTING DETACHED GARAGE (GAZEBO)
  7. MAINTAIN AND RELOCATE REAR COVERED PLATFORM
  8. REMOVE EXISTING REAR YARD POOL
  9. FIRE RATE EXISTING BOILER ROOM
  10. REPLACE EXISTING STAIR INTO BASEMENT TO COMPLY WITH CODE
  11. REMOVE GARAGE BATHROOM AND PLUMBING FIXTURES

**CONSULTATIONS:**  
 FIRE DAMAGE REPAIR & MAINTAIN ENCLOSED PORCH WITH PROPOSED BATHROOM  
 REMOVE FINISHED ATTIC WITH BATHROOM  
 REMOVE FINISHED BASEMENT & BASEMENT ENTRANCE  
 MAINTAIN KITCHEN CANTILEVERED ADDITION  
 MAINTAIN EXISTING REAR DECK  
 MAINTAIN EXISTING DETACHED GARAGE (GAZEBO)  
 MAINTAIN AND RELOCATE REAR COVERED PLATFORM  
 REMOVE EXISTING REAR YARD POOL

<b>REVISIONS:</b>	
<b>FILE NO.:</b>	73 South Street Report 03.dwg
<b>CAD DWG FILE:</b>	73 South Street Report 03.dwg
<b>DWG DATE:</b>	September 11, 2024
<b>DRAWN BY:</b>	RS
<b>CHOKED BY:</b>	
<b>SCALE:</b>	AS PER PLAN
<b>DWG. NAME:</b>	HOUSE FLOOR PLANS
<b>DWG. NO.:</b>	A-03.03
<b>SHEET:</b>	3 OF 6

- SCOPE OF WORK**
- FIRE DAMAGE REPAIR & MAINTAIN ENCLOSED PORCH WITH PROPOSED BATHROOM
  - REMOVE FINISHED ATTIC WITH BATHROOM
  - REMOVE FINISHED BASEMENT & BASEMENT ENTRANCE
  - MAINTAIN KITCHEN CANTILEVERED ADDITION
  - MAINTAIN EXISTING REAR DECK
  - MAINTAIN EXISTING DETACHED GARAGE (GAZEBO)
  - MAINTAIN AND RELOCATE REAR COVERED PLATFORM (GAZEBO)
  - REMOVE EXISTING REAR YARD POOL
  - FIRE RATE EXISTING BOILER ROOM
  - REPLACE EXISTING STAIR INTO BASEMENT TO COMPLY WITH CODE
  - REMOVE GARAGE BATHROOM AND PLUMBING FIXTURES

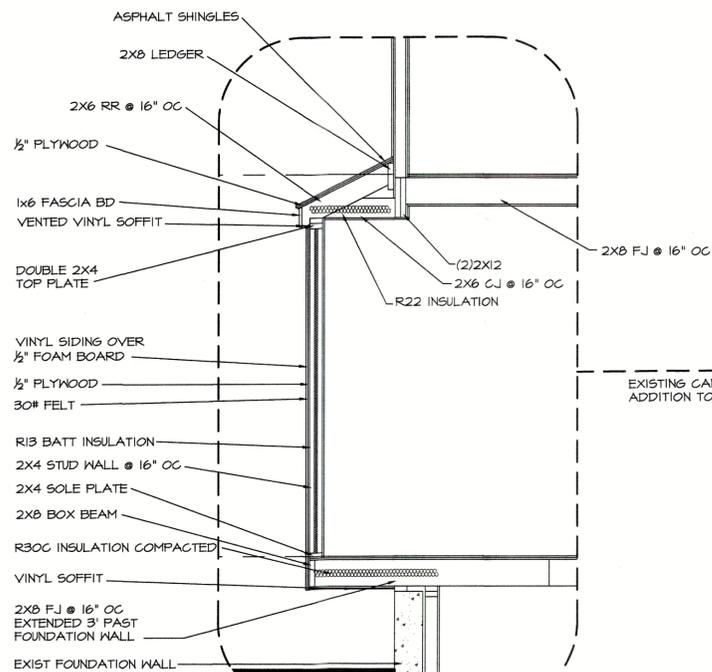


**ATTIC/ROOF PLAN**

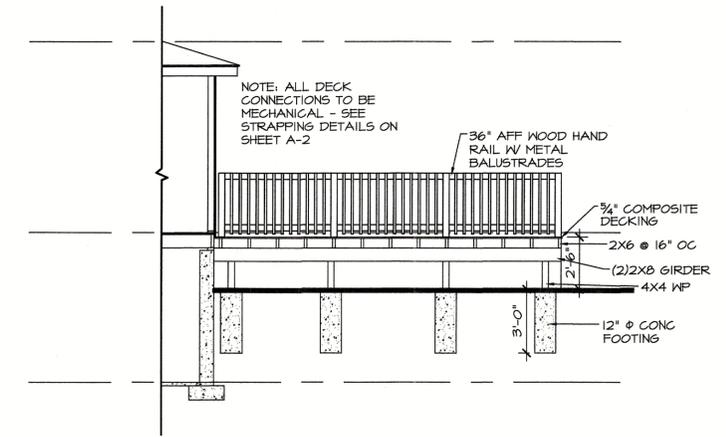
NOTE: ALL CONDITIONS ARE EXISTING UNLESS OTHERWISE NOTED



SCALE = 1/4" = 1'-0"



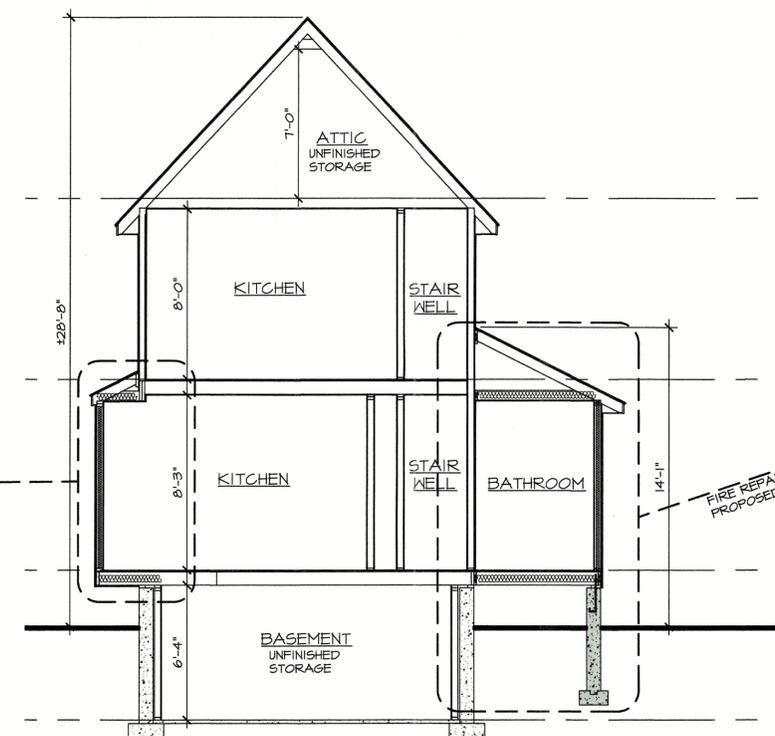
CONTRACTOR TO VERIFY ALL CONDITIONS



**SECTION "B-B"**

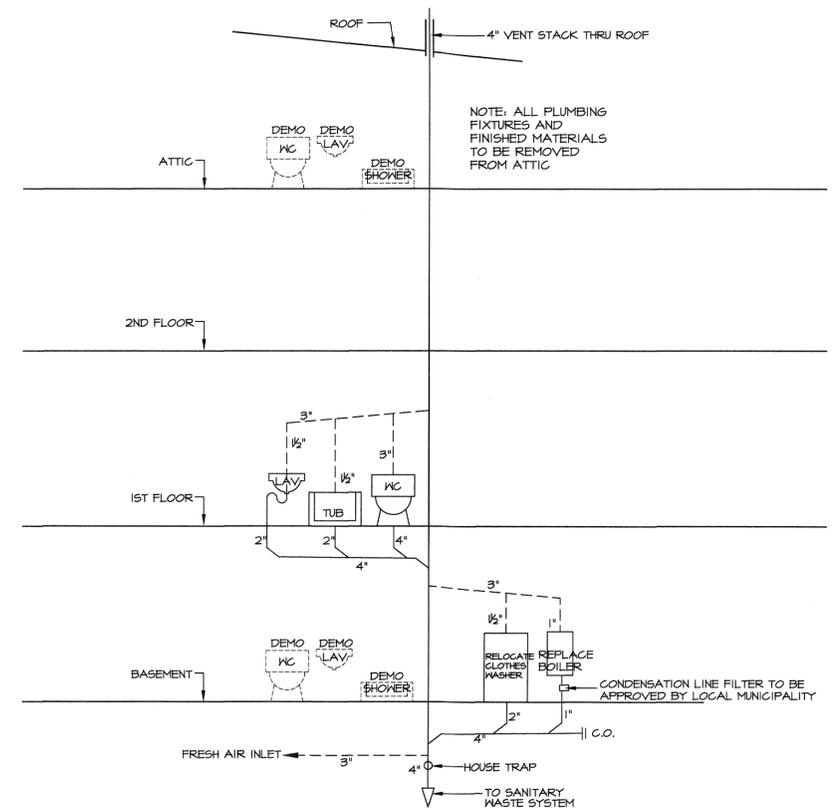
CONTRACTOR TO VERIFY ALL CONDITIONS

SCALE = 1/4" = 1'-0"



**SECTION "A-A"**

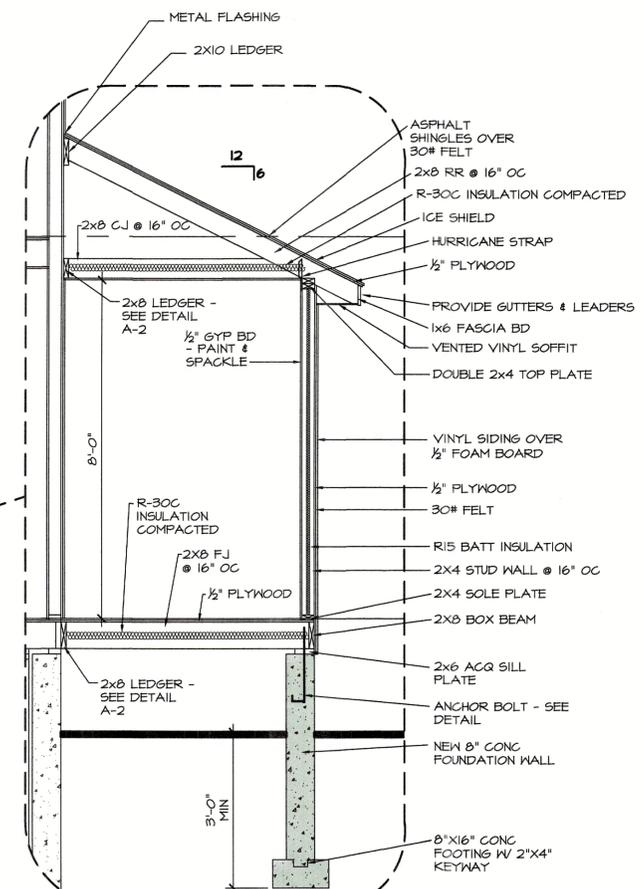
SCALE = 1/4" = 1'-0"



**PLUMBING RISER DIAGRAM**

NOTE: PLUMBING RISER DIAGRAM FOR REPRESENTATIONAL REASON ONLY. NOT TO SCALE

NTS



CONSULTATIONS: TULLI

DESCRIPTION: FIRE DAMAGE REPAIR & MAINTAIN ENCLOSED PORCH WITH PROPOSED BATHROOM. REMOVE FINISHED ATTIC WITH BATHROOM. REMOVE FINISHED BASEMENT & BASEMENT ENTRANCE. MAINTAIN KITCHEN CANTILEVERED ADDITION. MAINTAIN EXISTING REAR DECK. MAINTAIN AND RELOCATE REAR COVERED PLATFORM (GAZEBO). REMOVE EXISTING REAR YARD POOL.

