

Application Date: _____
Fees Paid: _____

SP# 3709

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: <u>180 Wilson Place</u>	ZONING DISTRICT: <u>Residence AA</u>
SECTION <u>54</u> BLOCK <u>491</u> LOT <u>1</u>	LOT SIZE: <u>11,500 SF</u>

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Miguel A. Hernandez</u>	Name: <u>Miguel A. Hernandez</u>
Address: <u>180 Wilson Ave</u> <u>Freeport, NY 11520</u>	Address: <u>180 Wilson Place</u> <u>Freeport NY 11520</u>
Telephone #: <u>516-287-2538</u>	Telephone #: <u>(516) 287-2538</u>

Attorney Name: MARIA MILO Address: 1002 Merrick Ave.
 (optional) Phone #: 516-547-5251 11 Merrick, N.Y. 11566

Present Land Use: RESIDENTIAL Proposed Land Use: RESIDENTIAL
(Residence AA) (Residence AA)

Description of Proposed Work: Maintain Existing Gazebo,
Approximately 290.25 SF

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES NO

Miguel Hernandez
 APPLICANT'S SIGNATURE

1/17/2024
 DATE

Sworn to before me this 17th
 day of January, 2024.

AMARILIS A LEDESMA
 NOTARY PUBLIC, STATE OF NEW YORK
 Registration No. 01LE6382087
 Qualified in Nassau County
 Commission Expires October 15, 2026

Amarilis Ledesma
 Notary Public

Property Owner's Consent:
 I, Miguel A. Hernandez am (are) the owner(s) of the subject property and consent to the filing of this application.

Miguel Hernandez
 PROPERTY OWNER'S SIGNATURE

1/17/2024
 DATE

Sworn to before me this 17th
 day of January, 2024.

AMARILIS A LEDESMA
 NOTARY PUBLIC, STATE OF NEW YORK
 Registration No. 01LE6382087
 Qualified in Nassau County
 Commission Expires October 15, 2026

Amarilis Ledesma
 Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: YES NO

Date of Hearing: _____
 Date of Decision: _____

Approved Denied

Village Clerk's Signature: _____

Date: _____

Planning Board Signature: _____

Date: _____

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL: BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

AMENDED SITE PLAN LETTER
February 26, 2024

Miguel Hernandez
180 Wilson Place
Freeport, NY 11520

RE: 180 Wilson Place, Freeport, NY 11520
Zoning District: Residence AA Sec. 54 Blk. 491 Lot. 1
Building Permit Application #20233513
Description: – Maintain existing gazebo (290.25 SF)

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,



Sergio A. Mauras
Superintendent of Buildings
/al

c: Village Clerk

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

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ZBA Approval Needed: Yes__ No_X_

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

 The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20233513

Location: 180 Wilson Place, Freeport NY 11520

Applicant: Miguel Hernandez

Description : Maintain existing gazebo (290.25 SF)

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: February 26, 2024

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <i>Miguel A. Hernandez.</i>			
Project Location (describe, and attach a location map): <i>180 Wilson Ave. ^{PL} Freepcit, SEC 54, Block 491, Lot 1</i>			
Brief Description of Proposed Action: <i>MAINTAIN EXISTING GAZEBO (13.5' x 21.5')</i>			
Name of Applicant or Sponsor: <i>Miguel A. Hernandez.</i>		Telephone: <i>(516) 287-2538</i>	E-Mail:
Address: <i>180 Wilson Ave PLACE</i>			
City/PO: <i>Freepcit</i>	State: <i>NY</i>	Zip Code: <i>11520</i>	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
<i>Village of Freepcit</i>			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<i>.264</i> acres	
b. Total acreage to be physically disturbed?		<i>.264</i> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<i>.264</i> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	YES
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	YES
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	YES
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	YES
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	YES
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	YES
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	YES
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	YES
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	YES
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <u>Drywells + catch basins</u> <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	YES

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Miguel A. Hernandez.</u> Date: <u>9/25/23</u>		
Signature: <u>X Miguel Hernandez</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>



FRONT
VIEW

180 Wilson PLACE



CORNER
Wilson PL.
+ Oakfield
Ave.

