



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE

FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A MAURAS
SUPERINTENDENT OF BUILDINGS

LETTER OF DENIAL

June 27, 2024

Aaron Kadosh
147 Woodcleft Ave
Freeport, NY 11520

RE: 147 Woodcleft Avenue, Freeport, NY

Zoning District: Marine Commerce Sec. 62 Blk. 177 Lot 534

Building Permit Application #20243675

Description: Proposed 1-story side addition (224 Sq.ft) , 1-story addition (169 Sq.ft) , 2nd story terrace (930 Sq.ft) , roof over deck (424 Sq.ft) and wood shades (240 Sq.ft)

Dear Mr. Kadosh

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. Conformity Required. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-240. Required Yards.

Every structure shall be so situated on its lot as to provide front and rear yards of not less than five feet in width and one side yard of not less than 10 feet in width, except where such lot has a width of 40 feet or less, in which case no side yard is required, and except along streets where greater setbacks have been established. No rear yard shall be required where the rear yard of the lot abuts on a canal or waterway and said lot has a depth of less than 60 feet. According to the drawings indicates that you have a .20' front yard. You will be seeking a variance of 4.8'.

Village Ordinance §210-172. Required parking spaces.

(4) Restaurants, discotheques, cabarets and bars: at least one parking space for each three authorized occupants. The drawings indicate 8 tables with 4 seats with a total of 32 seats provided. You will need a total of 11 parking spaces and only 3 are provided. You will be seeking a variance of 8 parking spaces.

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FREEPORT, NY

Please be further advised that if you intend to appeal this decision you must file a Zoning Board of Appeals application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-2202 to make an appointment to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. Only after this initial appointment should the additional copies be made.

In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application only, please call the VILLAGE CLERK'S OFFICE at 377-2202.

Very truly yours,



Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez, Plans Examiner
cc: Village Clerk

SITE PLAN APPROVAL NEEDED: Yes

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VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20243675

Location: 147 Woodcleft Ave

Applicant: Aaron Kadosh

Description: Proposed 1-story side addition (224 Sq.ft), 1-story addition (169 Sq.ft), 2nd story terrace (930 Sq.ft), roof over deck (424 Sq.ft) and wood shades (240 Sq.ft)

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: June 27, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

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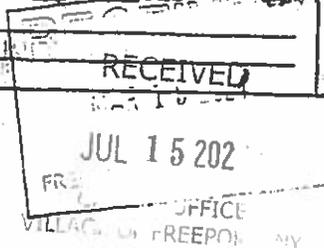
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: KADOSH FAST FOOD							
Project Location (describe, and attach a location map): 147 A WOODCREEK AVE. FREEPORT NY 11520							
Brief Description of Proposed Action: PROPOSED 1 STORY SIDE ADDITION 224 SQ. FT. + WOOD SHADES 240 SQ. FT. + 1 STORY ADDITION 169 SQ. FT. + ROOF OVER DECK 424 SQ. FT. + INTERIOR ALTERATIONS (2 BATHROOMS 2 PIECES + 2 KITCHENS 12 SINKS + 2 GREASE TRAPS) 2ND STORY OPEN TERRACE 930 SQ. FT.							
Name of Applicant or Sponsor: ROBERT PANIPEZ		Telephone: 631-245-2888					
Address: 990 MOTOR PKWY.		E-Mail: PA2012@SPANGBERG.COM					
City/PO: CENTRAL ISLIP		State: NY	Zip Code: 11722				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td align="center"><input checked="" type="checkbox"/></td> <td align="center"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td align="center"><input checked="" type="checkbox"/></td> <td align="center"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action? _____ acres							
b. Total acreage to be physically disturbed? _____ acres							
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres							
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>ROBERT RAMIREZ</u>	Date: <u>3-19-24</u>	
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. _____

JUL 15 2024

Filing Date _____

CLERK'S OFFICE
VILLAGE OF FREEPORT, N.Y.

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>147 A Woodcliff Ave</u> (No.) (Street)	ZONING DISTRICT <u>Marine Com</u>
	BETWEEN <u>Woodcliff Ave</u> (Cross Street) AND _____ (Cross Street)	
	SECTION <u>62</u> BLOCK <u>177</u> LOT <u>534</u> APPROX. LOT SIZE <u>20 x 50</u> (Cross Street) LOT <u>5900 S.F.</u>	

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D	
A. TYPE OF IMPROVEMENT	B. PROPOSED OR EXISTING USE
1 New building 2 <input checked="" type="checkbox"/> Addition-Alteration (If residential, enter number of new housing units added. If none-state none) 3 Swimming Pool 4 Repair (replacement) 5 Bulkhead (New, Repair) 6 Fence 7 Moving (relocation)	RECEIVED MAR 19 2024 MAR 18 2024 RESIDENTIAL 11 One Family 12 Two families 13 Apartment - Enter No. of Units _____ 14 Transient hotel, motel, dormitory - Enter No. of Units _____ 15 Garage or Accessory Structure 16 Other - Specify _____ NON-RESIDENTIAL - Complete Part "E" 17 Industrial 18 Office, bank, professional 19 Stores, mercantile 20 Church, other religious 21 Hospital, institutional 22 <input checked="" type="checkbox"/> Other - Specify <u>FAST FOOD</u>

C. COST	D. DESCRIPTION OF PROJECT
10 TOTAL COST OF IMPROVEMENT \$ <u>135,000</u>	PROPOSED 1 STORY SIDE ADDITION 224 SQ. FT. + WOOD SHADES 240 SQ. FT. + 1 STORY ADDITION 169 SQ. FT. + ROOF OVER DECK 424 SQ. FT. + INTERIOR ALTERATIONS W/2 BATHROOM 2 PIECES + 2 KITCHENS W/6 SINKS + 1 GREASE TRAP E.D. + 2ND STORY OPEN TERRACE 930 SQ. FT.

III. IDENTIFICATION - To be completed by all applicants		
NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee <u>ARON KADOSH</u>	<u>1181 HARBOR RD.</u> <u>HEWLETT NY 11557</u>	<u>347</u> <u>234-3004</u>
2. Contractor <u>FHS</u>		
3. Architect or Engineer <u>THOMAS D. REILLY</u>	<u>4 BEZEL LANE</u> <u>SMITHTOWN, NY 11787</u>	<u>631</u> <u>724-5140</u>

IV. OWNER - CONTRACTOR STATEMENT	V. FLOOD ZONE
Building permit is issued subject to the provisions of Section 67 of the Workmen's Compensation Law. Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____ Contractor or Owner _____ (Print) Address _____ Phone _____ State of New York County of Nassau <u>ARON KADOSH</u> being duly sworn, says that <u>He</u> is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of <u>HIS</u> knowledge and belief and agrees to conform to all applicable laws of this State.	IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES <input checked="" type="checkbox"/> NO _____ IF YES, WHICH ZONE? _____ IS PROJECT TO REPAIR FLOOD DAMAGE? YES _____ NO _____ PROJECT DESCRIPTION Total/First Flr Square Feet <u>1,507</u> Upper Flrs Square Feet <u>930</u>



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SEC. 62 BLK. 177 LOT. 53A

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VILLAGE OF FREEPORT, NY

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
Of
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH
ORIGINAL NOTES

The application of ARON KADOSH 147 WOODCLEFT AVE. FREEPORT, NY

respectfully states and alleges:

Strike out
inapplicable
phrase

1. That the applicant (resides at) (has its principal office for the conducting of its business at)

990 MOTOR PKWY. CENTRAL ISLIP, NY 11722

State whether
applicant is owner,
lessee, or has option
or contract. If other
than owner, state
briefly terms of
agreement.

2. That the premises affected by this application is located at

Land Map of Nassau County

147 WOODCLEFT AVE. FREEPORT, NY 11520 Sec. 62 Blk. 177 Lot(s) 53A

and that the interest which the applicant has in the property concerned is that of

VARIANCE OF REQUIRED YARDS AND PARKING SPACES

3. That (the applicant) (the applicant's duly authorized ROBERT RAMIREZ) on or about the

12 day of MARCH 2024, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows:

PROPOSED 1 STORY SIDE ADDITION (224 S.F.) + 1 STORY ADDITION (169 S.F.) + 2ND STORY TERRACE (930 S.F.) + ROOF OVER DECK (424 S.F.) + WOOD SHADES (240 S.F.)

Obtain reason for
denial from
Department of
Buildings.

4. That on or about the 21 day of JUNE, 20 24, the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows:

VILLAGE ORDINANCE 210-6A CONFORMITY REQD. + VILLAGE ORDINANCE 210-240 REQD. YARDS + VILLAGE ORDINANCE 210-172 REQD. PARKING SPACES

Describe by
construction and
number of stories. If
none, so state.

5. That the nature of the improvements now upon said premises is as follows:

COMMERCIAL BUSINESS

State nature of use of
property. If a
business, give brief
description.

6. That said premises are now being used as follows: COMMERCIAL BUSINESS

Describe fully and
clearly the use
desired.

7. That the applicant seeks authority to make use of said premises as follows:

TAKE OUT FOOD

Strike out whichever
word is not
applicable. Follow
language in
ordinance.

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York

CODE 210-6A
CODE 210-240
CODE 210-172

Refer where possible
to paragraphs and
section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property:

N/A

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

10. That the grounds for this application are as follows:

COMMERCIAL BUSINESS

11. That any deed restrictions running with the land prohibiting the desired use are as follows:

NO

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous preceding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: JULY 3RD, 20 24.

BY: _____
ITS: _____

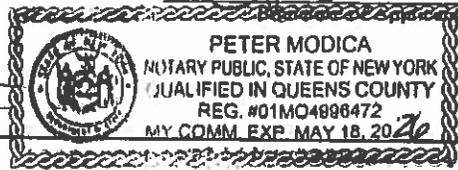
If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York)
County of Nassau) ss:

The applicant ROBERT RAMIRO named in the foregoing application, being duly sworn, depose and say that I read the foregoing application subscribed by MYSELF and know the contents thereof; and that the same is true to MYSELF own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters MYSELF believe MYSELF to be true.

Sworn to before me this 3rd day
of July, 20 24.

Notary Public _____



**Notice
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

JULY 3RD, 20 24.
Date Year

Affidavit of Owner

To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:

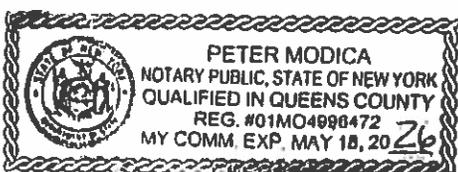
I AARON KADOSH being duly sworn, depose and say:

That he/she (the owner of 147 WOODCLEFT AVE (is the _____ of FREEPORT, NY 11520 the property concerned is correct to the best of the knowledge of deponent _____.)

That the owner AARON KADOSH consents to the granting of the authority sought in the above application.

Sworn to before me this 3rd day
of July, 20 24.

Notary Public _____



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VILLAGE OF FREEPORT, NY

Tuesdays

Carbide Bakery Take Out & Delivery

516-632-0091



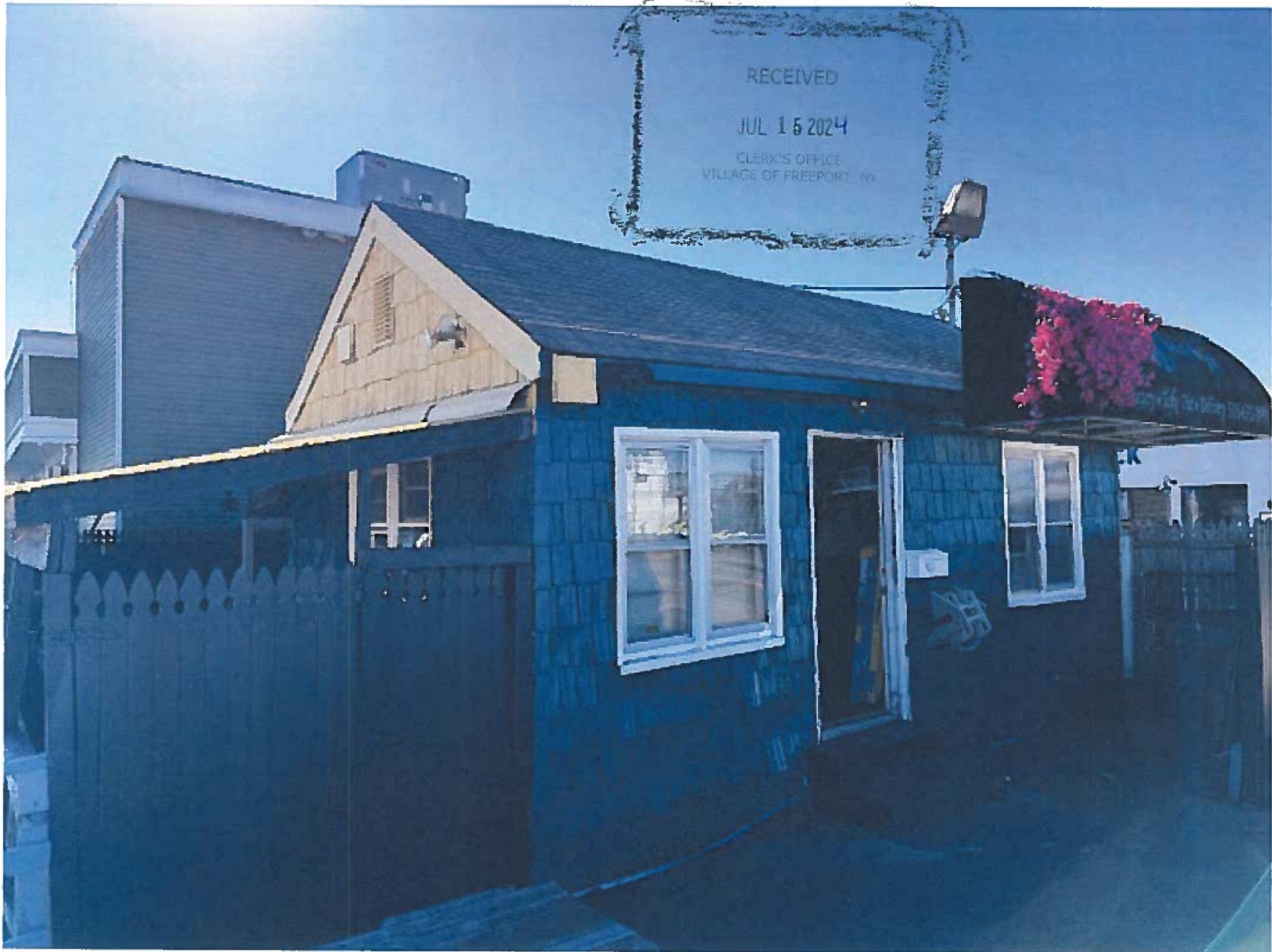
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BELOW-CURTAIN
AVAILABLE