REVISIONS:

FILE NO.:  
CAD DWG FILE: Tullis (see revision 0) dwg  
DWG DATE: September 11, 2024  
DRAWN BY: RS  
CHECKED BY: S

SCALE:

AS PER PLAN

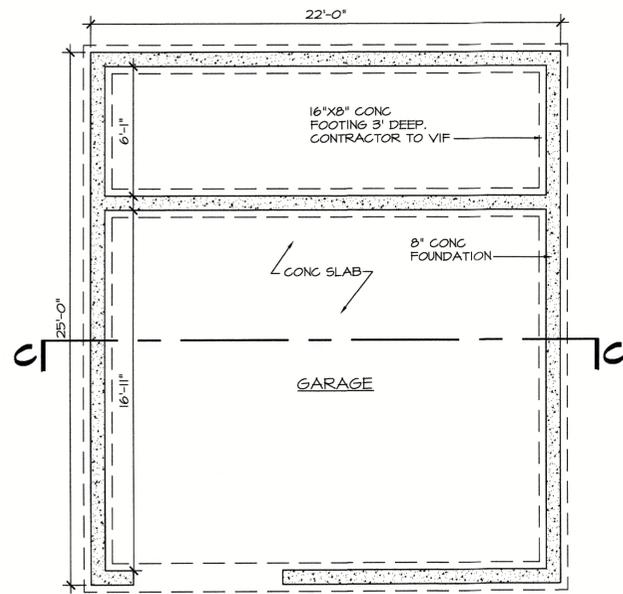
DWG. NAME:  
ATTIC PLAN SECTIONS  
PLUMBING RISER

DWG. NO.:

**A-04.03**

SHEET: 4 OF 6



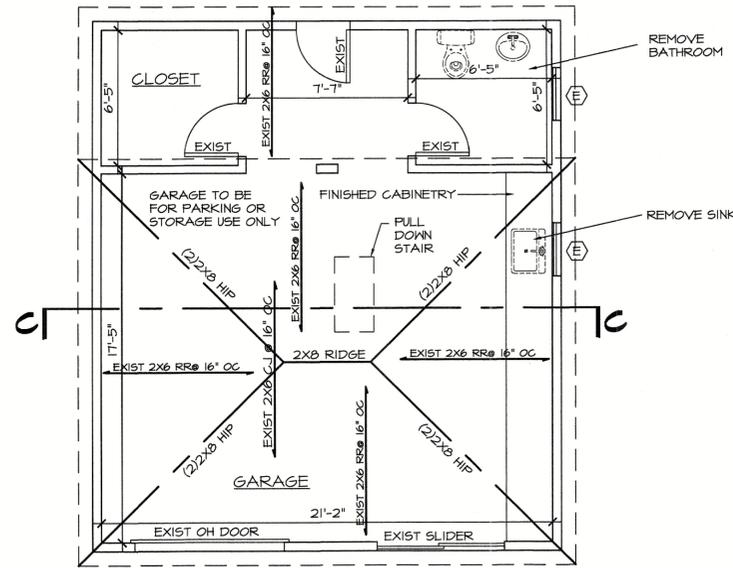


**GARAGE FOUNDATION PLAN**

NOTE: ALL CONDITIONS ARE EXISTING UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY ALL CONDITIONS AND CONTACT ENGINEER.



SCALE = 1/4" = 1'-0"

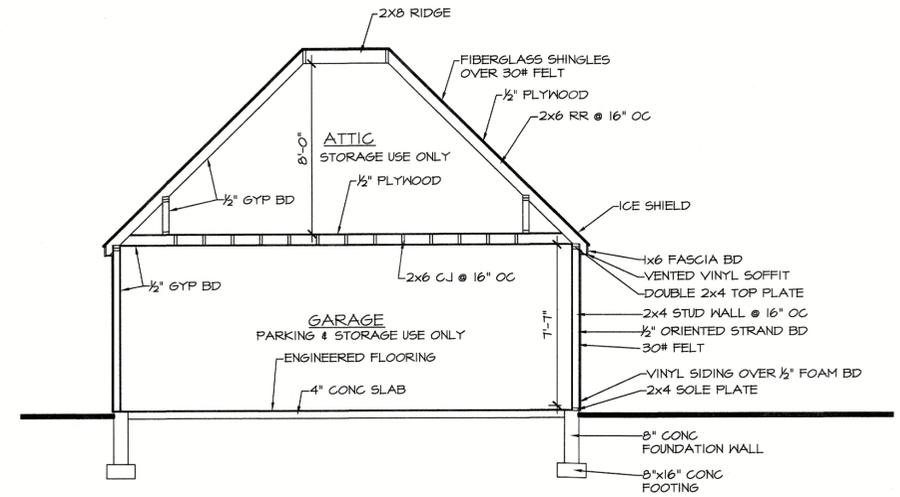


**GARAGE FLOOR PLAN**

NOTE: ALL CONDITIONS ARE EXISTING UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY ALL CONDITIONS AND CONTACT ENGINEER.

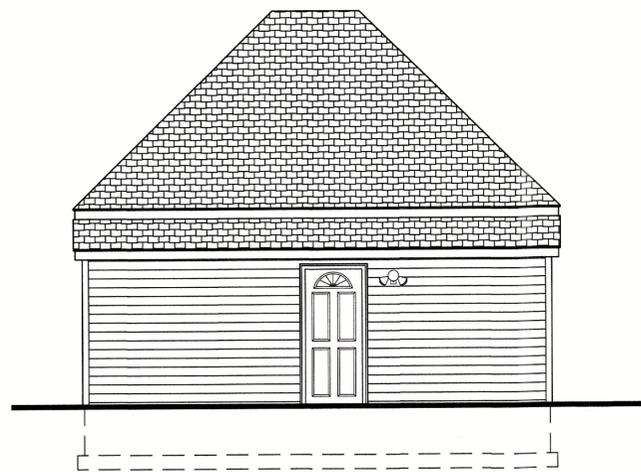


SCALE = 1/4" = 1'-0"



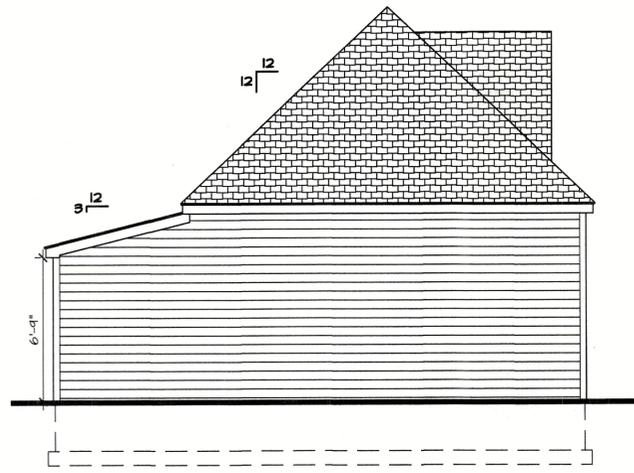
**SECTION "C-C"**

SCALE = 1/4" = 1'-0"



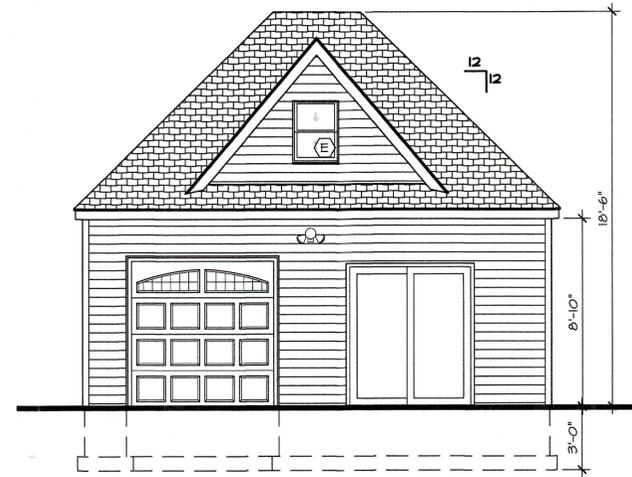
**REAR ELEVATION**

SCALE = 1/4" = 1'-0"



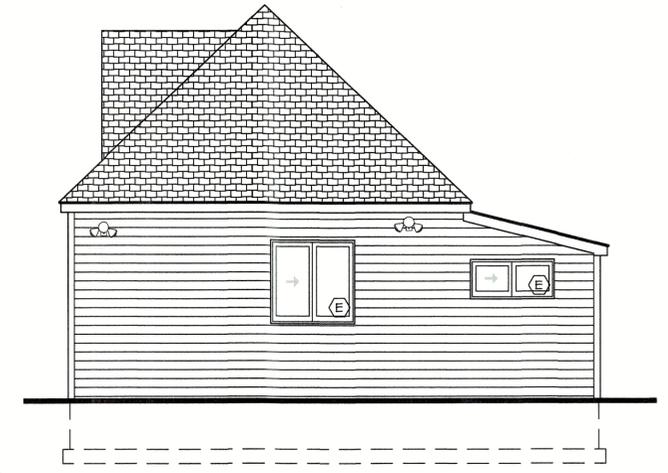
**SIDE ELEVATION (EAST)**

SCALE = 1/4" = 1'-0"