2024 MAR -1 A 9 56
CLERK OF THE
VILLAGE OF HIGHLAND, NY

RECEIVED 301 WILSON PLACE



SIDE
VIEW

180 Wilson Pl.

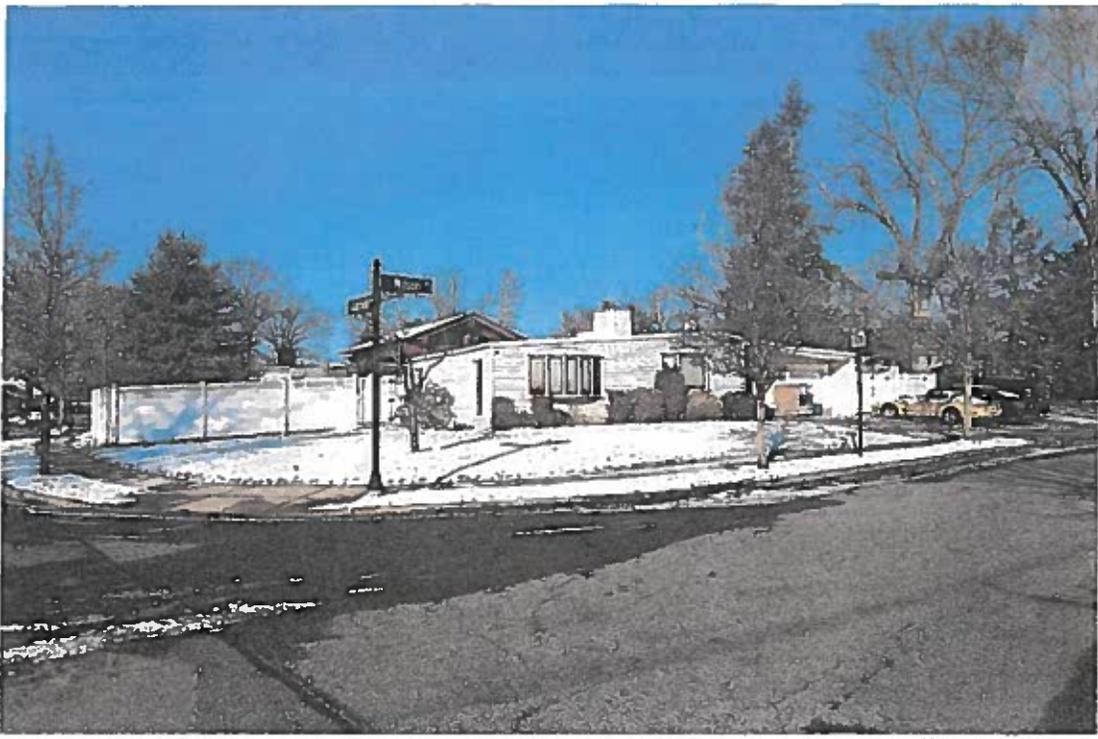


SIDE
VIEW

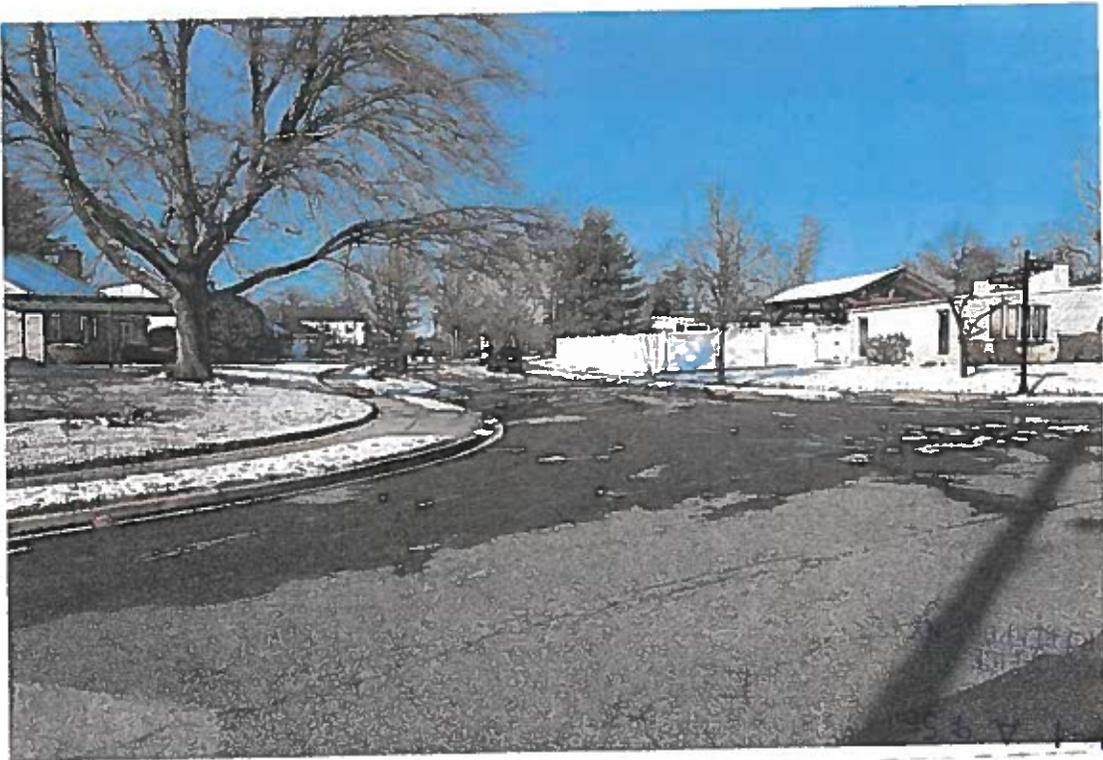
180 Wilson Pl.