RESERV FOR
CUSTOMER
PARKING
PERMITS
LIMIT



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AVAILABLE
STATION

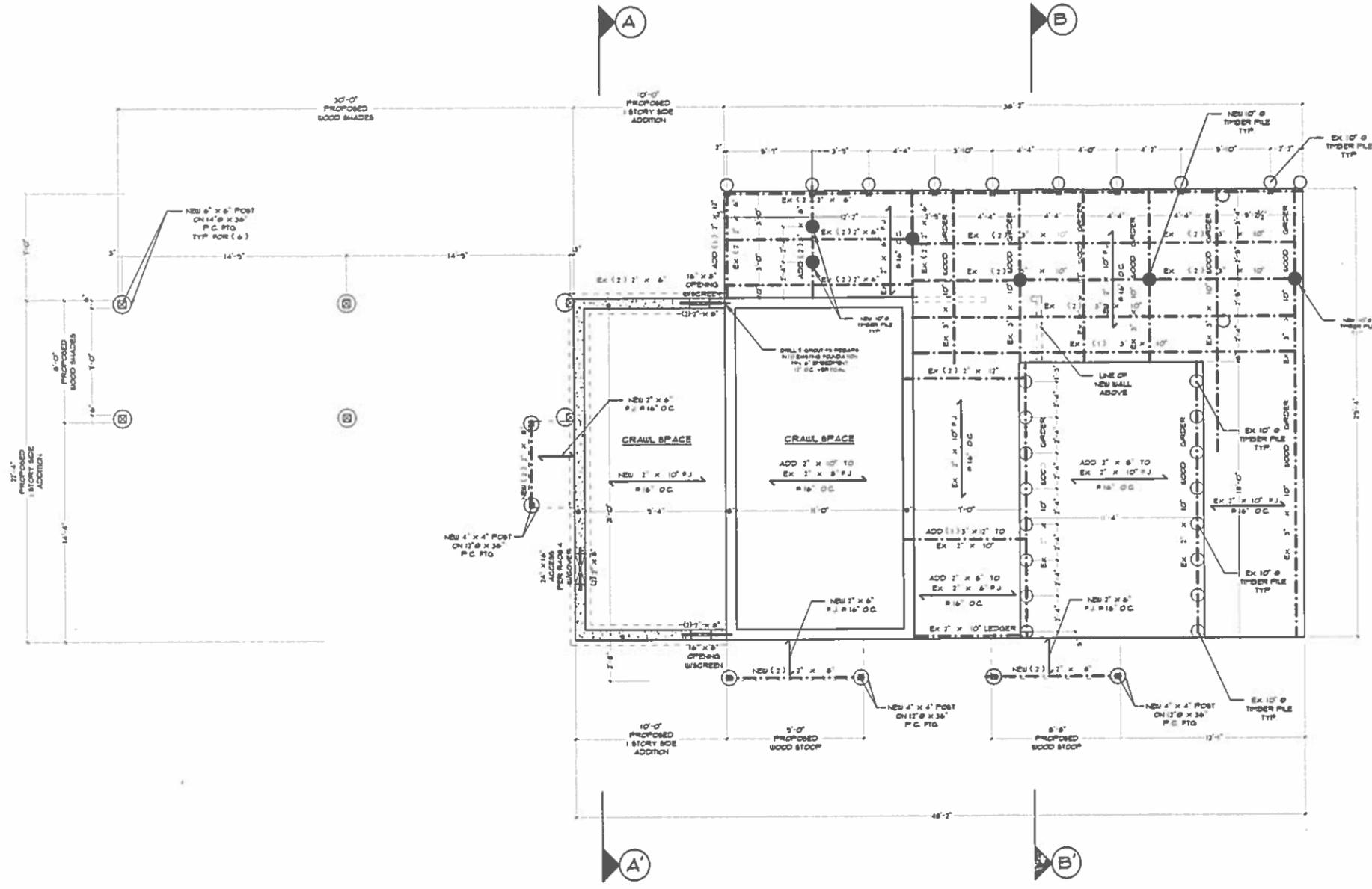


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VILLAGE OF FREEPORT, NY





PROPOSED FOUNDATION FLOOR PLAN
SCALE: 1" = 1'-0"

- LEGEND:**
- EXISTING WALL
 - NEW WALL
 - ▤ BEARING WALL
 - - - - WALL TO REMOVE
 - ⊙ SD SMOKE DETECTOR
 - ⊙ CMO CARBON MONOXIDE DETECTOR
 - ⊗ EXHAUST FAN 50 CFM
 - EXISTING 10" TIMBER PILE
 - NEW 10" TIMBER PILE

NOTE:
ALL NEEDED REPAIRS INDICATED IN REPORT BY CHCE DATED 3-21-23 WILL BE IMPLEMENTED DURING CONSTRUCTION WORK.

ZONING ANALYSIS

ZONE MARINE COMMERCE DISTRICT
RESTAURANT - PERMITTED USE (210-2314)

HEIGHT: (LESS THAN 40 FEET)

REAR YARD: (LESS THAN 60 FEET DEPTH) NO REAR YARD REQUIRED

FRONT YARD: 5 FEET REQUIRED 10' PROVIDED

SIDE YARD: 5 FEET REQUIRED 0' PROVIDED

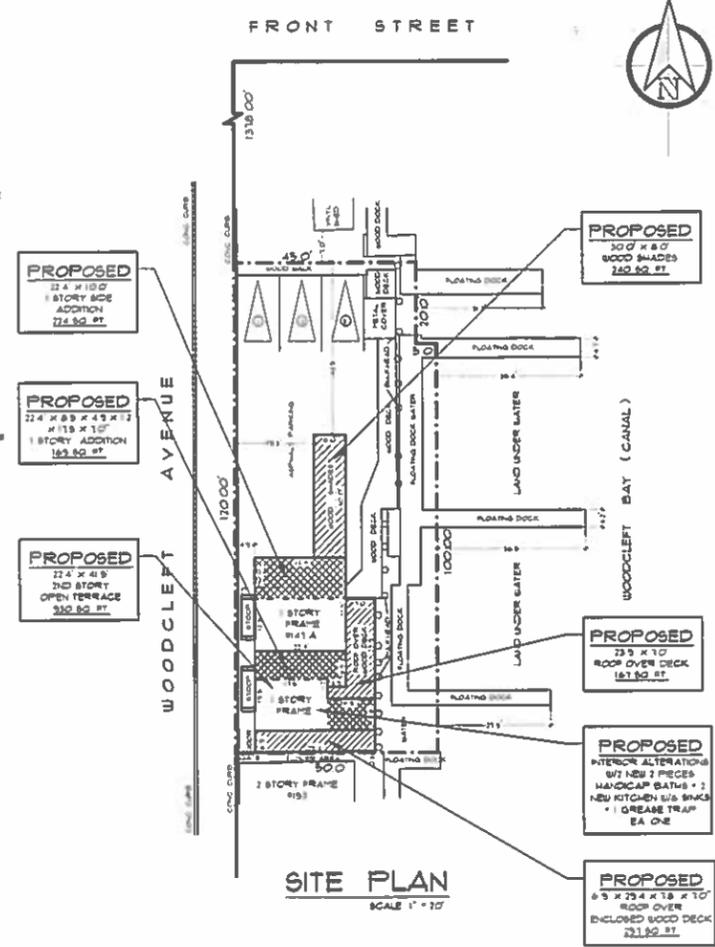
PARKING SPACE REQUIRED:

- CUSTOMERS (12 + 20 X3 = 11)

TOTAL = 11 REQUIRED
3 PROVIDED

PERCENTAGE OF LOT OCCUPANCY = 1601 FT²/5500 = 29% < 50% ok.

JUL 15 2024
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



SITE PLAN
SCALE: 1" = 10'



REVISED:
DATE: 6-4-24
SCALE: 1" = 1'-0"
DRAWN BY: ANDESBAN TAYLOR
PROJECT NO: 07-1024

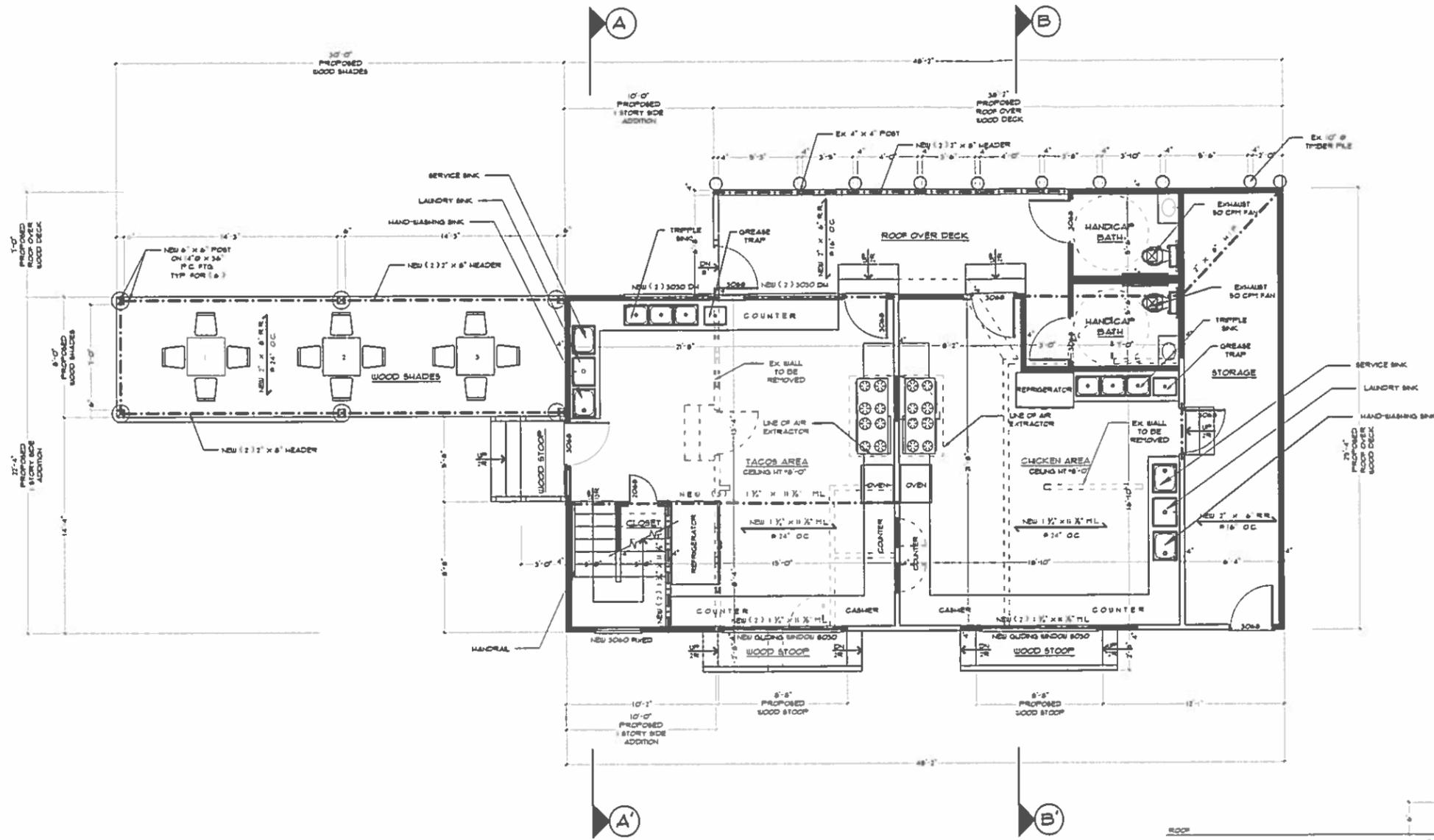
R.A.R. DESIGN & DRAFTING SERVICES
ROBERT RAMIREZ
890 MOTOR PIQUET
CENTRAL BLDG. NY 11722
TEL: (631) 245-7881
OFFICE: (631) 549-4294
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CONSULTING ENGINEER
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SMITHTOWN, NY 11787
TEL: (631) 704-5140
EMAIL: TDREILLY@PEFCOM