**FRONT ELEVATION**

SCALE = 1/4" = 1'-0"



**SIDE ELEVATION (WEST)**

SCALE = 1/4" = 1'-0"

**SCOPE OF WORK**

1. FIRE DAMAGE REPAIR & MAINTAIN ENCLOSED PORCH WITH PROPOSED BATHROOM
2. REMOVE FINISHED ATTIC WITH BATHROOM
3. REMOVE FINISHED BASEMENT & BASEMENT ENTRANCE
4. MAINTAIN KITCHEN CANTILEVERED ADDITION
5. MAINTAIN EXISTING REAR DECK
6. MAINTAIN EXISTING DETACHED GARAGE
7. MAINTAIN AND RELOCATE REAR COVERED PLATFORM (GAZEBO)
8. REMOVE EXISTING REAR YARD POOL
9. FIRE RATE EXISTING BOILER ROOM
10. REPLACE EXISTING STAIR INTO BASEMENT TO COMPLY WITH CODE
11. REMOVE GARAGE BATHROOM AND PLUMBING FIXTURES

<b>CONSULTATIONS:</b>	DEAN BERRY
<b>REVISIONS:</b>	FIRE DAMAGE REPAIR & MAINTAIN ENCLOSED PORCH WITH PROPOSED BATHROOM REMOVE FINISHED ATTIC WITH BATHROOM REMOVE FINISHED BASEMENT & BASEMENT ENTRANCE MAINTAIN KITCHEN CANTILEVERED ADDITION MAINTAIN EXISTING REAR DECK MAINTAIN EXISTING DETACHED GARAGE MAINTAIN AND RELOCATE REAR COVERED PLATFORM (GAZEBO) REMOVE EXISTING REAR YARD POOL
<b>DESCRIPTION:</b>	78 SWIFT ST. FREEPORT, NY 11520 N.C. TAX NO. 62-16-21

<b>FILE NO.:</b>	
<b>CAD DWG FILE:</b>	13000sheet.dwg
<b>DWG DATE:</b>	September 11, 2024
<b>DRAWN BY:</b>	RS
<b>CHOKED BY:</b>	
<b>SCALE:</b>	AS PER PLAN
<b>DWG. NAME:</b>	GARAGE PLANS, SECTION, & ELEVATIONS
<b>DWG. NO.:</b>	A-06.03
<b>SHEET:</b>	6 OF 6



Application Date: 11/1/2024  
Fees Paid: \$ 225.00

SP# 3792

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 253 GARFIELD ST ZONING DISTRICT RES A  
SECTION 62 BLOCK 91 LOT 426 LOT SIZE: 5,965 SQFT

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	<u>PROPERTY OWNER</u>
Name: <u>OWNER</u>	Name: <u>JEANNIE KELLY</u>
Address:	Address: <u>253 GARFIELD ST</u> <u>FREEPORT, NY 11520</u>
Telephone #:	Telephone #: <u>516 380 4963</u>

ARCHITECT RUSSELL JORDAN Address: 44 CASINO ST  
Attorney Name: (optional) Phone #: 516 241 5969 FREEPORT, NY 11520

Present Land Use: SINGLE FAMILY RESIDENCE Proposed Land Use: SINGLE FAMILY RESIDENCE

Description of Proposed Work: CONSTRUCT 438 SQFT 2ND LEVEL REAR DECK

I request a preliminary meeting:  YES  NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES  NO

Jeannie Kelly  
APPLICANT'S SIGNATURE

7/12/2024  
DATE

Sworn to before me this 12th day of July, 2024.



Michael  
Notary Public

Property Owner's Consent:

I, JEANNIE KELLY am (are) the owner(s) of the subject property and consent to the filing of this application.

Jeannie Kelly Jeannie Kelly  
PROPERTY OWNER'S SIGNATURE

7/12/24 7/22/2024  
DATE

Sworn to before me this 2nd day of July, 2024.



[Signature]  
Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required:  YES  NO

Date of Hearing: \_\_\_\_\_  
Date of Decision: \_\_\_\_\_

Village Clerk's Signature: \_\_\_\_\_

Approved  Denied  
Date: \_\_\_\_\_

Planning Board Signature: \_\_\_\_\_

Date: \_\_\_\_\_



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**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**UPDATED SITE PLAN LETTER  
October 24, 2024**

Jeannie Kelly  
253 Garfield Street  
Freeport, NY 11520

RE: **253 Garfield St, Freeport, NY**  
**Zoning District – Residence A Sec. 62 Blk. 091 , Lot 426**  
**Building Permit Application #20243806**  
**Description – Construct second floor rear deck 438 SF**

Dear Ms.

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-3632.

Very truly yours,

*Sergio A. Mauras*

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

ZBA Approval Needed: YES

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

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Notice

Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20243806

Location: 253 Garfield St

Applicant: Jeannie Kelly

Description: Construct second floor rear deck 438 SF

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: Updated October 24, 2024

*Sergio A. Mauras*

Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.



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**INCORPORATED VILLAGE OF FREEPORT  
VILLAGE CLERK**

46 NORTH OCEAN AVENUE  
FREEPORT, NY 11520  
(516) 377-2300 FAX (516) 771-4127

VILLAGE OF FREEPORT, NY

ROBERT T. KENNEDY  
MAYOR

PAMELA WALSH BOENING  
VILLAGE CLERK

September 20, 2024

Jeannie Kelly  
253 Garfield Street  
Freeport, NY 11520

**Re: Application #2024-11 – 253 Garfield Street, Residence A – Section 62/ Block 091/ Lot 426 – Jeannie Kelly – Construct second floor rear deck (438 sq. ft.). *Variances: Village Ordinance §210-6A, §210-43C (2) Required yards.***

Dear Ms. Kelly:

The above application was before the Zoning Board of Appeals at its meeting held on August 15, 2024 at which time the application reserved. On September 19, 2024 the application was approved. See attached decision from the Zoning Board of Appeals.

If you have any questions or need further information, please call my office at 516-377-2202.

Sincerely,

Remy Watts  
Secretary to the Zoning Board of Appeals  
cc: Sergio A Mauras, Superintendent of Buildings  
Russell Jordan, Architect

INCORPORATED VILLAGE OF FREEPORT  
ZONING BOARD OF APPEALS DECISION

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DATE: September 19, 2024

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VILLAGE OF FREEPORT, NY

APPROVAL

Building Department Permit Application # 20243806

Chairman, regarding Application #2024-11 for the premises located at 253 Garfield Street, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-43C2 seeking approval to construct a second floor rear deck, 438 square feet.

I, Charles Hawkins move that this Board make the following findings of fact:

A public hearing was held on August 21, 2024 wherein applicant Jeannie Kelly and architect Russell Jordan spoke on behalf of Ms. Kelly's application. Mr. Jordan explained that they are proposing a second level deck for a raised ranch house. All of the principal living area is on the second level. The house is at the end of the cul-de-sac on Garfield Street, so it is on a wedge-shaped lot. Due to the curvature of the property line, the corners of the deck encroach into the required 20 foot setback by 1.78 and 2.47 feet. Mr. Jordan explained that the primary concern for setbacks is neighbor views of the canal, but as the property is at the end of the cul-de-sac, no one is obstructing anyone's views. One of Ms. Kelly's neighbors wrote a letter of support, which Ms. Kelly read at the hearing and submitted into evidence.

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
  - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance. As explained by Mr. Jordan, the small encroachment of the deck into the setback area will not impact the neighbors' water views.
  - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance. Building a deck with a curve to match the property line is not a reasonable option, and making the deck smaller would impact the usability of the deck.
  - c. that the requested area variance is insubstantial;

- d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
  - e. that the alleged difficulty may be considered self-created, but this factor is not dispositive.
2. The Board, as lead agency has determined that this action is a Type II action and under SEQRA and no further review is required.

I further move that this application be granted subject to the following conditions:

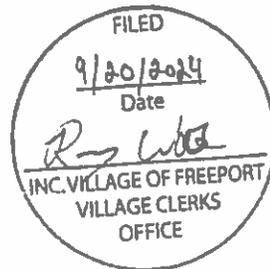
- 1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
- 2. Applicant must obtain the required permits from the Building Department.
- 3. This application for variance(s) is being granted on the basis of the specific use proposed. If anything in this application is to change, the applicant must return to the Board for further review.

Second by: Ben Jackson

The Clerk polled the Board:

Deputy Carey	Excused
Member Mineo	Excused
Member Jackson	In Favor
Member Hawkins	In Favor
Alternate Scopelitis	Absent
Chairperson Rhoden	In Favor

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 VILLAGE OF FREEPORT



617.20  
Appendix B  
Short Environmental Assessment Form

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**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

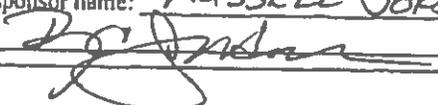
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: <p style="text-align: center; font-size: 1.2em;">KELLY RESIDENCE</p>			
Project Location (describe, and attach a location map): <p style="text-align: center; font-size: 1.2em;">253 GARFIELD ST FREEPORT, NY 11520</p>			
Brief Description of Proposed Action: <p style="text-align: center; font-size: 1.2em;">CONSTRUCT NEW 438 SQ FT 2ND LEVEL DECK</p>			
Name of Applicant or Sponsor: <p style="font-size: 1.2em;">RUSSELL JORDAN</p>		Telephone: 516 241 5969 E-Mail: RJARCHITECT@aol.com	
Address: <p style="font-size: 1.2em;">44 CASINO ST</p>			
City/PO: <p style="font-size: 1.2em;">FREEPORT</p>		State: <p style="font-size: 1.2em;">NY</p>	Zip Code: <p style="font-size: 1.2em;">11520</p>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES <input type="checkbox"/> <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			0.135 acres 0.009 acres 0.135 acres
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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VILLAGE OF ...