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2024 MAR -1 A 4 56
CLERK'S OFFICE
VILLAGE OF FREEDPORT, NY



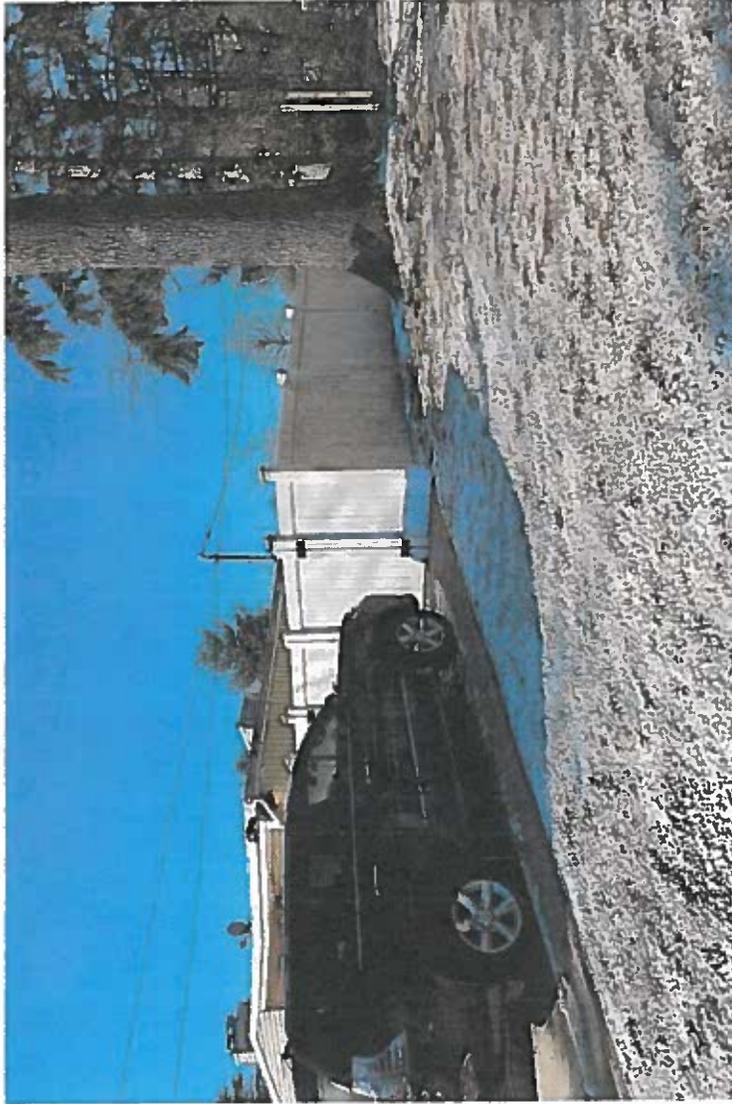
180 Wilson PLACE



CORNER Wilson AND Oakfield DVE .