PROJECT: **KADOSH FAST FOOD**
1474 WOODCLEFT AVE
FREEPORT, NY 11520
EMAIL: AARON@KADOSHFASTFOOD.COM

TITLE: **FOUNDATION PLAN AND SITE PLAN**

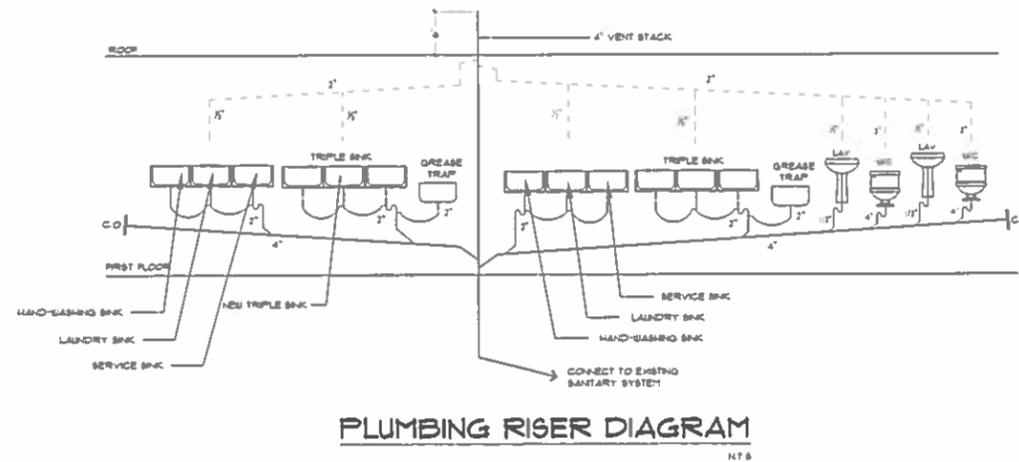
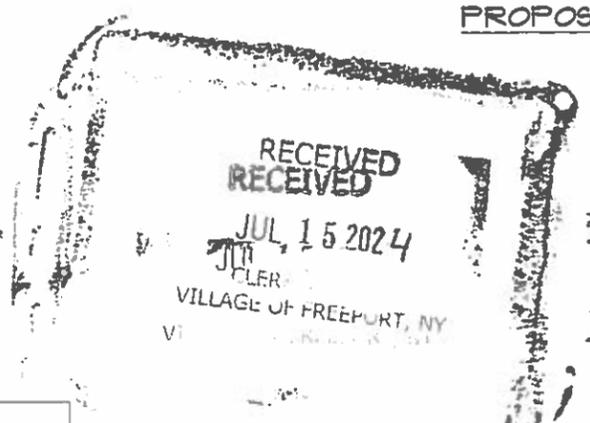
DRAWING NO:
1 OF 5



PROPOSED FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

- LEGEND:**
- EXISTING WALL
 - NEW WALL
 - ▤ BEARING WALL
 - - - - - WALL TO REMOVE
 - ⊕ SMOKE DETECTOR
 - ⊙ CHD CARBONE MONOXIDE DETECTOR
 - ⊗ EXHAUST FAN 50 CFM
 - EXISTING 10" TIMBER PILE
 - NEW 10" TIMBER PILE

NOTE:
ALL NEEDED REPAIRS INDICATED IN REPORT BY CMCE DATED 5-21-23 WILL BE IMPLEMENTED DURING CONSTRUCTION WORK.



PLUMBING RISER DIAGRAM
NTS



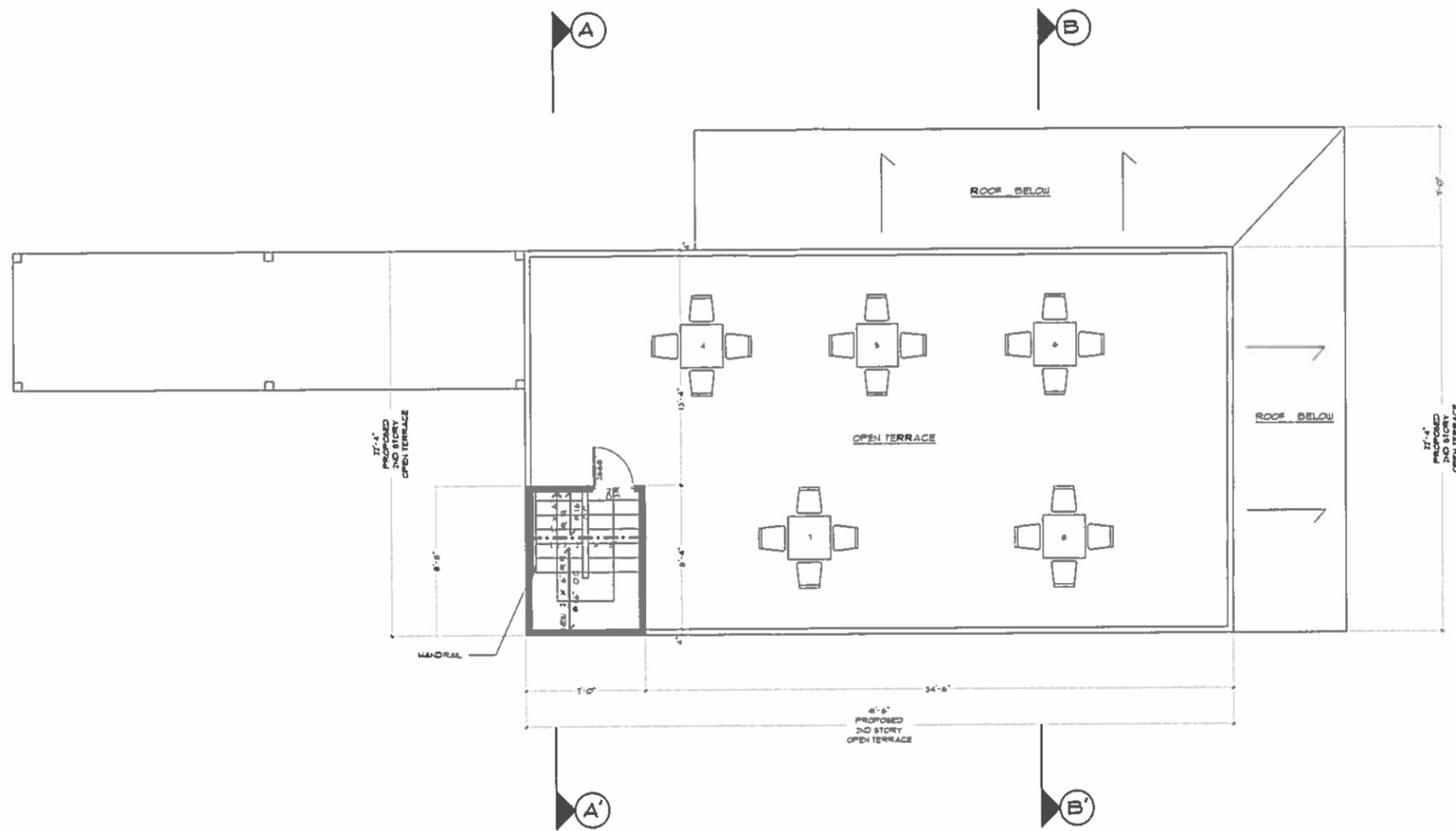
REVISED:
DATE: 9-14-24
SCALE: 1/4" = 1'-0"
DRAWN BY: ARISTARH TAVRAS
PROJECT NO: 07-2024

R.A.R. DESIGN & DRAFTING SERVICES
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TEL: (631) 724-5140
EMAIL: TDREILLY@DRPE.COM

PROJECT: **KADOSH FAST FOOD**
141A WOODCLEFT AVE
FREEPORT, NY 11520
EMAIL: AARON@KADOSHMAIL.COM
TITLE: **FIRST FLOOR PLAN AND PLUMBING RISER DIAGRAM**

DRAWING NO:
2 OF 5



PROPOSED SECOND FLOOR PLAN
SCALE: 1/2" = 1'-0"

- LEGEND:**
- EXISTING WALL
 - NEW WALL
 - ▤ BEARING WALL
 - - - - - WALL TO REMOVE
 - ⊙ SMOKE DETECTOR
 - ⊙ CO2 CARBON MONOXIDE DETECTOR
 - ⊗ EXHAUST FAN 50 CFM
 - EXISTING 10"Ø TIMBER PILE
 - NEW 10"Ø TIMBER PILE

NOTE:
ALL NEEDED REPAIRS INDICATED IN REPORT BY CMCE DATED 9 - 21 - 23 WILL BE IMPLEMENTED DURING CONSTRUCTION WORK.

RECEIVED
JUL 15 2024
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VILLAGE OF FREEPORT, NY



REVISED:
4 - 21 - 24

DATE: 6 - 4 - 24
SCALE: 1/2" = 1'-0"
DRAWN BY: ANASTASIA TAYLOR
PROJECT NO: 07-2024

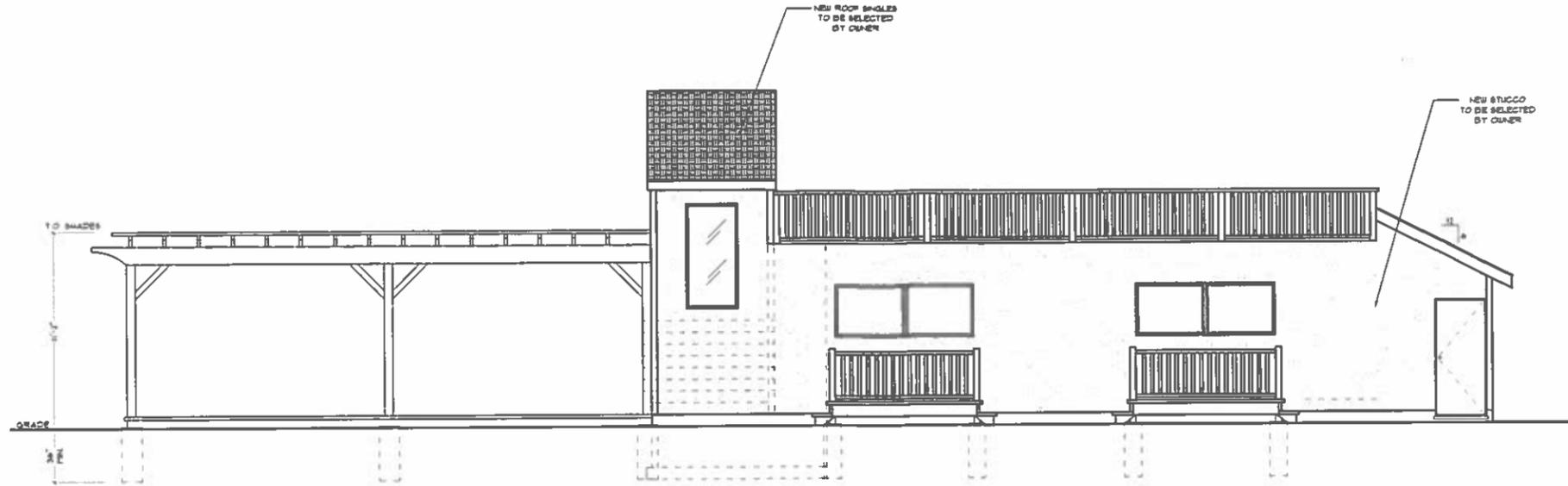
R.A.R. DESIGN & DRAFTING SERVICES
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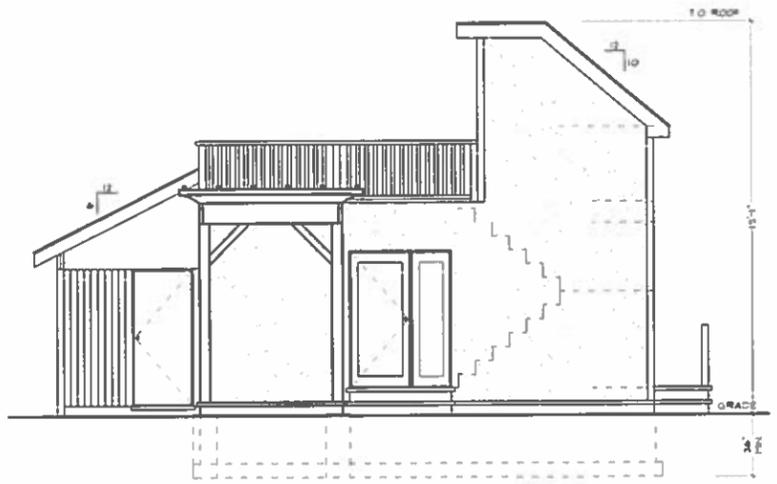
PROJECT:
KADOSH FAST FOOD
147A WOODCLEFT AVE
FREEPORT, NY 11520
EMAIL: AARON@KADOSHMAIL.COM

TITLE:
SECOND FLOOR PLAN

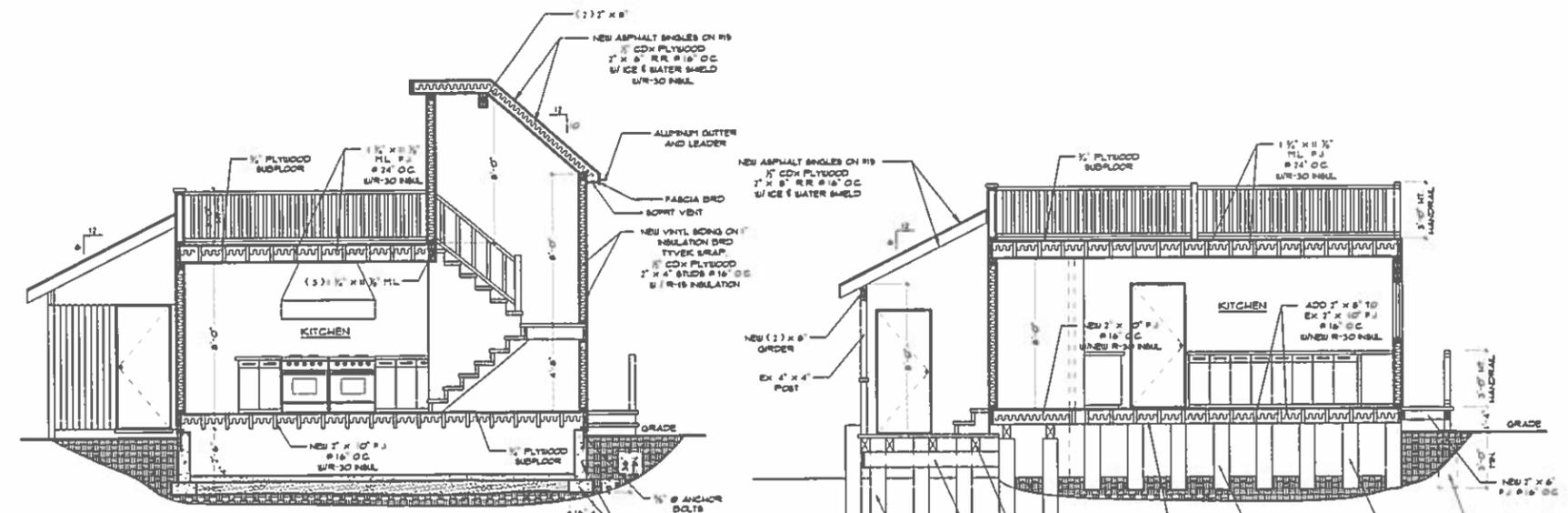
DRAWING NO.
3 OF 5



FRONT ELEVATION
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"



SECTION A-A'
SCALE 1/4" = 1'-0"

SECTION B-B'
SCALE 1/4" = 1'-0"

NOTE:
ALL NEEDED REPAIRS INDICATED IN REPORT BY CMCE DATED 9-21-23 WILL BE IMPLEMENTED DURING CONSTRUCTION WORK.