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: <u>NOT APPLICABLE TO OPEN DECK</u>	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input type="checkbox"/> YES <u>DOES NOT AFFECT EXIST. STORM WATER DISCHARGE</u>	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO  <input checked="" type="checkbox"/>	YES  <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO  <input checked="" type="checkbox"/>	YES  <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO  <input checked="" type="checkbox"/>	YES  <input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>RUSSELL JORDAN</u> Date: <u>JUNE 12, 2024</u> Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 OFFICE OF THE ATTORNEY GENERAL  
 WILLIAMSBURG, VA

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

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# DEPARTMENT OF BUILDINGS

2024 NOV -1 P 2:04

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 20243806

Filing Date 6/13/24

VILLAGE CLERK'S OFFICE

## Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT LOCATION) <u>253 GARFIELD</u> ZONING DISTRICT <u>RES A</u>
	(No.) (Street)
	BETWEEN <u>PRESIDENT</u> AND <u>GORDON CHANNEL</u>
	(Cross Street) (Cross Street)
SECTION <u>62</u> BLOCK <u>091</u> LOT <u>426</u> APPROX. LOT SIZE <u>IRREGULAR</u> LOT AREA <u>5,965</u> #	

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.	
A. TYPE OF IMPROVEMENT	B. PROPOSED OR EXISTING USE
1     New building 2   <input checked="" type="checkbox"/> Addition-Alteration (If residential, enter number of new housing units added. If non-state none) 3     Swimming Pool 4     Repair (replacement) 5     Bulkhead (New, Repair) 6     Fence 7     Moving (relocation)	RESIDENTIAL 11   <input checked="" type="checkbox"/> One Family 12     Two families 13     Apartment - Enter No. of Units _____ 14     Transient hotel, motel, or dormitory - Enter No. of Units _____ 15     Garage or Accessory Structure 16     Other - Specify _____  NON RESIDENTIAL - Complete Part "E" 17     Industrial 18     Office, bank, professional 19     Stores, mercantile 20     Church, other religious 21     Hospital, institutional 22     Other - Specify _____
C. COST	D. DESCRIPTION OF PROJECT
10 TOTAL COST OF IMPROVEMENT \$ <u>17,520</u>	<u>CONSTRUCT 438 SQ FT NEW. 2ND LEVEL DECK</u>

III. IDENTIFICATION - To be completed by all applicants			
	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>JEANNIE KELLY.</u>	<u>253 GARFIELD 516</u> <u>FREEPORT, NY 11520</u>	<u>380</u> <u>4963</u>
2. Contractor	<u>J &amp; M JOE CONSTRUCTION</u>	<u>516</u>	<u>779</u> <u>0982</u>
3. Architect or Engineer	<u>RUSSELL JORDAN</u>	<u>44 CASINO ST 516</u> <u>FREEPORT NY 11520</u>	<u>241</u> <u>6969</u>

IV. OWNER - CONTRACTOR STATEMENT	V. FLOOD ZONE
Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law. Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____ Contractor or Owner _____ (Print) Address _____ Phone _____ State of New York County of Nassau <u>JEANNIE KELLY</u> being duly sworn, says that <u>SHE</u> is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of <u>HER</u> knowledge and belief and agrees to conform to all applicable laws of this State of New York. (His or Her) <u>ANGELLA ADAMSON</u> Notary Public - State of New York	IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES <input checked="" type="checkbox"/> NO _____ IF YES, WHICH ZONE? <u>AE</u>  IS PROJECT TO REPAIR FLOOD DAMAGE? YES _____ NO <input checked="" type="checkbox"/> PROJECT DESCRIPTION Total/First Flr Square Feet <u>1069</u> Upper Flrs Square Feet <u>1142</u>

RECEIVED

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DEPT. OF ENVIRONMENTAL CONSERVATION  
VILLAGE OF FREEPORT, N.Y.

**PRESIDENT STREET**  
(CARMAN ST)

**GARFIELD STREET**  
(LENOX PL.)

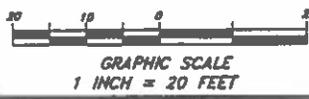
**GORDON CHANNEL**

LEGEND:  
FRM. FRAME  
CMTYR. CANTILEVER  
O.H. OVERPASS  
A/D ROOF OVER  
C/W CONCRETE WALK  
STY. STREET  
O.T. OIL TANK  
F.E. FIRE ESCAPE

CONC. CONCRETE  
BRICK BRICK  
ASPH. ASPHALT  
UTIL. OVERHEAD UTILITIES  
FENCE FENCE

ENC. ENCLOSED  
FNC. FENCE  
GAR. GARAGE  
A.C. AIR CONDITIONER  
CE. CELLAR ENTRY  
W.W. MASONRY WALL  
U.P. UTILITY POLE

M.S. MASONRY  
CONC. CONCRETE  
BRICK BRICK  
ASPH. ASPHALT  
UTIL. OVERHEAD UTILITIES  
FENCE FENCE



**MAP OF PART OF LOTS 247, 248 & 249 INCLUSIVE**  
AS SHOWN ON  
**"MAP OF SPORTSMAN HARBOR, SECTION NO.1"**  
SITUATED AT  
**INC. VILLAGE OF FREEPORT, TOWN OF HEMPSTEAD**  
**NASSAU COUNTY, NEW YORK**

MAP NO. 568

CASE NO. 559 FILED 7/22/1925

TAX MAP DESIGNATION SECTION 62 BLOCK 91 LOT 426

REFERENCE NO: 17350

CHRISTOPHER HENN, L.S.  
SURVEY SOLUTIONS

DATE 5/10/2017

**CERTIFIED TO:**  
TIMOTHY W. HARD  
JEAN LOUISE KELLY  
ADVANTAGE TITLE AGENCY, INC.  
TITLE NO. 17-AN-52145  
OLD REPUBLIC TITLE INS. CO.

**PLANNERS ENGINEERS**  
LAND SURVEYORS  
46 HUNTING HILL DR.  
DIX HILLS, NY 11746  
(631) 858-1675  
Fax 858-1676

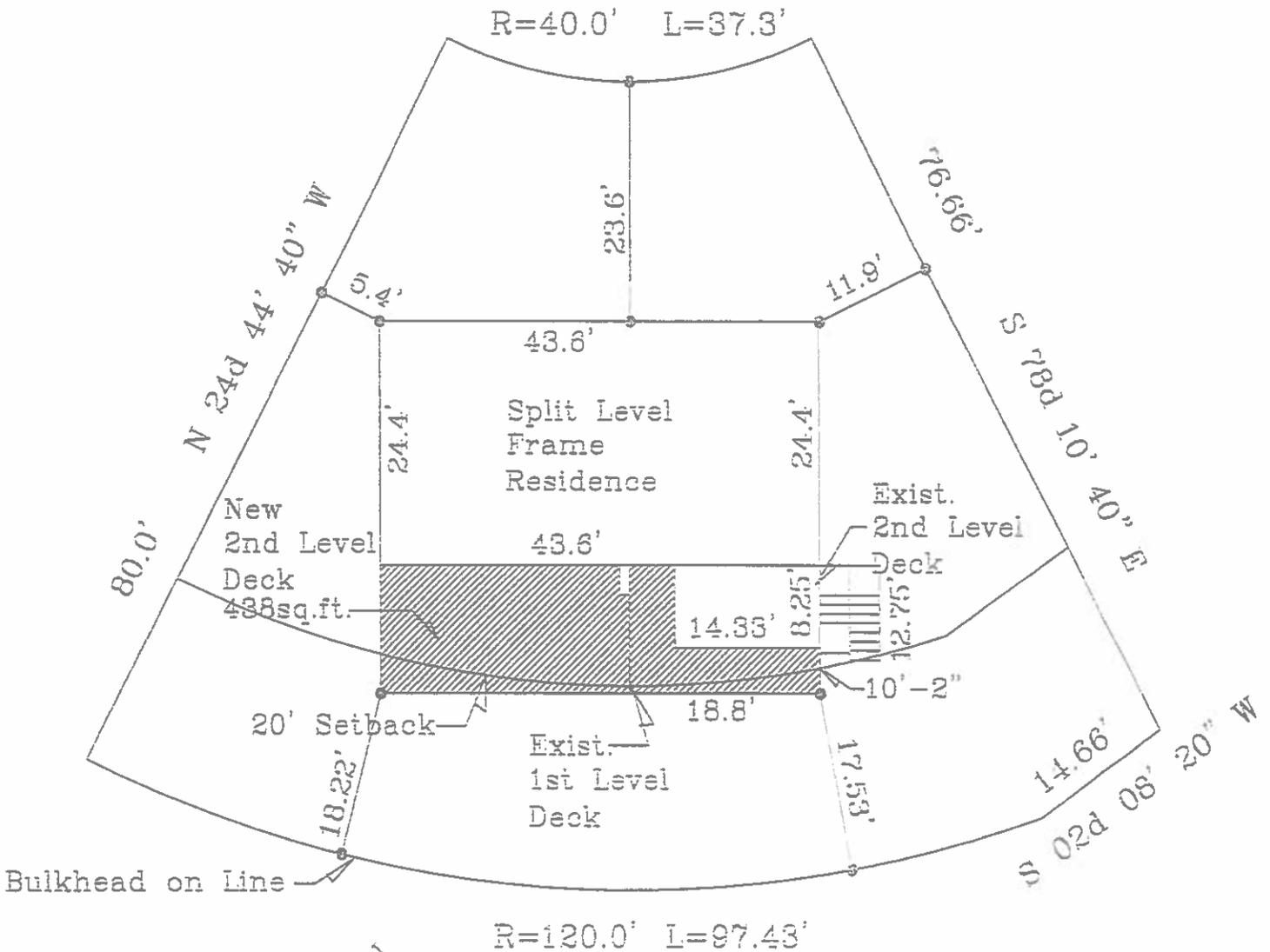
N.Y.S. LIC. NO. 49857  
(C) COPYRIGHT

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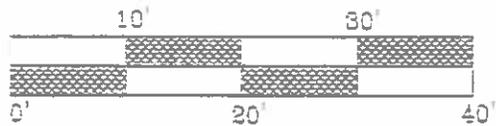
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CIVIL ENGINEERING  
VILLAGE OF FREEPORT, NY

# GARFIELD STREET



# GORDON CHANNEL



## SITE PLAN

253 Garfield Street, Freeport, NY 11520

7-3-2024

Russell C. Jordan Architect

44 Casino Street, Freeport, NY 11520

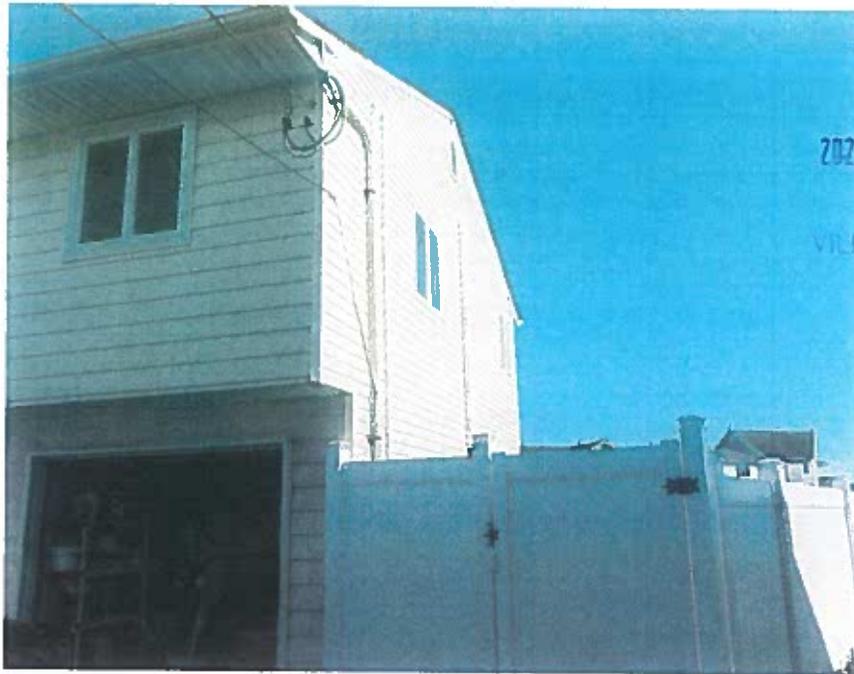


Front of 253 Garfield North Side



House to Left side of 253 Garfield

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11 TOWN'S OFFICE  
VILLAGE OF ALBANY, NY