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2025 MAR 14 4 25 PM
CLEVELAND
VILLAGE

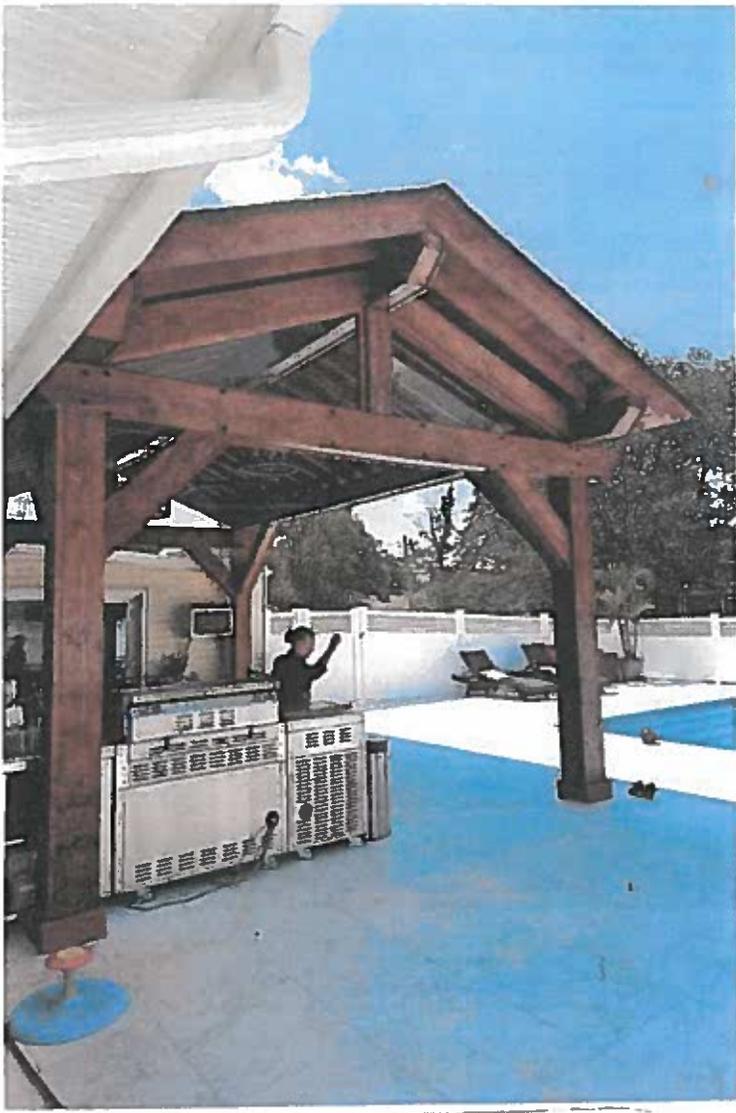


180 Wilson Place
East Side Property

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VILLAGE OF FREEPORT, NY



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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