RECEIVED
JUL 15 2024
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



REVISED:
DATE: 6-4-24
SCALE: 1/4" = 1'-0"
DRAWN BY: ARISTIDIS TAPERAS
PROJECT NO: 07-1024

R.A.R. DESIGN & DRAFTING SERVICES
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EMAIL: TDRE@DRPEL.COM

PROJECT:
KADOSH FAST FOOD
147A WOODCLEFT AVE
FREEPORT, NY 11520
EMAIL: AARON@KADOSHFAST.COM
TITLE:
ELEVATIONS AND SECTION

DRAWING NO:
4 OF 5

FASTENING SCHEDULE (R602.3(1))

(PER 2020 RESIDENTIAL CODE OF NEW YORK STATE)

JOINT DESCRIPTION	NUMBER OF COMMON NAILS	NAIL SPACING
ROOF FRAMING		
1. BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	3-8d	TOE NAIL
2. CEILING JOIST TO TOP PLATE	3-8d	PER JOIST, TOE NAIL
3. CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS [SEE SECTIONS R602.3.1 R602.3.2 AND TABLE R602.5.1(9)]	3-16d	FACE NAIL
4. CEILING JOIST ATTACHED TO PARALLEL RAFTER (HEEL JOINT) [SEE SECTIONS R602.3.1 R602.3.2 AND TABLE R602.5.1(9)]	PER TABLE R602.5.1(9)	FACE NAIL
5. COLLAR TIE TO RAFTER	3-10d	FACE NAIL EACH RAFTER
6. RAFTER OR ROOF TRUSS TO PLATE	3-10d	2 TOE NAILS ON ONE SIDE AND 1 TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER/TRUSS
WALL FRAMING		
8. STUD TO STUD (NOT AT BRACED WALL PANELS)	16d	24" O.C. FACE NAIL
9. STUD TO STUD AND ABUTTING STUDS AT INTERESTING WALL CORNERS (AT BRACED WALL PANELS)	16d	16" O.C. FACE NAIL
10. BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2" SPACER)	16d	16" O.C. EACH EDGE FACE NAIL
11. CONTINUOUS HEADER TO STUD	4-8d	TOE NAIL
12. TOP PLATE TO TOP PLATE	16d	16" O.C. FACE NAIL
13. TOP PLATE TO TOP PLATE, AT END JOINTS	6-16d	FACE NAIL ON EACH SIDE OF END JOINT (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT)
14. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16d	16" O.C. FACE NAIL
15. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANELS)	2-16d	(2) EACH 16" O.C. FACE NAIL
16. TOP OR BOTTOM PLATE TO STUD	4-8d	TOE NAIL
17. TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	2-16d	END NAIL
18. 1" BRACE TO EACH STUD AND PLATE	2-8d	FACE NAIL
19. 1"x6" SHEATHING TO EACH BEARING	2-8d	FACE NAIL
20. 1"x8" AND WIDER SHEATHING TO EACH BEARING	3-8d	FACE NAIL
FLOOR FRAMING		
21. JOIST TO SILL, TOP PLATE OR GIRDER	3-8d	TOE NAIL
22. RIM JOIST, BAND JOIST, OR BLOCKING TO SILL OR TOP PLATE OR OTHER FRAMING BELOW	8d	6" O.C. TOE NAIL
23. 1"x6" SUBFLOOR OR LESS TO EACH JOIST	2-8d	FACE NAIL
24. 2" SUBFLOOR TO JOIST OR GIRDER	2-16d	BLIND AND FACE NAIL
25. 2" PLANKS (PLANK AND BEAM - FLOOR AND ROOF)	2-16d	EACH BEARING, FACE NAIL
26. BAND OR RIM JOIST TO JOIST	3-16d	END NAIL
27. BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS	20d	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND "STAGGERED"
28. LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3-16d	AT EACH JOIST OR RAFTER, FACE NAIL
29. BRIDGING TO JOIST	2-10d	EACH END, TOE NAIL
		EDGES (INCH.)
30. 3/4" - 1/2"	6d (SUBFLOOR, WALL), 8d (ROOF)	6
31. 1/2" - 1"	8d	6
32. 1 1/4" - 1 1/2"	10d	6
OTHER WALL SHEATHING		
33. 1/2" STRUCTURAL CELLULOSE FIBERBOARD SHEATHING	3	6
34. 5/8" STRUCTURAL CELLULOSE FIBERBOARD SHEATHING	3	6
35. 1/2" GYPSUM SHEATHING	7	7
36. 5/8" GYPSUM SHEATHING	7	7
WOOD STRUCTURAL PANEL COMBINATION SUBFLOOR UNDERLAYER TO FRAMING		
37. 3/4" AND LESS	8d	6
38. 3/4" - 1"	8d	6
39. 1 1/4" - 1 1/2"	10d	6

*SEE TABLE R602.3(1) IN IRC FOR ALTERNATE FASTENING REQUIREMENTS.

WINDOW NOTE FOR LOCATIONS WITHIN ONE MILE OF SHORELINE:

All new windows and glass doors shall meet the requirements of the large missile test of ASTM 1996 and or ASTM E 1886. The Contractor shall provide pre-cut 1/2" plywood panels to cover the glazed openings & shall pre-drill edges at 12" oc to accept 2-1/2" #8 wood screws and provide adequate number of screws for fastening.

CODE ANALYSIS

PERMANENCY: Residential-Single Family Detached

APPLICABLE STANDARDS: Plans are in compliance with 2020 Residential Code of New York State and ASCE 7-18

DESIGN LOADS:
 Decks/Balconies: 60 psf
 Attics: 20 psf
 Rooms other than Sleeping Rooms: 40 psf
 Sleeping Rooms: 30 psf
 Stairs: 40 psf
 Hazardous: 200 psf
 Roof: 20 psf ground snow load
 Basic Wind Speed: 130 mph
 Uplift: 31 psf
 Dead Load: 10 psf

DEFLECTION LIMITS:
 Rafters with no finished ceiling attached: L / 180
 Floors: L / 360

ENERGY NOTES

- Calculations are valid up to 5989 degree days.
- Cellulose insulation for Zone 11B.
- Wood framed floors, walls and ceilings shall have an approved vapor barrier (permeance rating of 1.0 perm) installed on the "warm" or "interior" side of thermal insulation.
- Windows and sliding doors shall have a max. air infiltration rating of 0.3 CFM per square foot of window area. Sliding doors shall have a max. air infiltration rate of 0.5 CFM per square foot of door area.
- Single sheets shall have a minimum insulation value of R-19.
- Corrogs - front, sides, doors, interior shall have max. U=0.40.
- All windows shall be provided with a damper for outside combustion air (150-200 CFM). All doors shall have tight sealed damper with a max. air leakage of 20 CFM. All replacements shall have tight-fitting non-combustible doors.
- The Contractor shall submit the design, size and type of mechanical systems which will be used, in sufficient detail, as required by the Building Department.
- All thermostats shall be adjustable from 55 degrees to 85 degrees Fahrenheit.
- All ducts and pipes shall be insulated as required by code.
- HVAC Contractor shall verify heat loss calculations.
- All boiler and/or basement doors shall be insulated.
- The Engineer certifies that to the best of his knowledge, belief, and professional judgment that the plans are in compliance with the Energy Conservation Construction Code of New York State 2020.

SAFETY GLASS REQUIREMENTS

- SAFETY GLASS REQUIRED AT THE FOLLOWING LOCATIONS:**
- Any glazing in any door type.
 - Glazing in any walls enclosing a shower, tub, sauna or steam room.
 - Any windows within 24" of a door.
 - Any individual pane of glass with an area greater than 9.0 sq. ft. where the bottom is less than 18" above the adjacent finish floor within 36" of the window.
 - Glazing in walls of hot tubs or indoor pools within 5'-0" of the water.
 - Glazing in stairways and landings within 5'-0" horizontally of a walking surface.
- * THE REQUIREMENT DOES NOT APPLY IF THE BOTTOM EDGE OF THE GLASS IS MORE THAN 60" ABOVE THE FLOOR.

ASPHALT ROOF SHINGLE NOTES

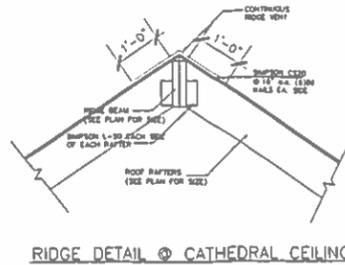
- Asphalt roof shingles shall have self-sealing strips or shall be interlocking and shall comply with the requirements of ASTM D-225 or D-346, installed in accordance with section R602.2.
- All fasteners for asphalt roof shingles shall be galvanized steel, stainless aluminum, or copper roofing nails. Fasteners shall be minimum 12 gauge shank with a minimum 3/8" dia. head, and of sufficient length to penetrate through the roofing materials and the sheathing.
- Asphalt roof shingles shall have the maximum number of fasteners as required by the manufacturer.
- For normal applications, asphalt roof shingles shall be secured to the roof with no less than four (4) fasteners per strip shingle or two (2) fasteners per individual shingle.
- Asphalt strip shingles shall have a minimum of six (6) fasteners per shingle where the eave is 20 feet or higher above grade or where the base wind speed is 120 mph or greater.

GENERAL CONSTRUCTION NOTES

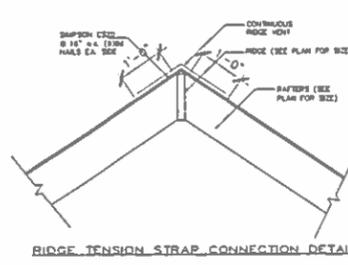
- All work shall conform to the requirements of the 2020 New York State Residential Code. All work shall also conform to the requirements of any other Codes and authorities having jurisdiction. The Contractor shall obtain and arrange for all required permits, inspections, certificates and tests.
- All handrails shall rest on undisturbed soil at 1 1/2" bearing capacity; contractor shall have the level of acceptable bearing strata verified in the field.
- Concrete has been designed in accordance with ACI 318-14 "Building Code Requirements for Structural Concrete". All concrete work shall conform to requirements and recommendations of ACI-308-16 "Specifications for Structural Concrete for Buildings" (C = 3000 psi). All exposed walls, garage slabs, and steps shall be 2000 psi air-entrained. Reinforcing steel shall conform to ASTM A-615 Grade 60.
- All framing members shall be Hem-Fir #1 (Fb = 975psi); provide (2) 2x8 header over all wall openings, unless otherwise noted.
- Members, girders (1x4) shall be laminated veneer lumber with E=2,000,000 PSI; Fb = 2,800 PSI, as manufactured by TRUS-JOIST SYSTEM.
- Double frame around all openings, under parallel walls and under bathtubs. Provide Simpson hanger connections at all beam structural load bearing conditions.
- All concrete block shall conform to ASTM C90; Mortar shall be type "M".
- All steel work shall conform to the requirements of the AISC "Specifications for Design, Fabrication and Erection of Structural Steel for Buildings". Steel shall conform to ASTM A-36 (GRADE 50) and A-501.
- All electrical work shall conform to local NEC and Underwriters Laboratory requirements.
- Pre-fabricated Trusses and Rafters shall be UL approved.
- Install smoke detectors and carbon monoxide detectors in accordance with all state and local code requirements.
- The Contractor shall verify all existing conditions before starting construction and shall notify the engineer of any ambiguities or discrepancies before proceeding with the work. If any questions arise before or during construction as to the intent or details of the drawings, the contractor shall call the engineer, Thomas D. Reilly, at (931) 724-5740 for clarification and/or instructions. If the contractor fails to follow the above procedure, he shall assume all responsibility for the consequences of his actions and/or decisions.
- The owner shall arrange for supervision of the construction work to insure compliance with the contract documents.
- When using ACQ pressure treated lumber all nails, screws, all plates and end straps must be hot dipped galvanized or stainless steel fasteners.