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VILLAGE OF FREEPORT, NY

West Side of 253 Garfield



Rear South Side of 253 Garfield



East Side of 253 Garfield

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VILLAGE OF FREEPORT, NY



[[aetnholn nhn?imn=IMG\_1190.JPG&id=62091++04230]]

House to right of 253 Garfield



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 VILLAGE OF SENECA  
 PUBLIC WORKS DEPT

HOUSE ACROSS THE ST FROM 253 GARFIELD

**GENERAL NOTES**

- Designed in accordance with ASCE 7-98 Minimum Loads for Buildings and Other Structures.
- All work shall be in compliance with codes of the Village of Freeport, N.Y. State & ICC 2020 Building Code, Energy Code, Existing Building Code, and Fire Codes, NYS DEC, Board of Fire Underwriters and any other authorities Having Jurisdiction
  - The work in this contract shall consist of the labor, equipment and materials necessary for the construction of the work as noted on these drawings. The entire work is to be constructed and finished in every part in a good substantial and workmanlike manner in accordance with the accompanying drawings and specifications to the full intent and meaning thereof. All work is to be done in a finished manner. It is the intention of these drawings, particularly that the smaller details necessary for workmanlike job are to be included by the Contractor. All materials to be stored, installed and maintained during the course of the work in strict accordance with the manufacturer's instructions.
  - The Contractor shall verify all dimensions and conditions and shall report any discrepancies to the Architect prior to commencing work.
  - The Contractor is solely responsible for the means, methods and all aspects of construction and shall take all necessary precautions to insure the safety of all occupants, employees and general public. any materials and property not included in the scope of work shall be similarly protected against damage and if necessary, shall be restored to its original state.
  - The Contractor shall maintain workman's compensation, disability, and public liability, (each type and in any amount to satisfy the law and the Owner) for protection from any claims for damages arising from the contractor's operations under this project.
  - All Plumbing, Electrical and other work as required is to be performed by Freeport approved licensed contractors.
  - The Contractor shall at all times keep the site free from the accumulating of waste material or rubbish caused by operations. At the completion of the work, all waste materials, rubbish, equipment and surplus material shall be removed and the site left in a "broom clean" condition.

**STRUCTURAL LOADS**

Live Loads, minimum lbs/sq.ft.  
 Exterior Balcony 40psf  
 Snow Load 25psf  
 Dead Loads  
 WEIGHTS of MATERIALS lbs (per sq.ft.)  
 Decking 4.0 psf  
 Lumber Joists 3.0 psf

**TYPICAL DEAD LOADS lbs per square foot**

Floor with mud set tile finish = 21 psf  
 Floor with hardwood finish = 12 psf  
 MAXIMUM ALLOWABLE DEFLECTION  
 Deck Joists  
 Live Load = 1/240  
 Total Load = 1/360

**CLIMATIC and GEOGRAPHIC DESIGN CRITERIA Table 301.2 (1)**

Ground Snow Load R301.2(5)	Seismic Design Category R301.2(2)	Wind Design			Subject to damage from: Weathering Terminate		Frost Line Depth	Winter Design Temperature Degrees F	Ice Shield Underlayment Required	Flood Hazard Zone	Mean Annual Temp.	Air Freezing Index
		Speed MPH R301.2(4)	Topographic Effects R301.2.1.5	Special Wind Region R301.2.(4)B	Wind borne Debris Zone R301.2.(4)B	R301.2(3)						
25 psf	B	130 mph	No	No	Within 1 Mile of shore	Severe	Moderate to Heavy	36"	15 F	As per Sec. 905.1.2	AE 100 yr. Flood	52.9 F 1500 or Less

**TREATED WOOD NOTES**

CCA Lumber shall not be used except for Marine uses

Pressure treated lumber for use in ground contact shall be labeled as such by AWPA and shall be treated with either Alkaline Copper Quat, (ACQ type B or D) or Copper Azole, (CBA-A or CA-B) with a retention level of .40 lbs per cu.ft.

Pressure treated lumber for use above ground shall be labeled as such by AWPA and shall be treated with either Alkaline Copper Quat., (ACQ type B or D), or Copper Azole, (CBA-A, or CA-B) with a retention level of .25 lbs per cu.ft.

All flashing in contact with treated lumber shall be either copper or hot dipped galvanized steel. No aluminium shall come into contact with pressure treated lumber.

All joist hangers and similar connectors shall be as manufactured by Simpson type Z-max line or equivalent galvanized to meet G-185 standard, (1.85 oz. of zinc per sq.ft. of metal) and shall be hot dipped. Stainless steel connectors shall be considered an equivalent.

All nails, screws, bolts, and similar fasteners shall be stainless steel or hot dipped galvanized.

**WALL LEGEND**

- New Partition or Wall
- Exist. Wall to Remain
- Exist. Wall to be Removed

**CONCRETE NOTES**

Conform to the following codes and standards Latest Edition:  
 American Concrete Institute-#301 Specifications for Structural Concrete for Buildings.  
 #318 Building Code Requirements for Concrete & Slab Construction.  
 Concrete Reinforcing Steel Institute- Manual of Standard Practice.  
 American Society of Testing Materials - Standards as noted.

**MATERIALS:**

Reinforcing Bars: ASTM A615, Grade 60 Deformed, Ties and Stirrups shall be Grade 40  
 Welded Wire Mesh, (WWM): ASTM 185, Welded Steel Wire, W2.9 x W2.9: 6"x6" unless otherwise noted.  
 Chairs, Spacers, & Misc. Hardware: As approved by CRSI  
 Portland Cement: ASTM C150, Type 1, (Type 3) if approved by Architect  
 Aggregate: Conform to ASTM 33  
 Water: Potable  
 Additives: None unless approved by Architect

**PLACEMENT OF CONCRETE:**

Slump shall be between 2-4" at point of placement as measured by ASTM 143.  
 Do not place concrete in a manner which allows aggregate to separate from the mix.  
 Minimum compressive strength shall be:  
 5000psi for structural concrete @ 28 days  
 4000psi for paving @ 28 days  
 Concrete shall not be re-tempered by the addition of water or cement after it has partially hardened. Place reinforcing according to CRSI recommendations. Minimum 3" cover for work in contact with grade. Minimum 2" cover above grade unless otherwise noted. Lap WWM minimum 12" and tie. All rebar used for below grade applications shall be epoxy coated. Consolidate concrete by hand tamping or mechanical vibrators, maintain proper reinforcing locations.

If temperature falls below 40 deg. F uniformly heat water and aggregate to maintain concrete at 50 deg. to 80 deg. at point of placement. Do not use frozen material, calcium chloride, salts, or anti-freeze. All exterior concrete shall be air entrained. Maximum deviation from flush, plane, or plumb surfaces shall be 1/8" over 10 feet. All slabs shall be level unless otherwise noted. Slabs in garage and/or utility areas shall pitch minimum 1/8" per foot to drain towards either exterior openings or floor drains if provided. Walks shall pitch minimum of 1/8" per foot and maximum of 1/4" per foot to drain water to side of walk.  
 Finishes for slabs shall be as follows unless otherwise noted:  
 Exposed interior including garages: steel trowel smooth  
 Interior to be covered with another finish: consult with Architect prior to placement.  
 Exterior Walks & Drives: Broom finish perpendicular to the path of travel.

**PLACEMENT OF CONCRETE:**

Formwork not supporting the weight of concrete may be removed after 48 hours of curing at not less than 50 deg. F.  
 Formwork supporting the weight of concrete shall not be removed until either the concrete has shown to have achieved its minimum compressive strength through testing or the concrete has cured for 28 days at 50 deg.F or above, or as directed by the Architect in writing.  
 Footings shall be set at a minimum of three feet below grade and shall be below the local frostline. Footings shall be well drained. In soils where clay is present consult with Architect to assure proper drainage.  
 Where new foundation work abuts existing foundations tie new work to old with #5 epoxy coated dowels set minimum 8" into both sides of work and epoxy grouted into old work. Space 8" on center unless noted otherwise.  
 If testing of Concrete is required it shall be done by an independent testing lab approved by the Architect at the Owner's expense.

**STRUCTURAL WOOD NOTES**

All Structural Lumber including Plates, Studs and Blocking Shall be Construction Grade Hem-Fir #2 surface dried to max. 14% moisture content.  
 Lumber shall have the following minimum stress properties:

Fb = 850  
 Fv = 75 Psi  
 E = 1,300,000 Psi

All Structural Lumber shall comply with and be erected in accordance with "The National Design Specification for Wood Construction", latest edition. All lumber shall be grade marked by an approved grading agency prior to delivery at the job site.

Provide Joist Hangers for all flush framed conditions, as Manufactured by Simpson, or equal. Install in accordance with manufacturer's instructions.

All Floor Joists & Rafters shall be bridged at midspan or at intervals not to exceed 8'-0". metal, solid wood blocking and (2) 3/4" x 3" bridging is acceptable. Do not block air flow in rafter bays. Joists and Rafters may be notched max 1.25" and may not be located in middle 1/3rd of span.

All Wall Openings, 4'-0" wide or less, shall have double studs at jambs. Spans wider than 4'-0" shall have double studs for header bearing plus jamb stud.  
 Joists shall be doubled around all openings, under all parallel walls and partitions, and at cantilevers beyond the foundation wall.