*Photo of
Gazebo*



*Photo of
Gazebo*

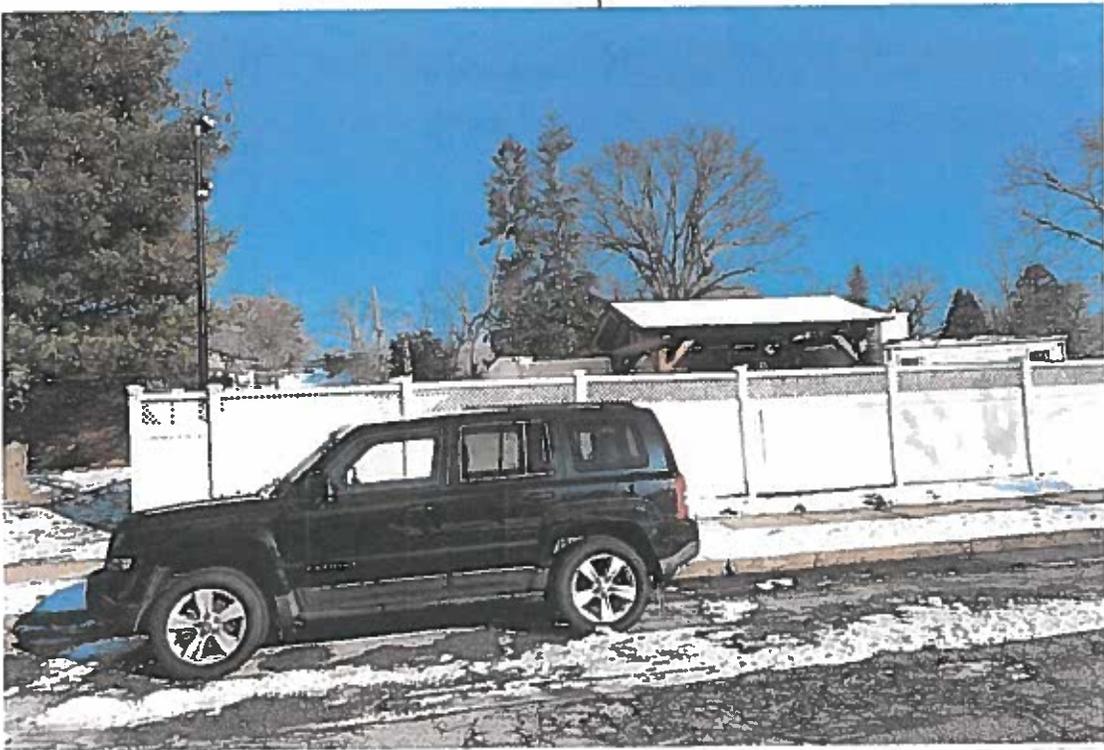


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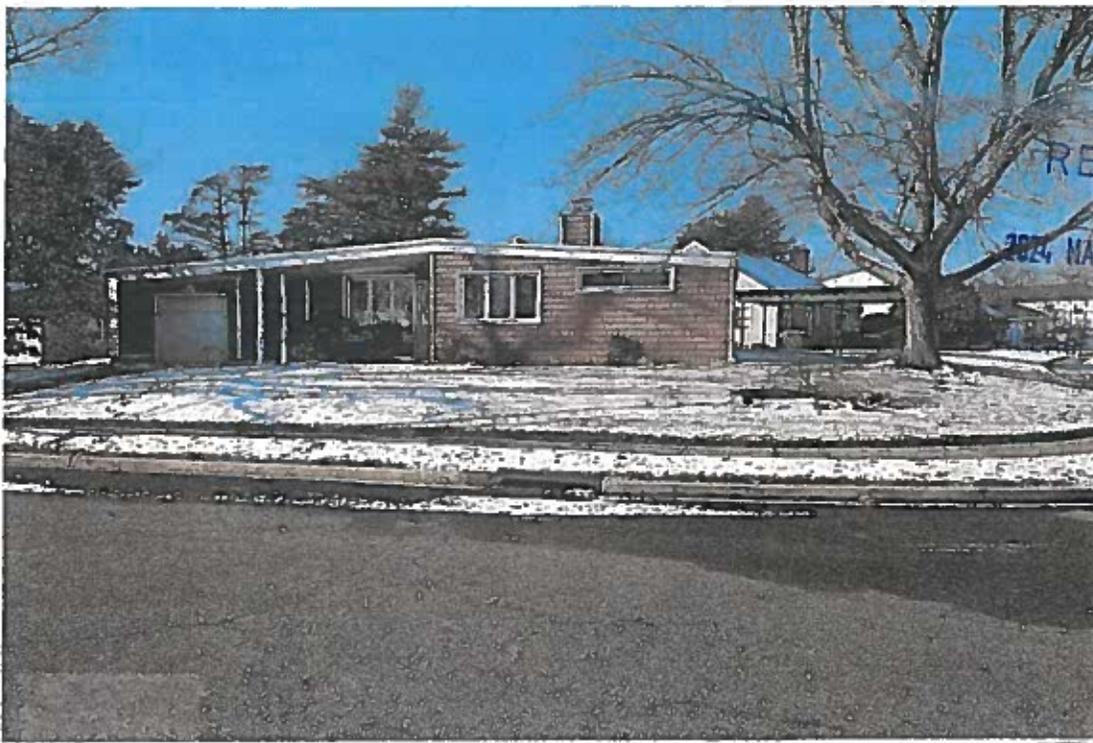
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

SIDE
VIEW
CADDISBO



SIDE VIEW
FROM STREET
OAKFIELD
AVE.

180 Wilson Pl.



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CLERK'S OFFICE
TOWN OF FREEDOM