EGRESS WINDOW SCHEDULE (ALL SLEEPING ROOMS)

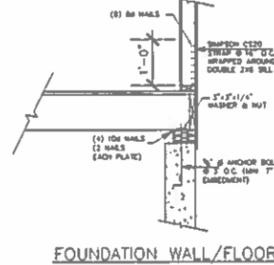
FLOOR	ROOM NAME	EXIST. CLEAR OPENING	PROPOSED (S.F.)
FIRST		5.0	
SECOND		3.7	
THIRD		3.7	



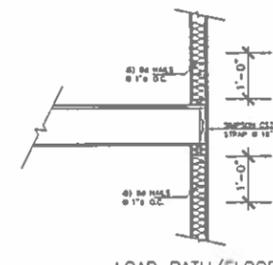
RIDGE DETAIL @ CATHEDRAL CEILING



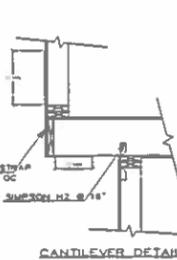
RIDGE TENSION STRAP CONNECTION DETAIL



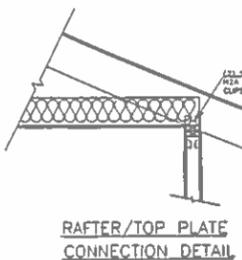
FOUNDATION WALL/FLOOR FRAMING DETAIL



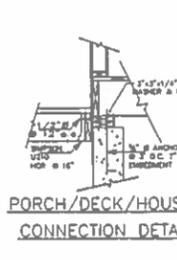
LOAD PATH/FLOOR FRAMING DETAIL



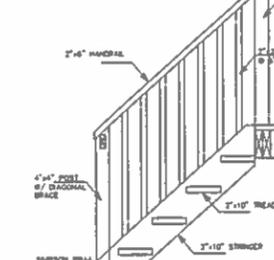
CANTILEVER DETAIL



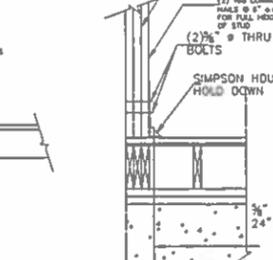
RAFTER/TOP PLATE CONNECTION DETAIL



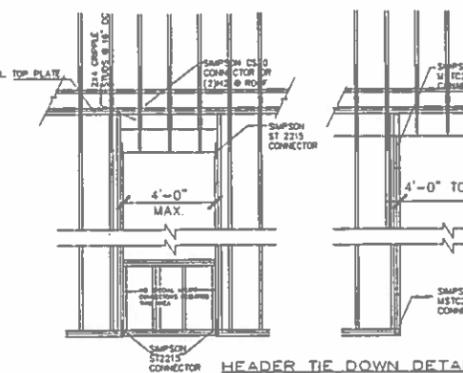
PORCH/DECK/HOUSE CONNECTION DETAIL



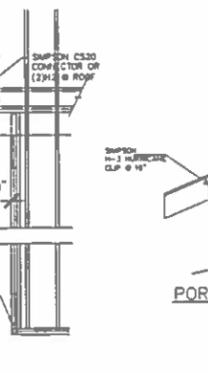
STAIR/RAILING DETAIL



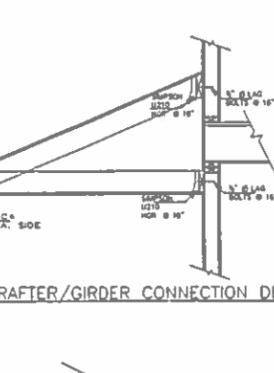
FIRST FLOOR SHEARWALL HOLDDOWN



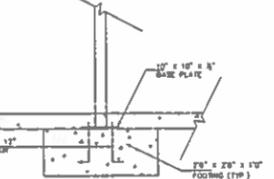
HEADER TIE DOWN DETAILS



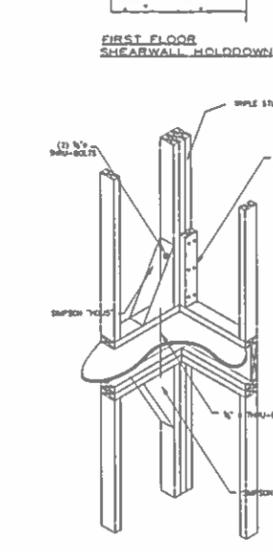
4x4 POST CONNECTION DETAILS



PORCH/RAFTER/GIRDER CONNECTION DETAIL



FOOTING DETAIL



SECOND FLOOR SHEARWALL HOLDDOWN

REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES (R602.3(3))

(PER 2020 RESIDENTIAL CODE OF NEW YORK STATE)

MINIMUM COMMON NAIL SIZE	MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (in)	MAXIMUM WALL STUD SPACING (in)	PANEL NAIL SPACING		ULTIMATE DESIGN WIND SPEED (mph)		
				EDGES ("O.C.)	FIELD ("O.C.)	W	C	D
6d	1.5	24/0	16	6	12	140	115	110
8d	1.75	24/16	16	6	12	170	140	135
			24	6	12	140	115	110

TABLE R 302.7 (3)

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			ICE REMOVAL REQUIREMENTS	FLOOD HAZARD	AIR FREEZE-THAW	HIGH WINDS
	WIND SPEED (mph)	TOPOGRAPHIC EFFECTS		WIND BORN DAMAGE (D)	WIND BORN DAMAGE (D)	WIND BORN DAMAGE (D)				
30 PSF	140	NO	NO	NO	NO	NO	NO	NO	NO	NO



REVISIONS:
 DATE: 6-4-24
 SCALE: 1/8" = 1'-0"
 DRAWN BY: AMERICAN ENGINEERS
 PROJECT NO: 24-0074

R.A.R. DESIGN & DRAFTING SERVICES
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 4 BEZEL LANE
 SMYTHOWN, NY 11787
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 EMAIL: TDREILLY@PE.COM

PROJECT: KADOSH FAST FOOD
 114 WOODGETT AVE
 FREEPORT, NY 11520
 EUNY@KADOSHFASTFOOD.COM
 KADOSH'S OFFICE
 LARGE OF FREEPORT, NY
 STRUCTURAL ENGINEERING AND NOTES

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DRAWING NO: 5 OF 5

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2024 JUL 29 A 10: 08

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

May 30, 2024
LETTER OF DENIAL

Hellen Duran
335 Miller Ave
Freeport, NY 11520

RE: 335 Miller Ave, Freeport, NY

Zoning District – Residence A Sec. 62 Blk. 167 , Lot 183

Building Permit Application #20243673

Description– Maintain solid white PVC fence 61' of 5'high, 50' of 6'high, 20' of 5'high and 21' of 5'high.

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-171. Fences and enclosures.

D. Fences in Residence A, Residence AA, Residence Apartment, Marine Residence, Marine Apartment-Boatel, Condominium and Cooperative Districts which meet the following criteria and subject to the approval of the Site Plan Review Board, where applicable, and without the consideration of the Freeport Zoning Board of Appeals, may be approved:

(2) In the secondary front yard of a corner lot, an open or closed fence not to exceed six feet in height, will be permitted. All fences in secondary front yards exceeding four feet in height shall be limited to half of the depth of the secondary front yard measured from the closest footprint of the structure to the property line abutting the sidewalk. Any fence closer to the sidewalk in a secondary front yard, including part of a rear fence, must be of an open design and of a height not exceeding four feet. Such fences may be constructed of wood, metal or plastic. According to the survey that you have submitted indicates that 5' H fence extending beyond what's permitted in the secondary front yard, you show 21.85' fencing when only 10.95' is allowed when half of the depth of the secondary front yard its permitted.

Please be further advised that if you intend to appeal this decision you must file a Zoning Board of Appeals application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-2202 to make an appointment to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. **Only after this initial appointment should the additional copies be made.**

In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application only, please call the VILLAGE CLERK'S OFFICE at 377-2202.

Very truly yours,



Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez
c: Village Clerk

SITE PLAN APPROVAL NEEDED: No

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VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20243673

Location: 335 Miller Ave

Applicant: Hellen Duran

Description: Maintain solid white PVC fence 61' of 5'high, 50' of 6'high, 20' of 5'high and 21' of 5'high.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: May 30, 2024

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

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NY

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.



SEC. _____ BLK. _____ LOT. _____

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
Of
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No. _____

COMPLY WITH ORIGINAL NOTES

The application of 335 Miller Ave.
respectfully states and alleges:

Strike out inapplicable phrase

1. That the applicant (resides at) ~~(has its principal office for the conducting of its business at)~~
335 Miller Ave, Freeport NY 11520

State whether applicant is owner, lessee, or has option or contract. If other than owner, state briefly terms of agreement.

2. That the premises affected by this application is located at 335 Miller Ave. Land Map of Nassau County
Sec. 02 Blk. 167 Lot(s) 183
and that the interest which the applicant has in the property concerned is that of Owner

Obtain reason for denial from Department of Buildings.

3. That (the applicant) ~~(the applicant's duly authorized~~ Hellen Duran) on or about the 13th day of March 2024, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows:

Maintain solid fence pie, installed in 2022. to replace a wire fence, previously surrounding property.

Describe by construction and number of stories. If none, so state.

4. That on or about the 2nd day of April, 2024, the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows: village Ordinances 210-6A and 210-171 that was amended / changed in 2023, no longer allows for more than 10.95' Secondary front yard fence

State nature of use of property. If a business, give brief description.

5. That the nature of the improvements now upon said premises is as follows: Secondary front yard extends 21.85' length from house and since 2023, should only extend 10.95'

Describe fully and clearly the use desired.

6. That said premises are now being used as follows: Primary residence. Secured by fence perimeter.

Strike out whichever word is not applicable. Follow language in ordinance.

7. That the applicant seeks authority to make use of said premises as follows: privacy and security due to the proximity of Nautical Mile bars and volume of strangers parking along the fence. I have a child that plays in that yard

Refer where possible to paragraphs and section by numbers.

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York Village Ordinance 210-171 (2) and 210-6A.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property:
NA ?

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VILLAGE OF FREEPORT, NY

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof" Save opinions for the hearing.

10. That the grounds for this application are as follows: To maintain the fence as is. Does not obstruct visibility. Avoids financial hardship to move and replace. Helps prevent water damage. Avoid moving trees

11. That any deed restrictions running with the land prohibiting the desired use are as follows: Not Applicable.

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: May 30th, 2024. Hellen Duran

BY: owner.

ITS: _____

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York)
County of Nassau) ss:

The applicant Hellen Duran named in the foregoing application, being duly sworn, depose and say that she read the foregoing application subscribed by HER and know the contents thereof; and that the same is true to HER own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters within believe no to be true.

Sworn to before me this 30th day
of MAY, 2024.

Notary Public [Signature]

[Signature]
Signature of Applicant

KENNETH R. GARVIN
Notary Public, State of New York
No. 01GA6177689
Qualified in Nassau County
Commission Expires Nov. 19, 2027

**Notice
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

5/30, 2024.
Date Year

[Signature]
Signature

Affidavit of Owner

To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:

I _____ being duly sworn, depose and say:

That he/she (the owner of _____) (is the _____ of _____ the property concerned is correct to the best of the knowledge of deponent _____.)

That the owner _____ consents to the granting of the authority sought in the above application.

Sworn to before me this _____ day
of _____, 20 _____.

Notary Public _____

Signature

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VILLAGE OF FREEPORT, NY

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completion

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: PVC FENCE			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action: Replace old fence with new PVC fence, smaller area.			
Name of Applicant or Sponsor: Hellen Duran		Telephone: 631 774 2935	
Address: 335 Miller Ave		E-Mail: Hellen.Duran@att.net	
City/PO: Freeport		State: NY	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
b. Consistent with the adopted comprehensive plan?		X	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	X
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	X
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	X
b. Are public transportation service(s) available at or near the site of the proposed action?	X		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	X		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	X
10. Will the proposed action connect to an existing public/private water supply? (If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES) If No, describe method for providing potable water: _____	NO	YES	X
11. Will the proposed action connect to existing wastewater utilities? (If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES) If No, describe method for providing wastewater treatment: _____	NO	YES	X
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	X
b. Is the proposed action located in an archeological sensitive area?	X		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a Federal, state or local agency?	NO	YES	X
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	X		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban	N/A		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	X
16. Is the project site located in the 100 year flood plain?	NO	YES	X
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	X

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Hellen Duran</u>	Date: <u>3/13/24</u>	
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	X	
2. Will the proposed action result in a change in the use or intensity of use of land?	X	
3. Will the proposed action impair the character or quality of the existing community?	X	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	X	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	X	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	X	
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	X X	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	X	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	X	

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	X	
11. Will the proposed action create a hazard to environmental resources or human health?	X	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

N/A

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency _____ Date _____

Print or Type Name of Responsible Officer in Lead Agency _____ Title of Responsible Officer _____

Signature of Responsible Officer in Lead Agency _____ Signature of Preparer (if different from Responsible Officer) _____

Department of Buildings of the Incorporated Village of Freeport
FENCE PERMIT APPLICATION

Application Number: 20243673 S/B/L 62/167/183 Date of filing: 3/13/24

Permit Number: _____

Detailed Description of Project: Maintain existing PVC Fence
Solid white

Property Owner: Hellen Duran

Property Address: 335 Miller Avenue Zoning District: Residence A

Owners Mailing Address: Same

Owners Contact Number: 1031 774 2935

Owners Email Address: Hellen-Duran@hotmail.com

Contractor Information: Gerlin

Contractor Address: _____

Contractor Phone Number: 516-860-9555

Contractor Email Address: _____

Documents Submitted from Contractor:

- Nassau County License YES NO
- Workers Compensation Insurance YES NO
- Liability Insurance YES NO
- Disability Insurance YES NO

Will Homeowner Install Their Own Fence YES NO

If So, Was a Valid Copy a Valid Homeowners Insurance Policy Submitted? YES NO

Was the Fence Already Installed? YES NO

Total Cost of Project (Must include contract): \$5600

Total Length of Fencing: 61. Ft of 5 foot & 50 Ft of 6 foot + 21.8 Ft of

SOLID white total 152.85 Ft of fence

Print Name of Applicant: Hellen Duran

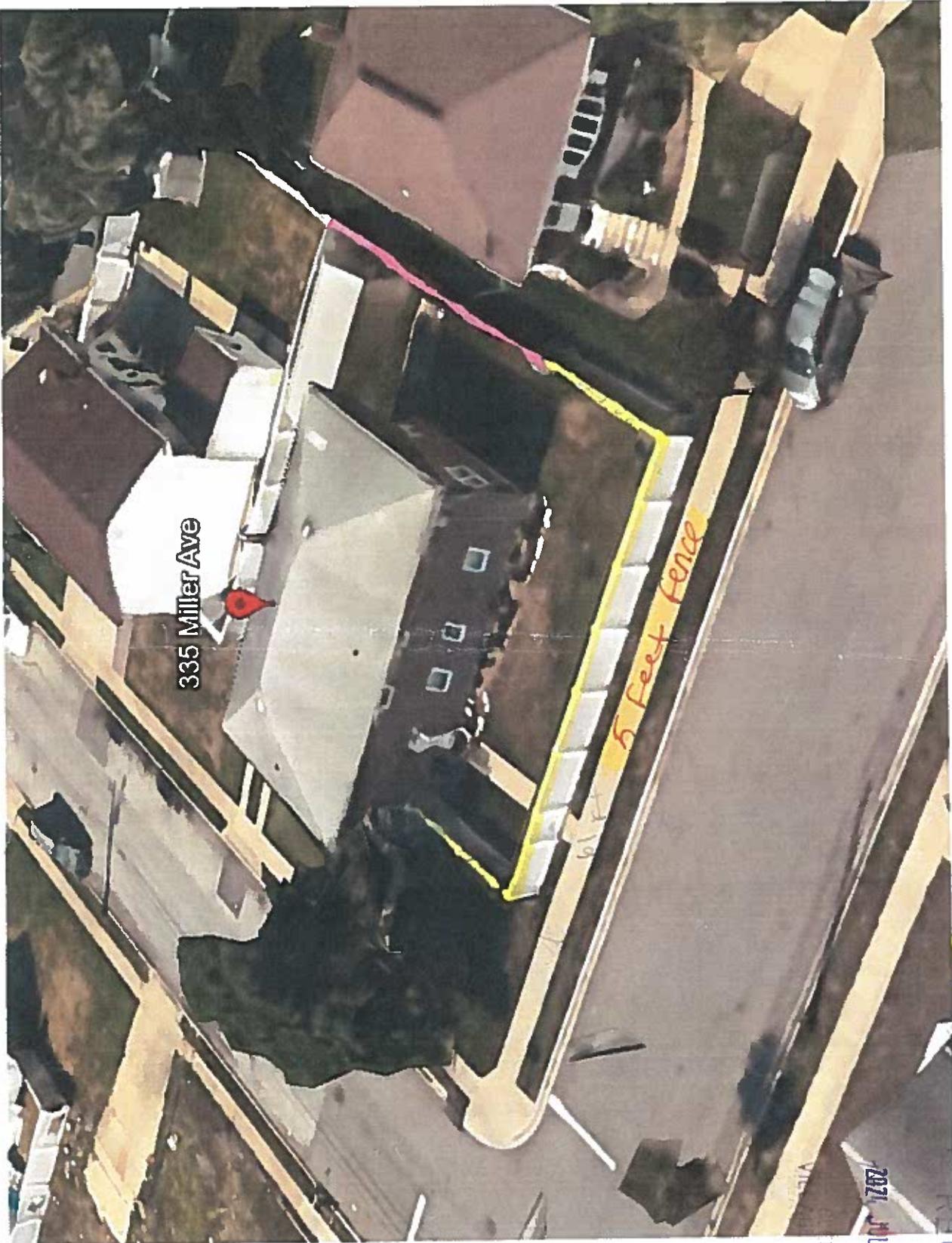
Signature of Applicant: [Signature]

Sworn to before me this 13th day of MARCH 20 24

Notary Public: [Signature] Superintendent of Buildings: _____

KENNETH R. GARVIN
Notary Public, State of New York
No. 01GA6177689
Qualified in Nassau County
Commission Expires Nov. 19, 2027

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VILLAGE OF FREEPORT, NY



335 Miller Ave

5 feet fence

49
5
10 ft

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POLICE OFFICE
OF FREEPORT, NY

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INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

July 9, 2024
LETTER OF DENIAL

Jeannie Kelly
253 Garfield St
Freeport, NY 11520

RE: 253 Garfield St, Freeport, NY
Zoning District – Residence A Sec. 62 Blk. 091 , Lot 426
Building Permit Application #20243806
Description – Construct second floor rear deck 438 SF

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-43. Required yards.

C. Yards of the following depths or widths shall be provided for accessory buildings, detached garages, accessory structures, barbecue pits, and breezeways on the lot:

(2) Rear yard depth: minimum five feet, except for lots which abut canals or navigable waters. a minimum depth of 20 feet measured landwards of the average line of the bulkhead shall be provided; if no bulkhead exists, measured 20 feet landwards of the rear property line. The plans submitted indicate the rear setback for the deck is 18.22' and 17.53'. You will be seeking a variance of 1.78' and 2.47'.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-2202** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2202

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez
cc: Village Clerk

SITE PLAN APPROVAL NEEDED: YES

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VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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Notice

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20243806

Location: 253 Garfield St

Applicant: Jeannie Kelly

Description: Construct second floor rear deck 438 SF

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: July 9, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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SEC. 62 BLK. 91 LOT. 426

CLERK'S OFFICE
VILLAGE OF FREEPORT
BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
Of
the Application of
JEANNIE KELLY
To The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH ORIGINAL NOTES

The application of JEANNIE KELLY respectfully states and alleges:

Strike out inapplicable phrase

1. That the applicant (resides at) (~~has its principal office for the conducting of its business at~~)
253 GARFIELD ST
FREEPORT, NY 11520

State whether applicant is owner, lessee, or has option or contract. If other than owner, state briefly terms of agreement.

2. That the premises affected by this application is located at 253 GARFIELD ST FREEPORT Land Map of Nassau County Sec. 62 Blk. 91 Lot(s) 426 and that the interest which the applicant has in the property concerned is that of OWNER

Obtain reason for denial from Department of Buildings.

3. That (~~the applicant~~) (the applicant's duly authorized ARCHITECT) on or about the 13 day of JUNE 2024, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows:
PLANS, SURVEY, ENVIRONMENTAL FORM
BUILDING PERMIT APPLICATION

Describe by construction and number of stories. If none, so state.

4. That on or about the 9 day of JULY, 2024, the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows:
REAR SETBACK IS 2.47 FT LESS THAN REQUIRED

State nature of use of property. If a business, give brief description.

5. That the nature of the improvements now upon said premises is as follows:
SINGLE FAMILY HOUSE

Describe fully and clearly the use desired.

6. That said premises are now being used as follows:
SINGLE FAMILY HOUSE

Strike out whichever word is not applicable. Follow language in ordinance.

7. That the applicant seeks authority to make use of said premises as follows:
SINGLE FAMILY HOUSE

Refer where possible to paragraphs and section by numbers.

8. Upon information and belief that a (~~permit~~) (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York 210-12-H "YARD LOT MODIFICATIONS"

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property: No
SUBDIVISION.

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

10. That the grounds for this application are as follows: IT IS IN KEEPING WITH NEIGHBORHOOD AND WILL NOT BE A DETRIMENT. IT WILL NOT OBSTRUCT A NEIGHBOR'S VIEW

11. That any deed restrictions running with the land prohibiting the desired use are as follows: NONE KNOWN

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous preceding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: July 22, 2024 Jeannie Kelly

BY: JEANNIE KELLY
ITS: OWNER

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York)
County of Nassau) ss:

The applicant JEANNIE KELLY named in the foregoing application, being duly sworn, depose and say that SHE read the foregoing application subscribed by HER and know the contents thereof; and that the same is true to HER own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters SHE believe S to be true.

Sworn to before me this 22nd day
of July, 2024
Notary Public [Signature]

Jeannie Kelly
Signature of Applicant
PETER MODICA
NOTARY PUBLIC, STATE OF NEW YORK
QUALIFIED IN QUEENS COUNTY
REG. #01MO4986472
NY COMM. EXP. MAY 18, 2026

Notice
Conflict of Interest

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

July 22, 2024
Date Year

Jeannie Kelly
Signature

Affidavit of Owner

To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:

I _____ being duly sworn, depose and say:
That he/she (the owner of _____) (is the _____ of _____ the property concerned is correct to the best of the knowledge of deponent _____.)
That the owner _____ consents to the granting of the authority sought in the above application.

Sworn to before me this _____ day
of _____, 20_____
Signature _____

Notary Public _____

617.20
Appendix B
Short Environmental Assessment Form

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2024 JUL 29 1 P 4: 09

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <p style="text-align: center; font-size: 1.2em;">KELLY RESIDENCE</p>			
Project Location (describe, and attach a location map): <p style="text-align: center; font-size: 1.2em;">253 GARFIELD ST FREEPORT, NY 11520</p>			
Brief Description of Proposed Action: <p style="text-align: center; font-size: 1.2em;">CONSTRUCT NEW 438 SQ FT 2ND LEVEL DECK</p>			
Name of Applicant or Sponsor: <p style="text-align: center; font-size: 1.2em;">RUSSELL JORDAN</p>		Telephone: 516 241 5969	
		E-Mail: RJARCHITECT@aol.com	
Address: <p style="text-align: center; font-size: 1.2em;">44 CASINO ST</p>			
City/PO: <p style="text-align: center; font-size: 1.2em;">FREEPORT</p>		State: <p style="text-align: center; font-size: 1.2em;">NY</p>	Zip Code: <p style="text-align: center; font-size: 1.2em;">11520</p>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES <input type="checkbox"/> <input checked="" type="checkbox"/>
<p style="text-align: center; font-size: 1.2em;">FREEPORT BUILDING PERMIT</p>			
3.a. Total acreage of the site of the proposed action?		0.135 acres	
b. Total acreage to be physically disturbed?		0.009 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.135 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: NOT APPLICABLE TO OPEN DECK	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES DOES NOT AFFECT EXIST. STORM WATER DISCHARGE	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>RUSSELL JORDAN</u> Date: <u>JUNE 12, 2024</u> Signature: <u><i>[Signature]</i></u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

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 DEPT. OF ENVIRONMENTAL CONSERVATION

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 20243806

Filing Date 6/13/24

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>253 GARFIELD</u> (No.) (Street)	ZONING DISTRICT <u>RES A</u>
	BETWEEN <u>PRESIDENT</u> (Cross Street) AND <u>GORDON CHANNEL</u> (Cross Street)	
	SECTION <u>62</u> BLOCK <u>091</u> LOT <u>426</u> APPROX. LOT SIZE <u>IRREGULAR</u> LOT AREA <u>5,965</u>	

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

A. TYPE OF IMPROVEMENT 1 New building 2 <input checked="" type="checkbox"/> Addition-Alteration (If residential, enter number of new housing units added. If none-state none) 3 Swimming Pool 4 Repair (replacement) 5 Bulkhead (New, Repair) 6 Fence 7 Moving (relocation)		B. PROPOSED OR EXISTING USE RESIDENTIAL 11 <input checked="" type="checkbox"/> One Family 12 Two families 13 Apartment - Enter No. of Units _____ 14 Transient hotel, motel, or dormitory - Enter No. of Units _____ 15 Garage or Accessory Structure 16 Other - Specify _____ NON RESIDENTIAL - Complete Part "E" 17 Industrial 18 Office, bank, professional 19 Stores, mercantile 20 Church, other religious 21 Hospital, institutional 22 Other - Specify _____	
C. COST 10 TOTAL COST OF IMPROVEMENT \$ <u>17,520</u>		D. DESCRIPTION OF PROJECT <u>CONSTRUCT 438 SQ FT NEW 2ND LEVEL DECK</u>	

III. IDENTIFICATION - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>JEANNIE KELLY.</u>	<u>253 GARFIELD</u> <u>FREEPORT, NY 11520</u>	<u>516 380 4963</u>
2. Contractor	<u>J & M CONSTRUCTION</u> <u>JOE</u>		<u>516 779 0982</u>
3. Architect or Engineer	<u>RUSSELL JORDAN</u>	<u>44 CASINO ST</u> <u>FREEPORT NY 11520</u>	<u>516 241 5969</u>