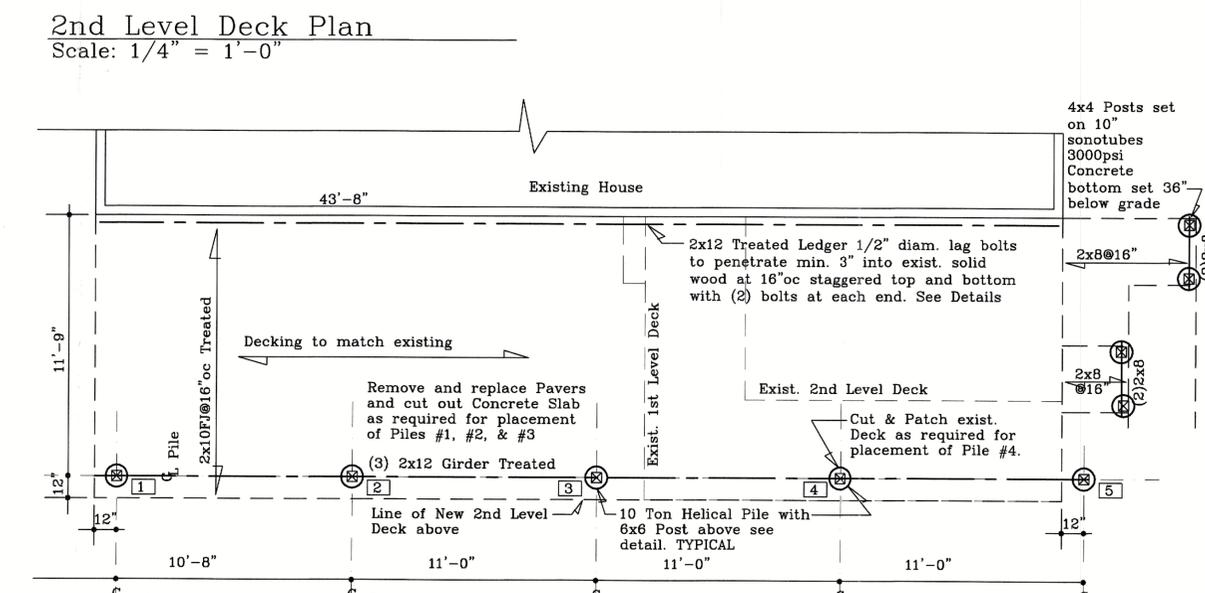
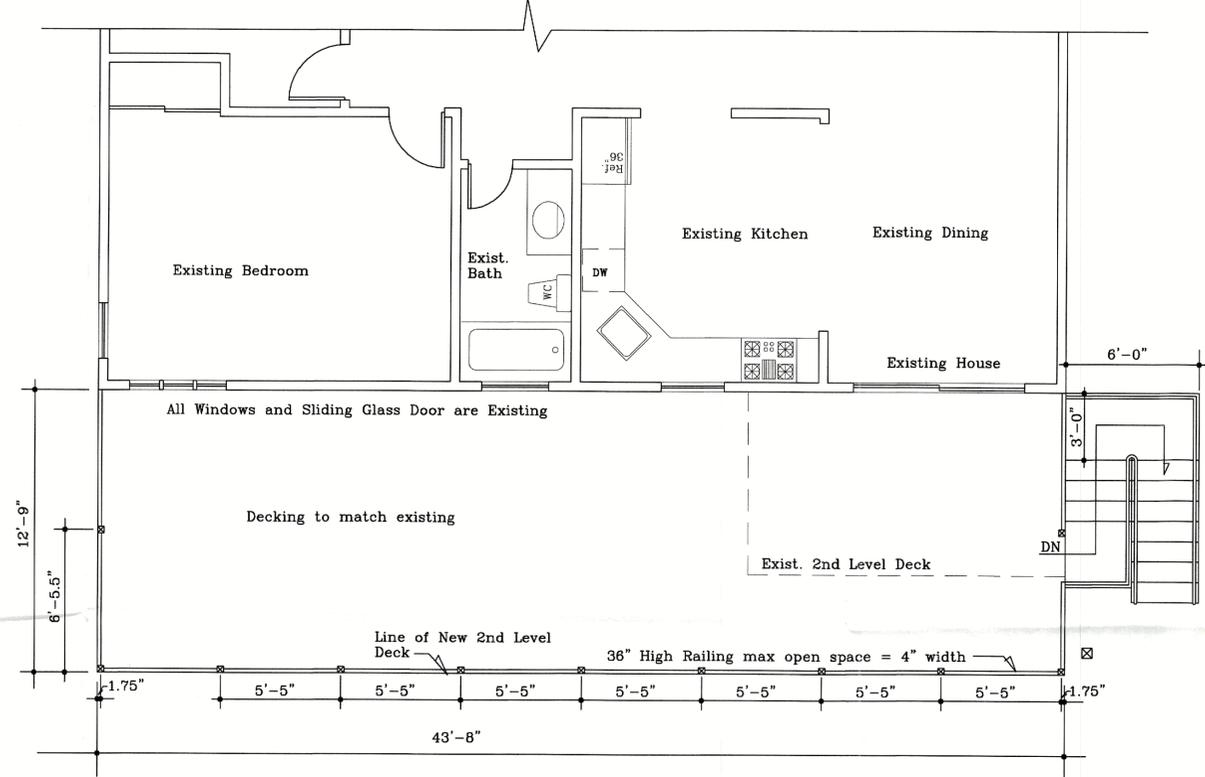
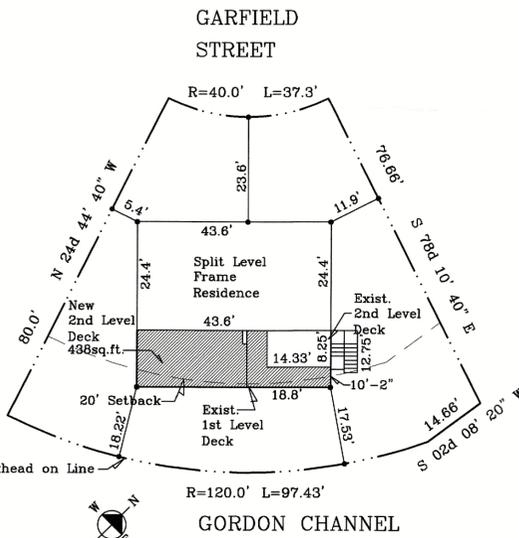
Where Microlam Beams or LVL are called for they shall have fb=3100psi and a modulus of elasticity E=2,000,000psi. If these beams are called out as a nominal dimension such as "2x12" they will have an actual dimension sized to match conventional framing lumber such as 1.75" x 11.25" where thickness is sized to match the supporting stud wall. The terms LVL and Microlam shall be considered to be synonymous and interchangeable

Fire Stopping: All walls and partitions extending more than ten feet in height shall receive solid wood blocking at mid height and/or not to exceed eight foot intervals. All floor penetrations and stairs shall be firestopped.

Stud Sizes & Spacing: In all two story structures 1st floor wood stud bearing walls shall be 2x6 @ 16"oc or 2x4 @ 12"oc. In one story structures or the second floor of two story structures wood stud bearing walls shall be 2x4 @ 16"oc unless otherwise noted. Wood stud bearing walls shall not exceed 10 ft. in height unless specifically approved by the architect. All studs shall be minimum "stud grade #3" or better.

Headers: All headers with a maximum span of up to 5 ft. shall be as called out on plans. If not called out on plans headers up to 5 ft. maximum span shall be (2)2x12 Hem-Fir #2 or better. All headers with a span greater than 5 ft. shall be as called out on plans. If not called out on plans consult with the Architect.

Provide solid blocking behind all horizontal joints in wall sheathing.



**HELICAL PILE NOTES**

The Helical Pile Contractor shall supply the Architect with a helical pile log for all piles driven showing finished depth, ultimate capacity achieved, psi at the torque head, model and capacity of the drive head, lead section used, pile number as indicated on the pile plan, and all extensions used. Log shall be certified by a NY State Registered Architect or Professional Engineer.

Piles shall be as manufactured by Chance or equal and meet the capacity and model type as indicated on the Pile Plan.



**Russell C. Jordan Architect**  
 44 Casino Street, Freeport, New York 11520  
 Phone: 516-241-5969  
 E-mail: RJCarchitect@aol.com