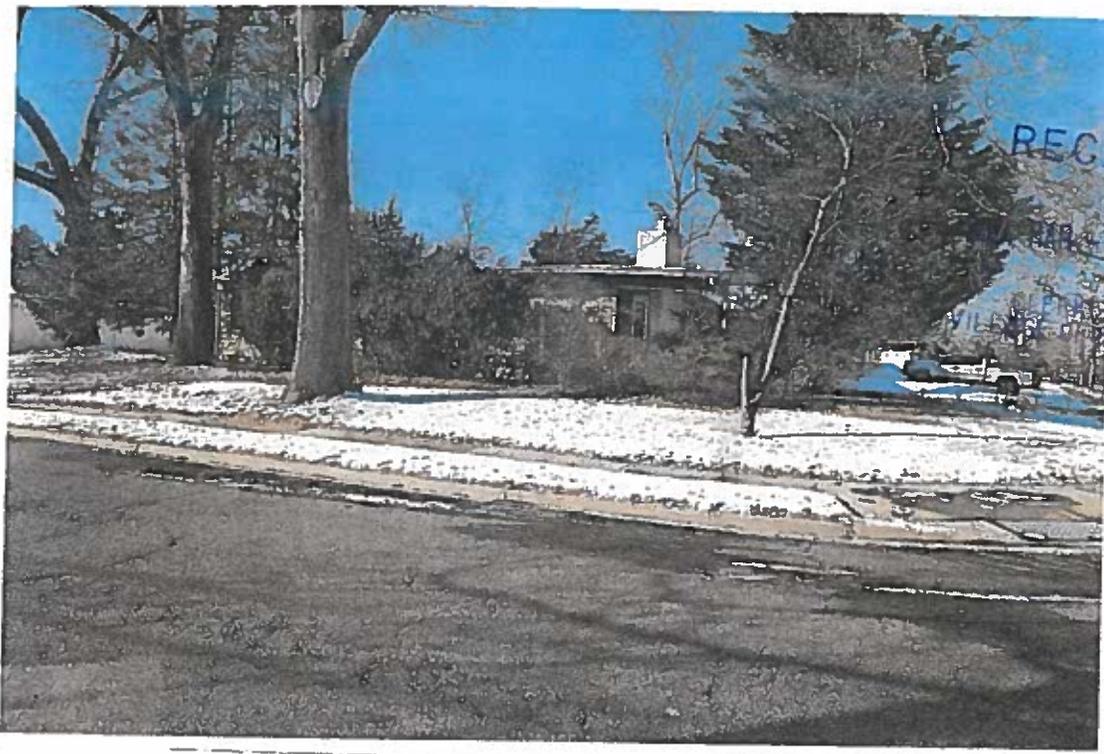
192

Wilson Place



ADJACENT
PROPERTY
OWNER.

10 OAKFIELD AVE.



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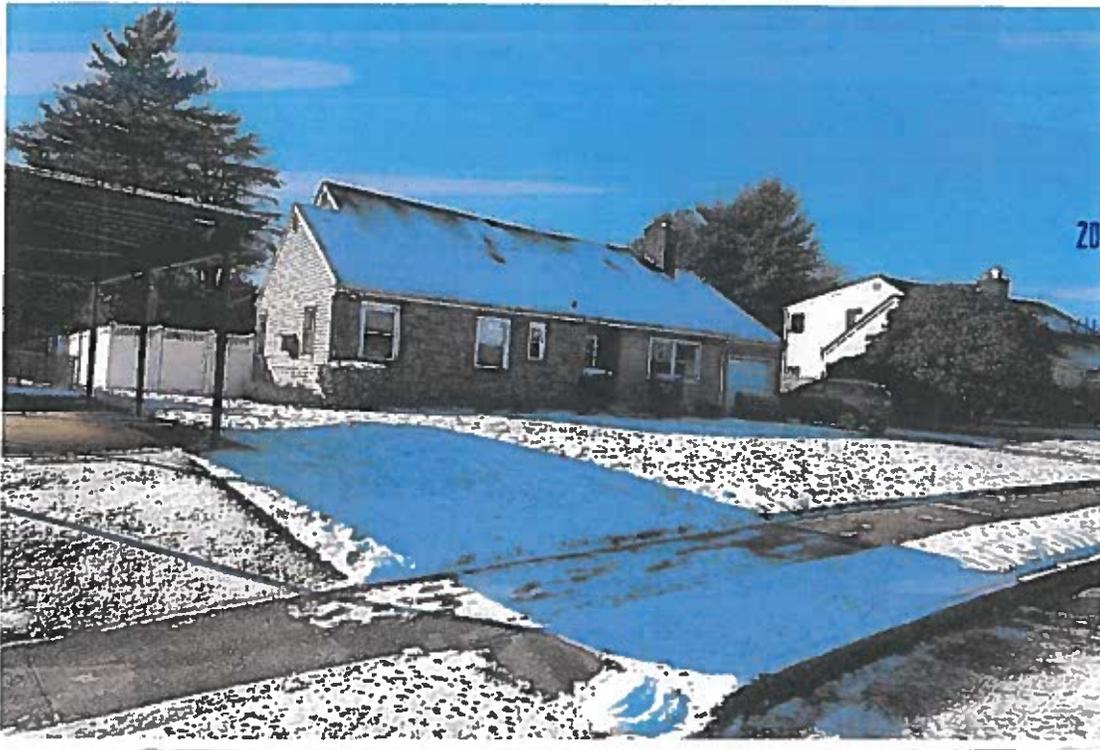
MAR 11 A 9 56

ADJACENT
OFFICE
REPORT NY
PROPERTY
OWNER.