IV. OWNER - CONTRACTOR STATEMENT Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law. Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____ Contractor or Owner _____ (Print) Address _____ Phone _____ State of New York County of Nassau <u>JEANNIE KELLY</u> being duly sworn, says that <u>SHE</u> (He or She) is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of <u>HER</u> (His or Her) knowledge and belief and agrees to conform to all applicable laws of this State of New York. Notary Public - State of New York	V. FLOOD ZONE IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES <input checked="" type="checkbox"/> NO _____ IF YES, WHICH ZONE? <u>AE</u> IS PROJECT TO REPAIR FLOOD DAMAGE? YES _____ NO <input checked="" type="checkbox"/> PROJECT DESCRIPTION Total/First Flr Square Feet <u>1069</u> Upper Flrs Square Feet <u>1142</u>
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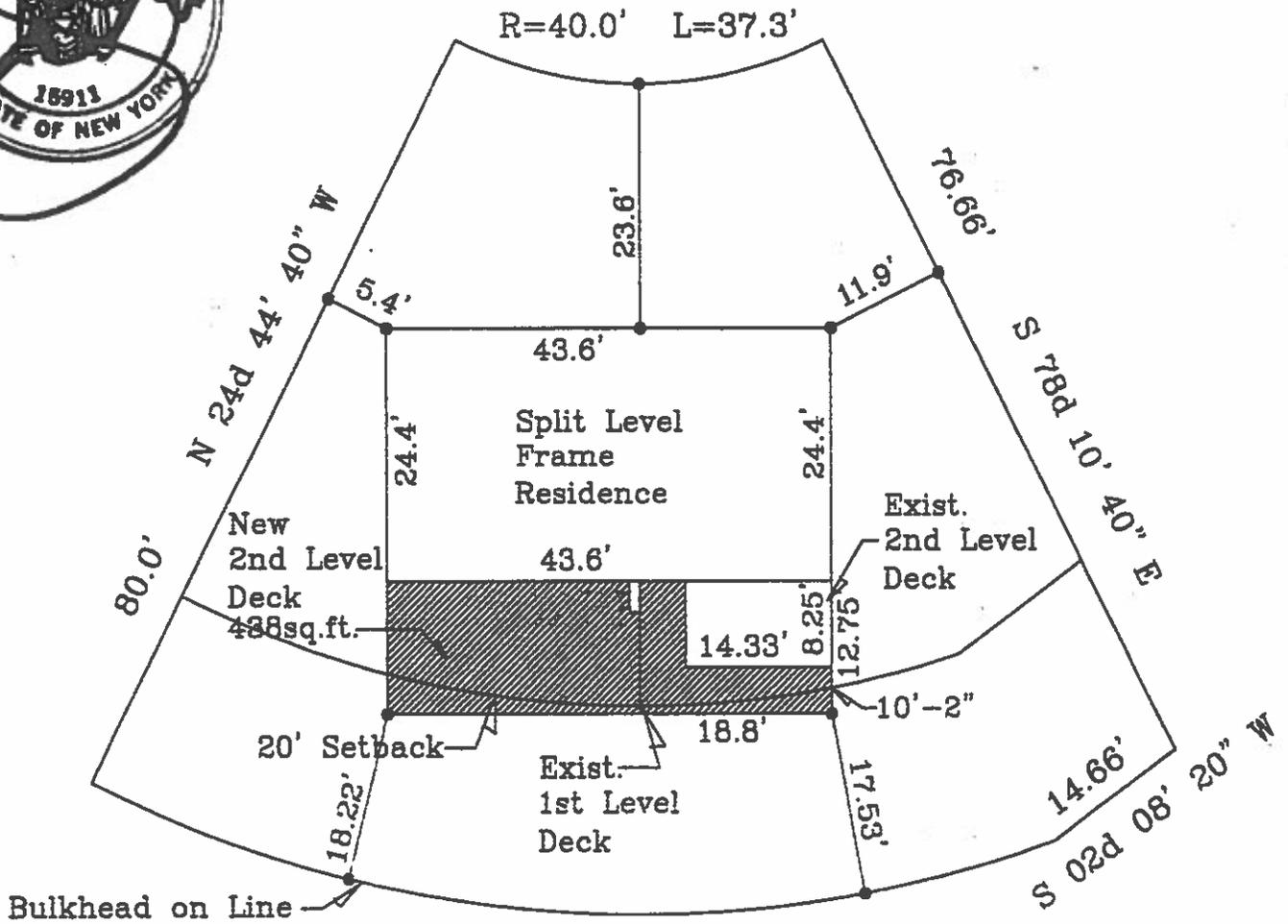
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VILLAGE OF FREEPORT, NY

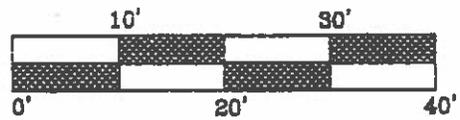


GARFIELD STREET



$R=120.0'$ $L=97.43'$

GORDON CHANNEL



SITE PLAN

253 Garfield Street, Freeport, NY 11520

7-3-2024

Russell C. Jordan Architect

44 Casino Street, Freeport, NY 11520

GENERAL NOTES

1. All work shall be in accordance with ASCE 7-98 Minimum Loads for Buildings and Other Structures.
2. All work shall be in compliance with codes of the Village of Freeport, N.Y. State & ICC 2020 Building Code, Energy Code, Existing Building Code, and Fire Codes, NYS DEC, Board of Fire Underwriters and any other authorities having jurisdiction.
3. The work in this contract shall consist of the labor, equipment and materials necessary for the construction of the work as noted on these drawings. The entire work is to be constructed and finished in every part in a good substantial and workmanlike manner in accordance with the accompanying drawings and specifications to the full intent and effect thereof. It is the intention of these drawings particularly that the smaller details necessary for workmanlike job are to be included by the Contractor. All materials to be stored, installed and maintained during the course of the work in strict accordance with the manufacturer's instructions.
4. The Contractor shall verify all dimensions and conditions and shall report any discrepancies to the Architect prior to commencing work.
5. The Contractor shall maintain workman's compensation, disability, and public liability (each type and in any amount to satisfy the law and the Owner) for protection from any claims for damages arising from the contractor's operations under this project.
6. All Plumbing, Electrical and other work as required is to be performed by Freeport approved licensed contractors.
7. The Contractor shall at all times keep the site free from the accumulating of waste material or rubbish caused by operations. At the completion of the work, all waste materials, rubbish, equipment, and surplus material shall be removed and the site left in a "broom clean" condition.

STRUCTURAL LOADS

Live Loads, minimum lbs/sq.ft.	Floor with mud set tile finish = 21 psf
Exterior Balcony Snow Load	40psf
Deck Joists	25psf
WEIGHTS of MATERIALS lbs (per sq.ft.)	
Decking	4.0 psf
Lumber Joists	3.0 psf
TYPICAL DEAD LOADS lbs per square foot	
Floor with mud set tile finish = 21 psf	
Floor with hardwood finish = 12 psf	
MAXIMUM ALLOWABLE DEFLECTION	
Deck Joists	Live Load = 1/240
Total Load = 1/360	

CLIMATIC and GEOGRAPHIC DESIGN CRITERIA Table 301.2 (1)

Ground Snow Load (R301.2(5))	Seismic Design Category (R301.2(2))	Wind Design (R301.2(4))	Topographic/Special Effects (R301.2.1.5)	Special Wind Region (R301.2(4)B)	Wind Storm Debris Zone (R301.2(4)B)	Subject to damage from: Weathering (R301.2(3))	Terrile (R301.2(6))	Frost Depth (R301.2(7))	Winter Design Temperature (R301.2(8))	Ice Shield Underlayment Required (R301.2(9))	Flood Hazard Annual Flood (R301.2(10))	Mean Annual Temp. (R301.2(11))	Air Freezing Index (R301.2(12))
20 psf	B	130 mph	No	No	Within 1 Mile of Shore	Severe	Moderate to Heavy	36"	16 F	As per Sec. 605.12 Flood	AE Flood	62.9 F	1600 or Less

TREATED WOOD NOTES

CCA Lumber shall not be used except for Marine uses.

Pressure treated lumber for use in ground contact shall be labeled as such by APFA and shall be treated with either Alkaline Copper Quat. (ACQ type B or D) or Copper Azole. (CBA-A or CA-B) with a retention level of .40 lbs per cu.ft.

Pressure treated lumber for use above ground shall be labeled as such by APFA and shall be treated with either Alkaline Copper Quat. (ACQ type B or D), or Copper Azole. (CBA-A or CA-B) with a retention level of .25 lbs per cu.ft.

All flashing in contact with treated lumber shall be either copper or hot dipped galvanized steel. Flashing shall apply over the entire contact with pressure treated lumber.

All joist hangers straps and similar connectors shall be as manufactured by Simpson (type Z-max line or equivalent galvanized to meet G-185 standard, (1.85 oz. of zinc per sq.ft. of metal) and shall be hot dipped. Stainless steel connectors shall be considered an equivalent.

All nails, screws, bolts, and similar fasteners shall be stainless steel or hot dipped galvanized.

PLACEMENT OF CONCRETE

Formwork not supporting the weight of concrete may be removed after 48 hours of curing at not less than 50 deg. F. The weight of concrete shall not be removed until either the concrete has shown through testing or the concrete has cured for 28 days at 50 deg. F. or above, or as directed by the Architect in writing.

Footings shall be set at a minimum of three feet below grade and shall be below the local frostline. Footings shall be well drained in soils where clay or silt is present. Consult with Architect to assure proper drainage.

Where new foundation work abuts existing foundations the new work to old with #5 epoxy coated dowels set minimum 6" into both sides of work and epoxy grouted into old work. Space 8" on center unless noted otherwise.

If testing of concrete is required it shall be done by an independent testing lab approved by the Architect at the Owner's expense.

STRUCTURAL WOOD NOTES

All Structural Lumber including Plates, Studs and Blocking shall be Construction Grade Hem-Fir #2 surface dried to max 14% moisture content.

Lumber shall have the following minimum stress properties:

F_y = 850
F_v = 75 Psi
E = 1,300,000 Psi

All Structural Lumber shall comply with and be erected in accordance with "The National Design Specification for Wood Construction," latest edition. All lumber shall be grade marked by an approved grading agency prior to delivery at the job site.

Provide Joist Hangers for all Nails. Framed conditions, as manufactured by Simpson, or equal, install in accordance with manufacturer's instructions.

All Floor Joists & Rafters shall be bridged at midspan or at intervals not to exceed 8'-0". metal, solid wood blocking and (2) 3/4" x 3" bridging is acceptable. Do not block air flow in rafter bays. Joists and Rafters may be notched max 1/2nd of span.

All Wall Openings, 4'-0" wide or less, shall have double studs at jambs. Spans wider than 4'-0" shall have double studs for header bearing plus jamb stud.

Joists shall be doubled around all openings, under all partition walls and the partitions, and at cantilevers beyond the foundation wall.

Where Microlam Beams or LVL are called for they shall have F=3100psi and a modulus of elasticity E=2,000,000psi. If these beams are called out as a nominal dimension such as 2x12" they will have an actual dimension linked to match the actual dimension of the lumber which has a 1/8" tolerance. The lumber shall be considered to be symmetrical and interchangeable.

Fire Stopping: All walls and partitions extending more than ten feet in height shall receive solid wood blocking at mid height and/or not to exceed eight foot intervals. All floor penetrations and stairs shall be firestopped.

Stud Sizes & Spacing: In all two story structures 1st floor wood stud bearing walls shall be 2x6 @ 16" oc or 2x4 @ 12" oc. In one story structures or the second floor of two story structures wood stud bearing walls shall be 2x4 @ 16" oc unless otherwise noted. Wood stud bearing walls shall not exceed 18 ft. in height unless specifically approved by the architect. All studs shall be minimum "stud grade #3" or better.

Headers: All headers with a maximum span of up to 5 ft. shall be as called out on plans. If not called out on plans headers up to 5 ft. maximum span shall be (2)2x12 Hem-Fir #2 or better. All headers with a span greater than 5 ft. shall be as called out on plans. If not called out on plans consult with the Architect.

Provide solid blocking behind all horizontal joints in wall sheathing.

CONCRETE NOTES

Conform to the following codes and standards

Latest Edition:

American Concrete Institute-318I Specifications for Structural Concrete for Buildings

ACI 308R Recommended Practice for Concrete Floor & Slab Construction

Concrete Reinforcing Steel Institute- Manual of Concrete Practice

American Society of Testing Materials - Standards as noted

REINFORCING BARS: ASTM A616, Grade 60 Deformed, Minimum Yielding Strength 60,000psi and a modulus of elasticity E=29,000,000psi. ASTM A618, Grade 40 Tied Wire Mesh (WJM), ASTM 185, Welded Steel Wire, W29 x W29, 6"x6" unless otherwise noted. Chairs, Spacers, & Misc. Hardware: As approved by CRSI

Portland Cement: ASTM C150, Type 1, (Type 3) if approved by Architect.

Aggregate: Conform to ASTM C39

Water: Potable

Admixtures: None unless approved by Architect

PLACEMENT OF CONCRETE:

Slump shall be between 2'-4" at point of placement as measured by ASTM 143.

Minimum concrete strength shall be 4000psi for parging @ 28 days

Concrete shall not be re-tempered by the addition of water or cement after it has partially hardened. Place reinforcing according to CRSI recommendations

Minimum 2" cover above grade unless otherwise noted. Lap and lapping shall be as only used for reinforcement. Consolidate concrete by hand tamping or mechanical vibrators, maintain proper reinforcing locations.