**Kelly Residence**  
 253 Garfield Street

**Proposed 2nd Level Deck**

**Notes and Plans**

**Revisions**

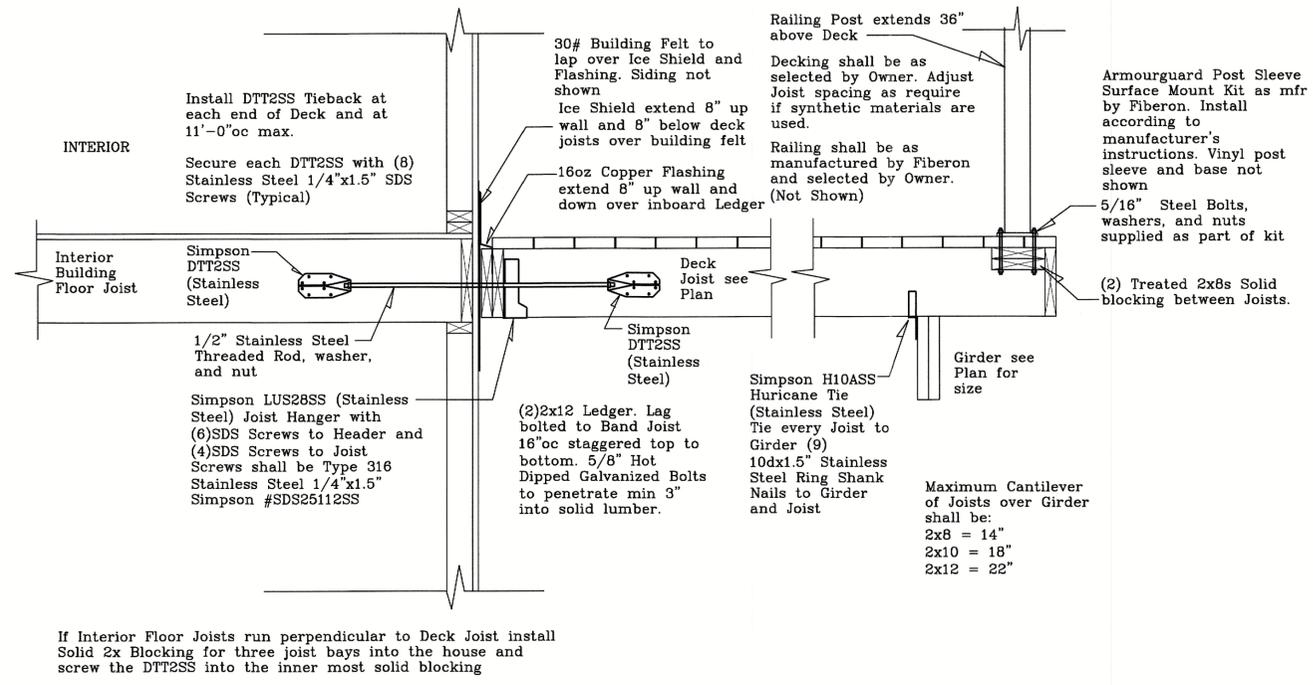
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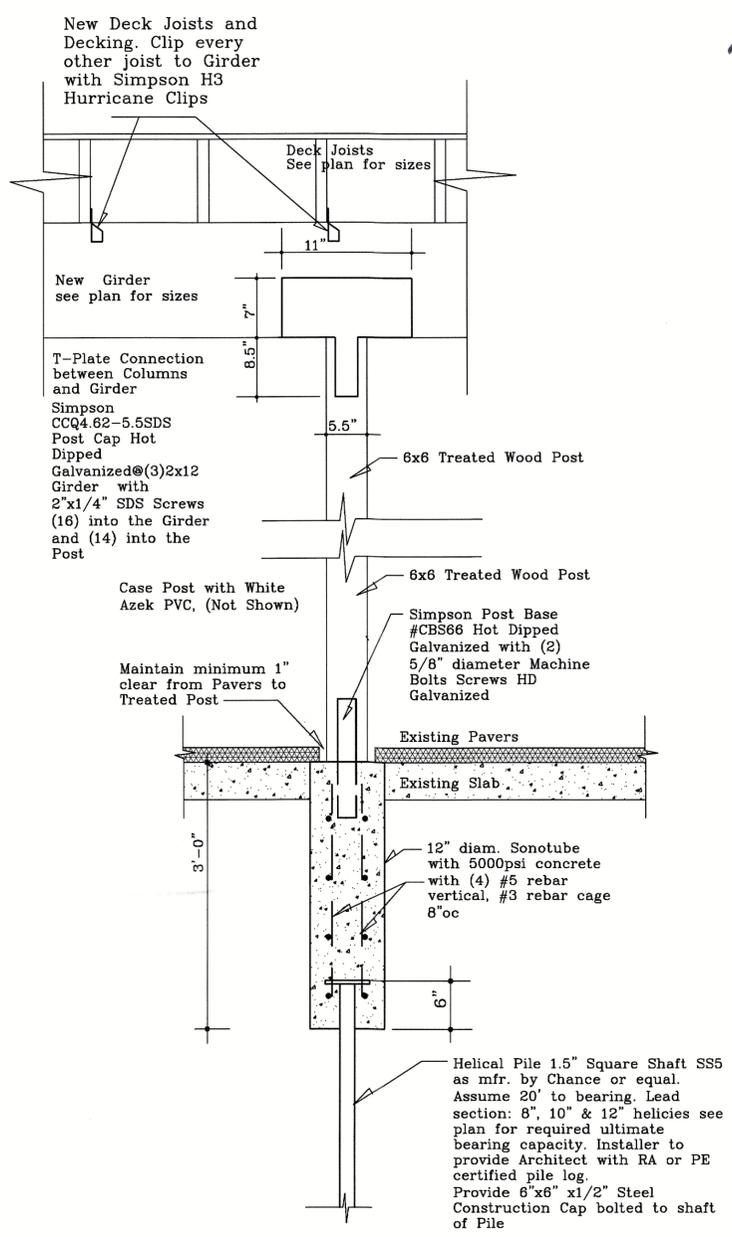


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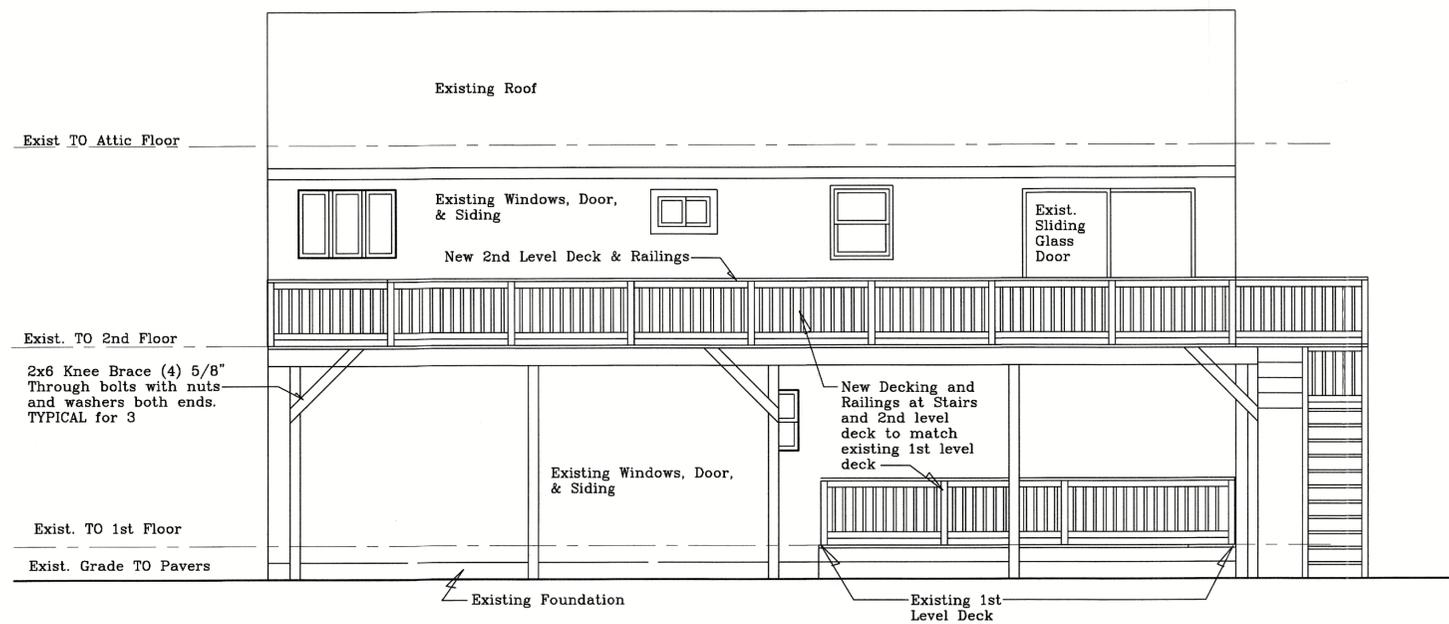
**Russell C. Jordan Architect**  
 44 Casino Street, Freeport, New York 11520  
 Phone: 516-241-5969  
 E-mail: Rjarchitect@aol.com



1  
 A-3.0  
**Typical Deck Ledger and Railing Post Detail**  
 Scale: 1" = 1'-0"



2  
 A-3.0  
**Typical Deck Post (on Pile) Detail**  
 Scale: 1" = 1'-0"



**South, (Rear), Elevation**  
 Scale: 1/4" = 1'-0"

**Kelly Residence**  
 253 Garfield Street

**Proposed 2nd Level Deck  
 Details and Rear Elevation**

Revisions	
#000	6-8-2024

Version: BD-1  
 For Filing with the Building Department

A-2.00

Application Date: 11/13/2024  
Fees Paid: \$225.00

SP# 3793

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 25 EAST 1<sup>ST</sup> STREET ZONING DISTRICT RESIDENCE A  
SECTION 62 BLOCK 069 LOT 169 LOT SIZE: \_\_\_\_\_

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name:	Name: <u>RICHARD LAUDMAN (TRUSTEE)</u>
Address:	Address: <u>2596 CENTRAL AVE BALDWIN N.Y. 11510</u>
Telephone #:	Telephone #: <u>516 902-3433</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: RESIDENTIAL Proposed Land Use: RESIDENTIAL  
2ND DRIVEWAY

Description of Proposed Work: EXTENSION OF CURRENT DRIVEWAY  
TO ALLOW PARKING FOR ADDITIONAL VEHICLES.  
WORK IS ALREADY COMPLETED.

I request a preliminary meeting: \_\_\_\_\_ YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  
\_\_\_\_\_ YES  NO

[Signature]  
APPLICANT'S SIGNATURE  
DATE 11/6/2024

Sworn to before me this 6 day of November, 2024  
DIANA E. GEORGIA  
NOTARY PUBLIC, State of New York  
No. 01GE6038070  
Qualified in Nassau County  
Commission Expires March 6, 2026

Property Owner's Consent:  
I, RICHARD LAUDMAN (TRUSTEE) am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]  
PROPERTY OWNER'S SIGNATURE  
DATE 11/6/2024

Sworn to before me this 6 day of November, 2024  
DIANA E. GEORGIA  
NOTARY PUBLIC, State of New York  
No. 01GE6038070  
Qualified in Nassau County  
Commission Expires March 6, 2026

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<u>Approved</u> _____ <u>Denied</u> _____ Date: _____
Planning Board Signature: _____	Date: _____