56 VIRGINIA AVE.



VIEW
FACING
North
VIRGINIA
AVE.



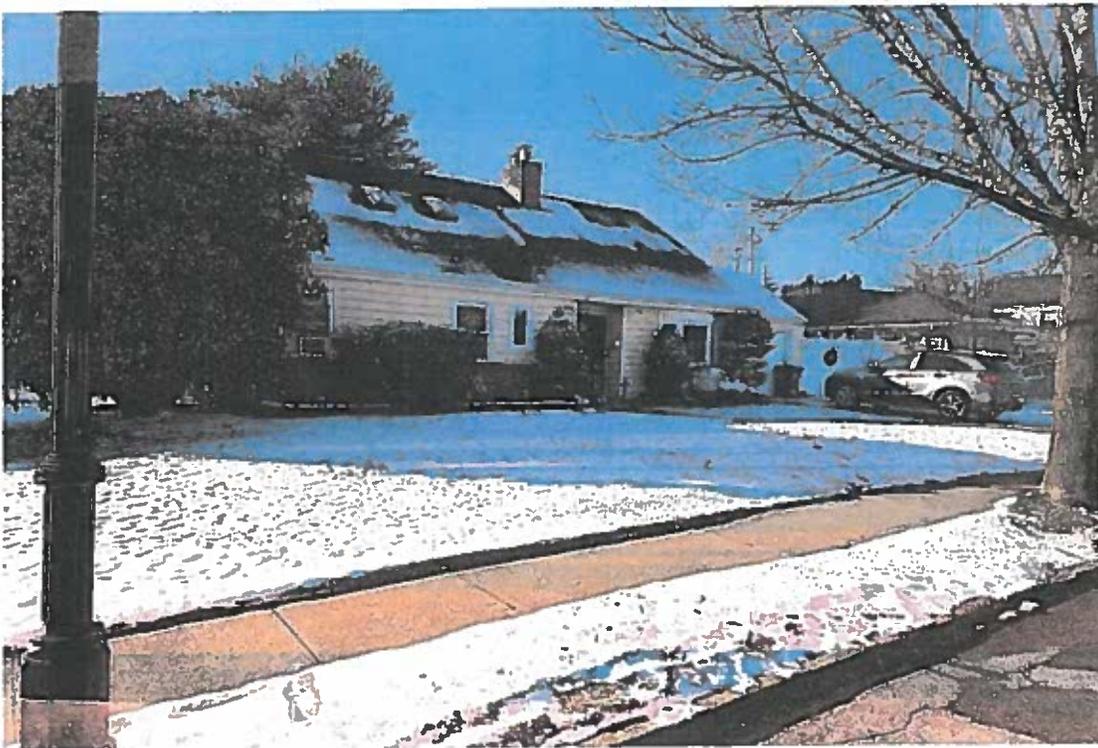
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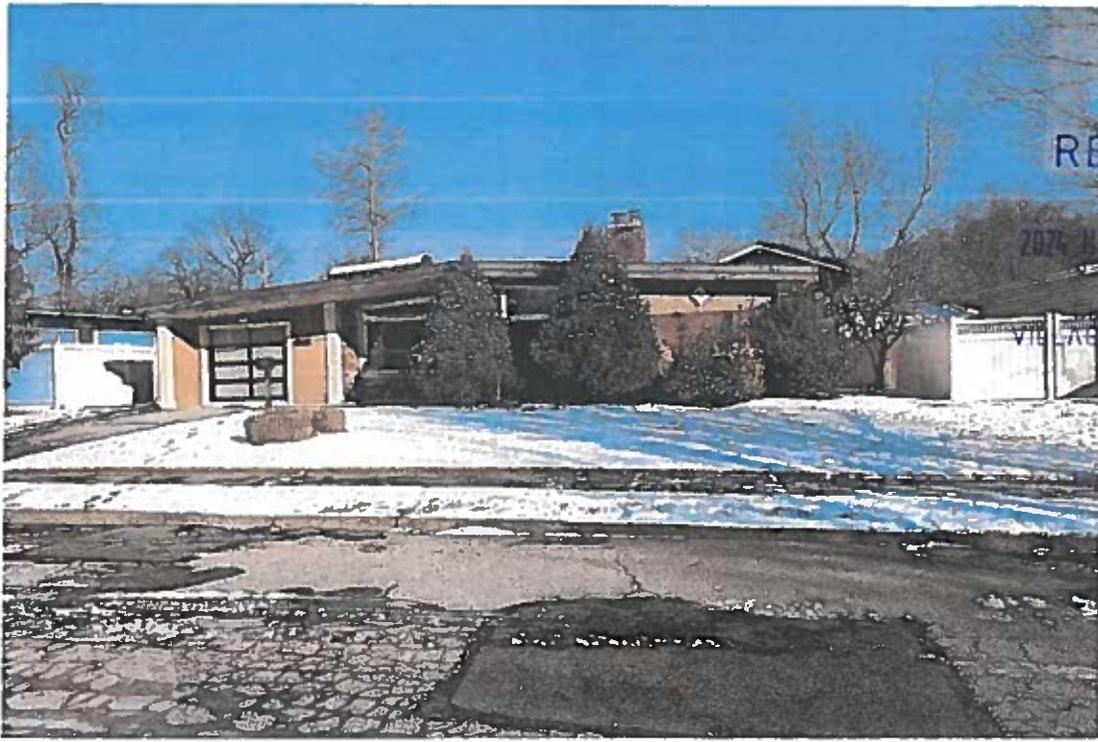
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