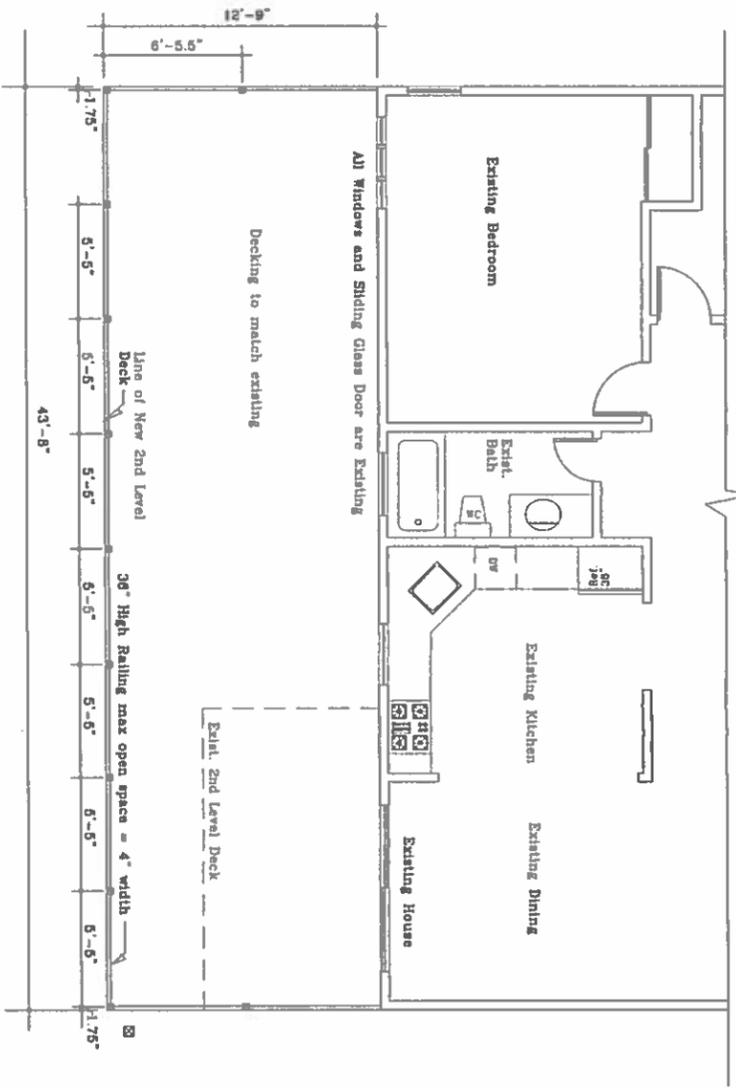
If temperature falls below 40 deg. F uniformly heat water and aggregate to maintain concrete at 50 deg. to 60 deg. at point of placement. Do not use frozen material, calcium chloride, salts, or anti-freeze. All exterior concrete shall be air entrained.

Maximum deviation from finish plans, or punch marks shall be 1/8" unless otherwise noted. All exterior surfaces shall be finished with a maximum deviation of 1/8" unless otherwise noted.

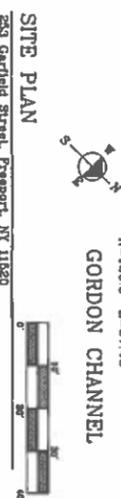
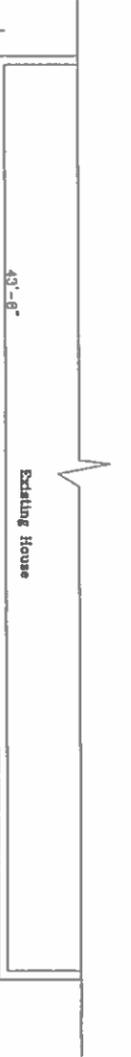
Finish for slabs shall be as follows unless otherwise noted:

Exposed interior including gergers: steel trowel smooth interior to be covered with another finish. Consult with Architect prior to placement.

Exterior Walls & Drives: Broom finish perpendicular to the path of travel.



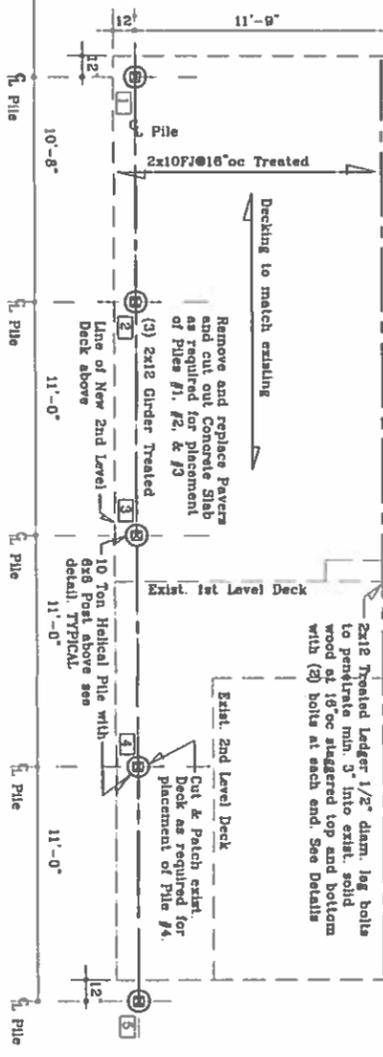
2nd Level Deck Plan



HELICAL PILE NOTES

The Helical Pile Contractor shall supply the helical piles and the necessary equipment to drive the piles. The helical piles shall be driven to the design depth and shall be tested to the design load. The helical piles shall be installed in accordance with the manufacturer's instructions. The helical piles shall be installed in a staggered pattern at the torque head. The helical piles shall be installed in a staggered pattern at the torque head. The helical piles shall be installed in a staggered pattern at the torque head.

Pile and Foundation Plan



Piles shall be as manufactured by Chance or equal and meet the capacity and model type as indicated on the Pile Plan.

Kelly Residence
253 Garfield Street

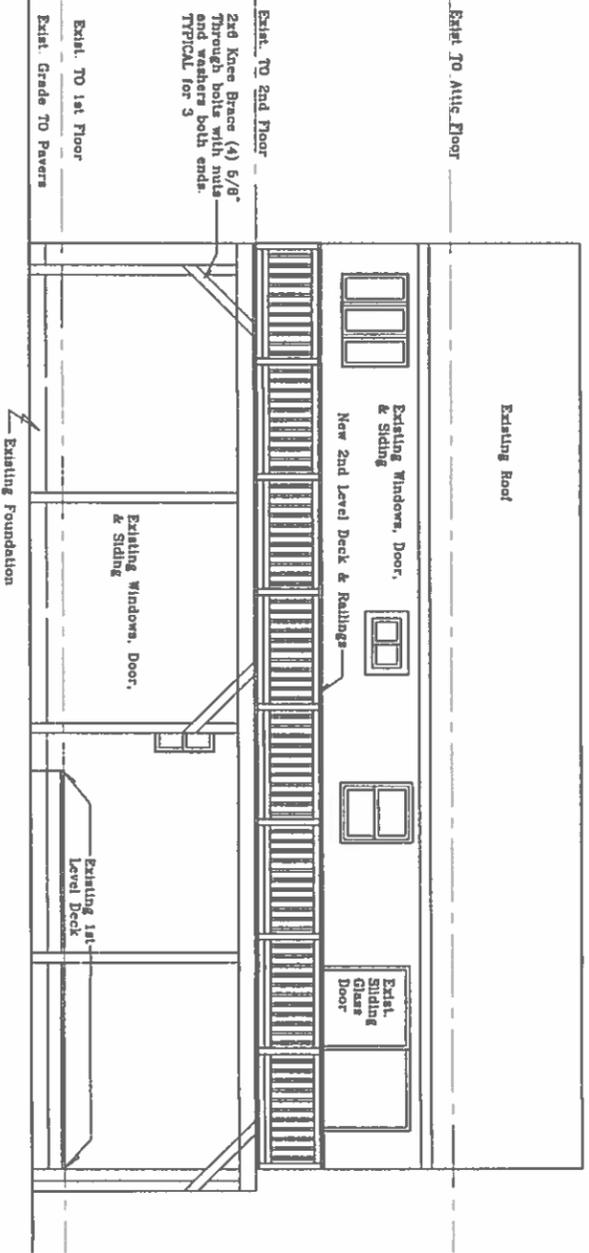
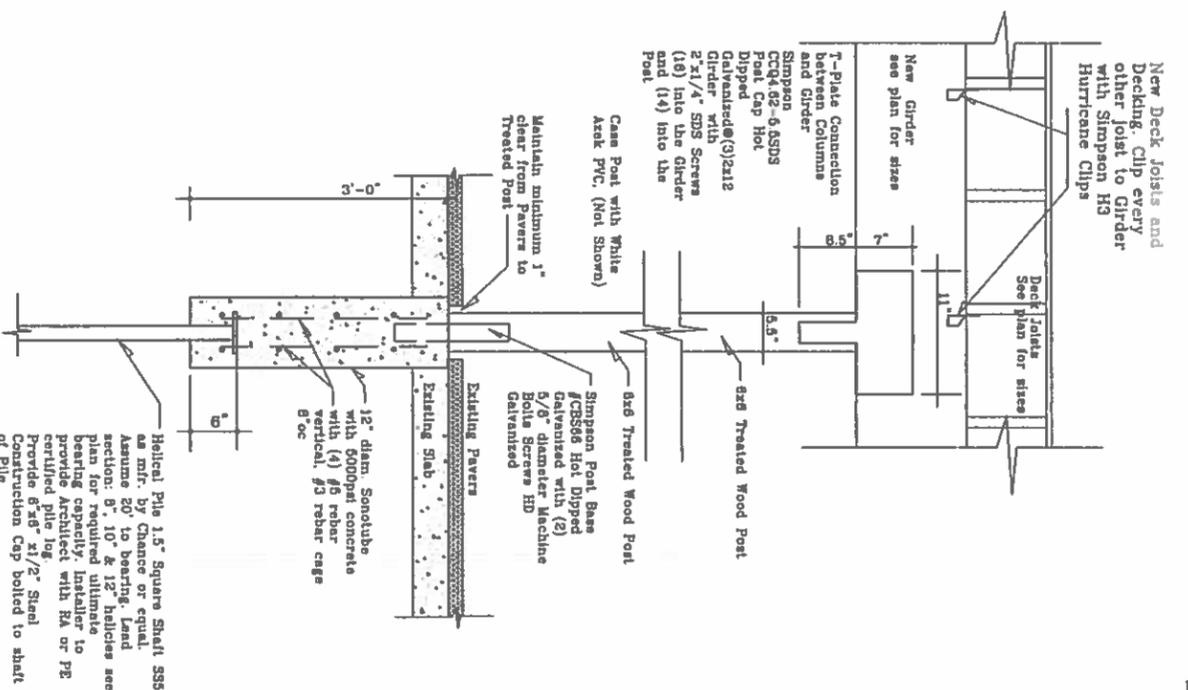
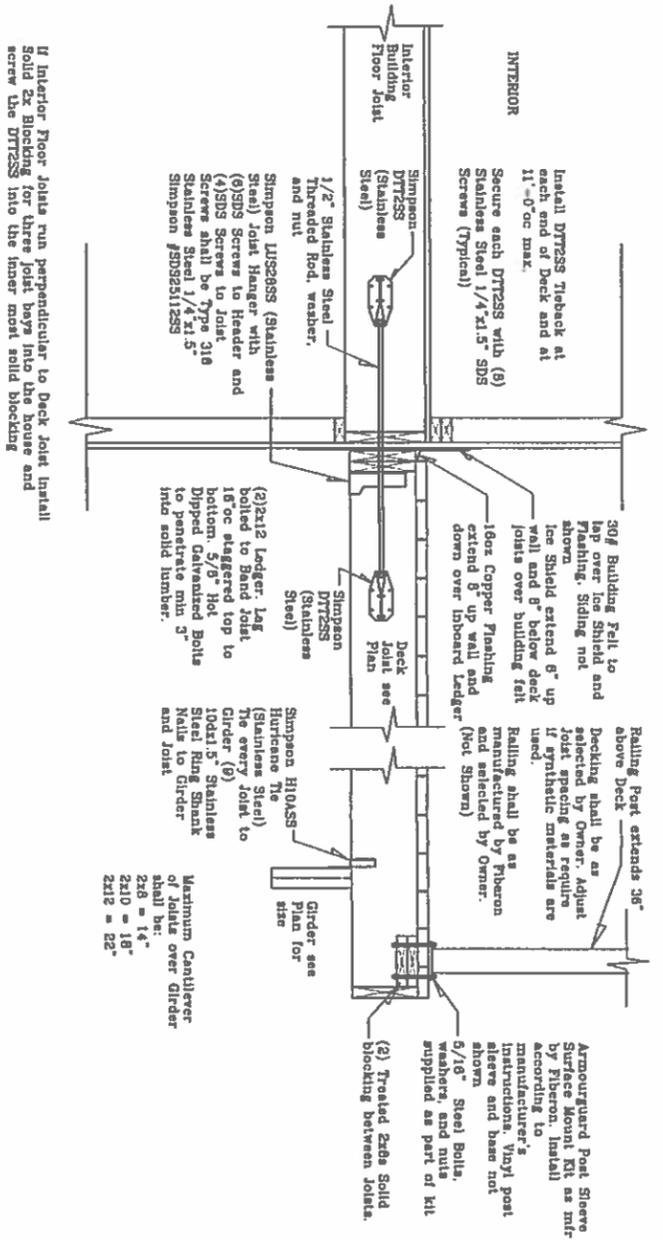
Proposed 2nd Level Deck

Notes and Plans

Russell C. Jordan Architect
44 Casino Street, Freeport, New York 11250
Phone: 516-241-5969
E-mail: RJA@rcja.com

Version: BD-1
For Piling with the Building Department

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Phone: 516-241-5969 E-mail: RJrarchitec@aol.com

Kelly Residence
253 Garfield Street

**Proposed 2nd Level Deck
Details and Rear Elevation**

REVISIONS

NO. 1 6-8-2024

NO. 2

NO. 3

NO. 4

NO. 5

NO. 6

NO. 7

NO. 8

NO. 9

NO. 10

NO. 11

NO. 12

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