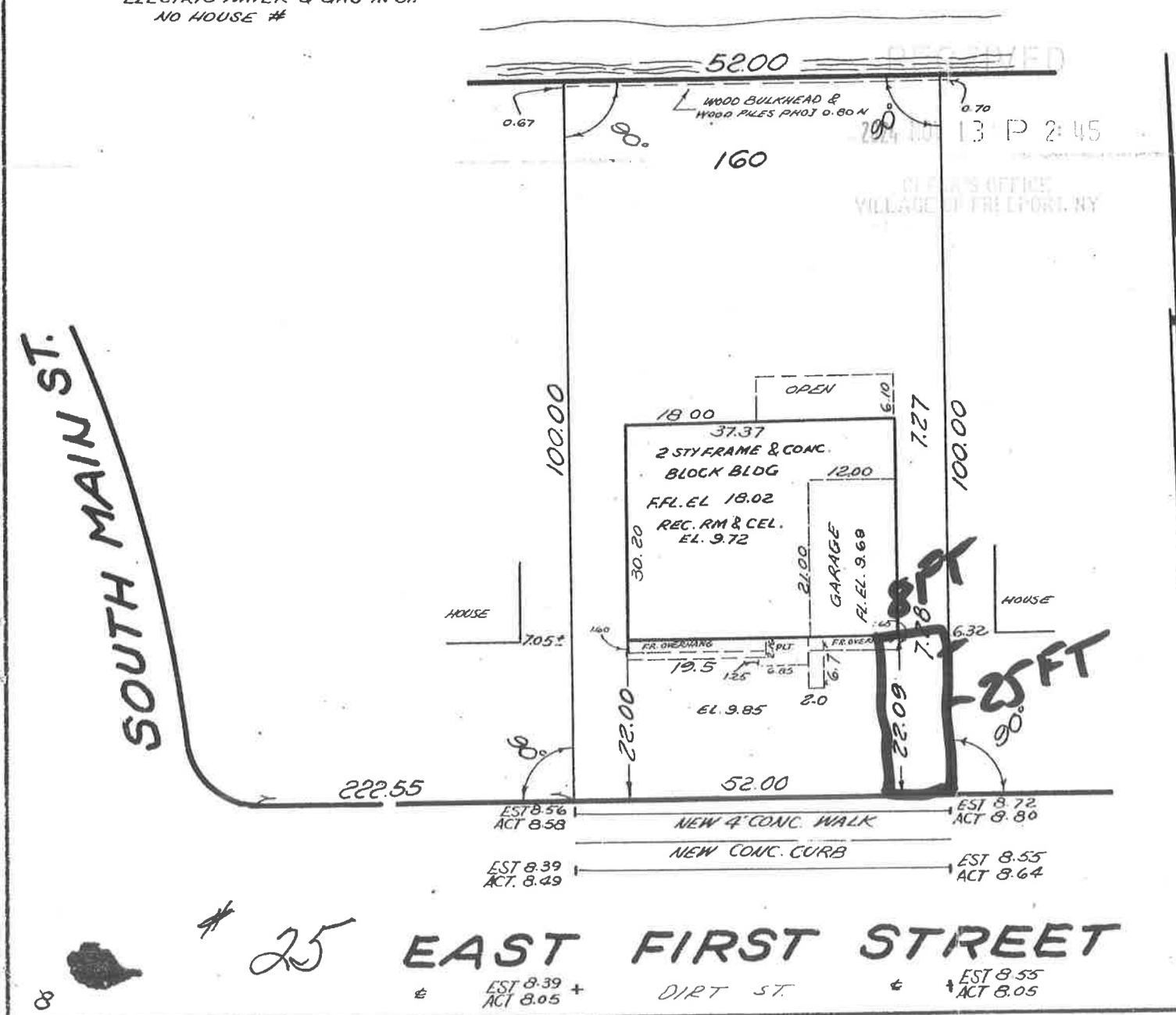
**SUBMISSION CHECKLIST**

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	a. Title of drawing, including name and address of applicant.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. North point, scale, and date.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	c. Boundaries of the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Floodplain boundaries as determined by the Federal Emergency Management Agency.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Location of outdoor storage and description of materials to be stored.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Location and description of all proposed waterfront public access/recreation provisions.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Description of sewage disposal and water supply systems and locations of such facilities.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	n. Location, design and size of all signs and lighting facilities.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	p. Building orientation and site design for energy efficiency and visual quality.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	r. Description and location of erosion control measures including proposed location of sediment sink/setting pond and interceptor swales, etc..
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	u. Estimated project construction schedule.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	v. Record of application for approval status of all necessary permits from federal, state and county officials.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	w. Identification of any federal, state or county permits required for project execution.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.

DRAWN	CHECKED	DATE	SEC.	
A.G.R.	J.D.C	1-10-56	BLK.	69
N.D.	J.D.C	5-15-56	FILE NO.	
H.V.S	H.V.O	9-6-56	JOB NO.	28242

NOTE:  
ELECTRIC WATER & GAS IN ST.  
NO HOUSE #

TEAL CANAL



GUARANTEED TO:  
TITLE GUARANTEE & TRUST Co.  
FREEPORT BANK OF FREEPORT  
FEDERAL HOUSING ADMINISTRATION  
VETERANS - ADMINISTRATION  
*Baldwin & Cornelius Co.*  
*Per file*

RE-DATED: SEPT 4, 1956  
RE-DATED: MAY 11, 1956

**LOT 160**  
**BLOCK 69**  
MAP OF  
**FREEPORT BAY EST.'S**  
SECTION 4  
**FREEPORT**  
**N.Y.**

SURVEYED JAN. 5, 1956  
**BALDWIN & CORNELIUS CO.**  
CIVIL ENGINEERS & SURVEYORS  
LICENSE NO. 793 & 527  
FREEPORT, L.I., N.Y.  
SCALE 1"=20' N.Y. STATE STANDARD



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**

November 2, 2024

Richard Laudman  
25 East 1<sup>st</sup> St  
Freeport, NY 11520

**RE: 25 East 1<sup>st</sup> St Freeport, NY**

**Zoning District – Residence A Sec. 62 Blk. 069, Lot 169**

**Building Permit Application #20243954**

**Description: Extension of driveway by 25'2" x 7'11"**

Dear Sir/Madam

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-3632.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez  
cc: Village Clerk

ZBA Approval Needed: NO

2024 NOV 13 P 2:10  
VILLAGE CLERK'S OFFICE  
FREEPORT, NY

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project:

Building Permit App. 20243954

Location: 25 East 1st St, Freeport NY 11520

Applicant: Zella Jones

Description: Extension of driveway by 25'2" x 7'11"

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:  
(only if positive determination)

Dated: November 2, 2023

*Sergio A. Mauras*

Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form

20243954

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>		
Name of Action or Project: <b>EXTENSION OF DRIVEWAY</b>		
Project Location (describe, and attach a location map): <b>25 EAST FIRST STREET.</b>		
Brief Description of Proposed Action: <b>SECOND DRIVEWAY PARKING SPOT. (CONCRETE) 302" x 95"</b>		
Name of Applicant or Sponsor: <b>RICHARD LAUDMAN (TRUSTEE)</b>	Telephone: <b>516 902-3435</b>	E-Mail: <b>CAM01414@GMAIL.COM</b>
Address: <b>2596 CENTRAL AVE.</b>		
City/PO: <b>BALDWIN</b>	State: <b>N.Y.</b>	Zip Code: <b>11510</b>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<u>4/16</u> acres
b. Total acreage to be physically disturbed?		_____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres
4. Check all land uses that occur on, adjoining and near the proposed action.		
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland		

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FREEPORT TOWNSHIP

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? (If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES) If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? (If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES) If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>RICHARD LAUDMAN (TRUSTEE)</u> Date: <u>9/23/24</u>		
Signature: <u>[Signature]</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.**

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 VILLAGE OF TONAWANDA, NY

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

# DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 20243954  
 Filing Date 9/26/2024

## Application for Erection of Buildings or Alterations

**IMPORTANT** - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>25 EAST FIRST STREET</u> ZONING DISTRICT _____ <small>(No.) (Street)</small>
	BETWEEN <u>SOUTH MAIN ST</u> AND <u>DEAD END</u> <small>(Cross Street) (Cross Street)</small>
	SECTION <u>G2</u> BLOCK <u>G9</u> LOT <u>160</u> APPROX. LOT SIZE <u>100</u> x <u>52</u> LOT AREA _____

### II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

<b>A. TYPE OF IMPROVEMENT</b> 1     New building 2     Addition-Alteration (If residential, enter number of new housing units added. If none-state none) 3     Swimming Pool 4     Repair (replacement) 5     Bulkhead (New, Repair) 6     Fence 7     Moving (relocation)	<b>B. PROPOSED OR EXISTING USE</b>  <table border="0"> <tr> <td colspan="2"><b>RESIDENTIAL</b></td> <td colspan="2"><b>NON RESIDENTIAL - Complete Part "E"</b></td> </tr> <tr> <td>11     <input checked="" type="checkbox"/> One Family</td> <td>17     Industrial</td> <td>18     Office, bank, professional</td> <td>19     Stores, mercantile</td> </tr> <tr> <td>12     <input type="checkbox"/> Two families</td> <td>20     Apartment - Enter No. of Units</td> <td>21     Church, other religious</td> <td>22     Hospital, institutional</td> </tr> <tr> <td>13     <input type="checkbox"/> Apartment - Enter No. of Units</td> <td>23     Transient hotel, motel, or dormitory - Enter No. of Units</td> <td colspan="2">Other - Specify _____</td> </tr> <tr> <td>14     <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter No. of Units</td> <td>24     Garage or Accessory Structure</td> <td colspan="2">Other - Specify _____</td> </tr> <tr> <td>15     <input type="checkbox"/> Garage or Accessory Structure</td> <td>25     Other - Specify</td> <td colspan="2">Other - Specify _____</td> </tr> <tr> <td>16     <input type="checkbox"/> Other - Specify</td> <td colspan="3">Other - Specify _____</td> </tr> </table>	<b>RESIDENTIAL</b>		<b>NON RESIDENTIAL - Complete Part "E"</b>		11     <input checked="" type="checkbox"/> One Family	17     Industrial	18     Office, bank, professional	19     Stores, mercantile	12     <input type="checkbox"/> Two families	20     Apartment - Enter No. of Units	21     Church, other religious	22     Hospital, institutional	13     <input type="checkbox"/> Apartment - Enter No. of Units	23     Transient hotel, motel, or dormitory - Enter No. of Units	Other - Specify _____		14     <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter No. of Units	24     Garage or Accessory Structure	Other - Specify _____		15     <input type="checkbox"/> Garage or Accessory Structure	25     Other - Specify	Other - Specify _____		16     <input type="checkbox"/> Other - Specify	Other - Specify _____		
<b>RESIDENTIAL</b>		<b>NON RESIDENTIAL - Complete Part "E"</b>																											
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15     <input type="checkbox"/> Garage or Accessory Structure	25     Other - Specify	Other - Specify _____																											
16     <input type="checkbox"/> Other - Specify	Other - Specify _____																												

<b>C. COST</b>  10 TOTAL COST OF IMPROVEMENT \$ <u>3,000.00</u>	<b>D. DESCRIPTION OF PROJECT</b> <u>EXTENSION OF DRIVEWAY</u>
---	--

### III. IDENTIFICATION - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>RICHARD LAUDMAN (TRUSTEE)</u>	<u>2596 CENTRAL AVE BALDWIN NY 11510</u>	<u>516 902 3435</u>
2. Contractor	<u>SELF</u>	_____	_____
3. Architect or Engineer	_____	_____	_____

### IV. OWNER - CONTRACTOR STATEMENT

Building permit is issued subject to the provisions of Section 67 of the Workmen's Compensation Law.

Workmen's Compensation Certificate No. \_\_\_\_\_ Company \_\_\_\_\_ Exp. Date \_\_\_\_\_

**RECEIVED**  
 SEP 26 2024  
 FREEPORT BUILDING DEPT.

Contractor or Owner RICHARD LAUDMAN (TRUSTEE)  
 Address 2596 CENTRAL AVE BALDWIN  
 Phone 516 902-3435

State of New York  
 County of Nassau  
RICHARD LAUDMAN being duly sworn, says that HE is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of HSS knowledge and belief and agrees to conform to all applicable laws of this (HIS or HER)

### V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?  
 YES \_\_\_\_\_ NO \_\_\_\_\_  
 IF YES, WHICH ZONE? \_\_\_\_\_

IS PROJECT TO REPAIR FLOOD DAMAGE?  
 YES \_\_\_\_\_ NO

**PROJECT DESCRIPTION**

Total/First Flr Square Feet

Upper Flrs Square Feet