#7 Oakfield Ave.

Properties
Across
Subject
Site on
Oakfield
Ave.



#11 Oakfield.

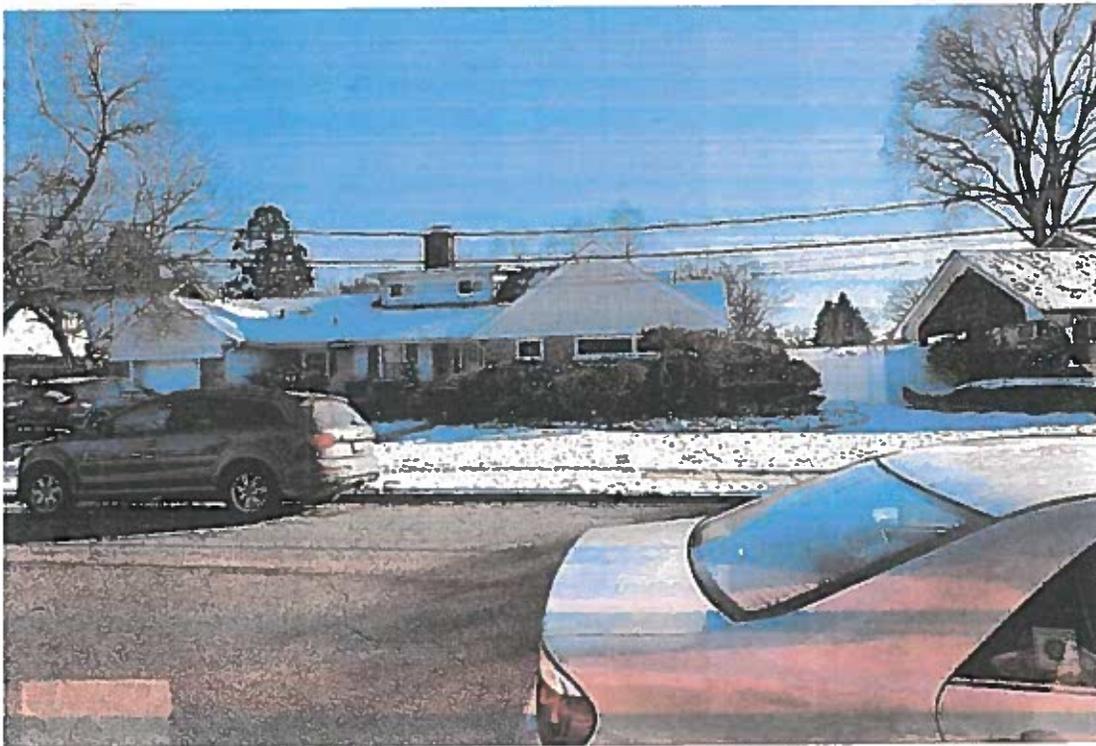


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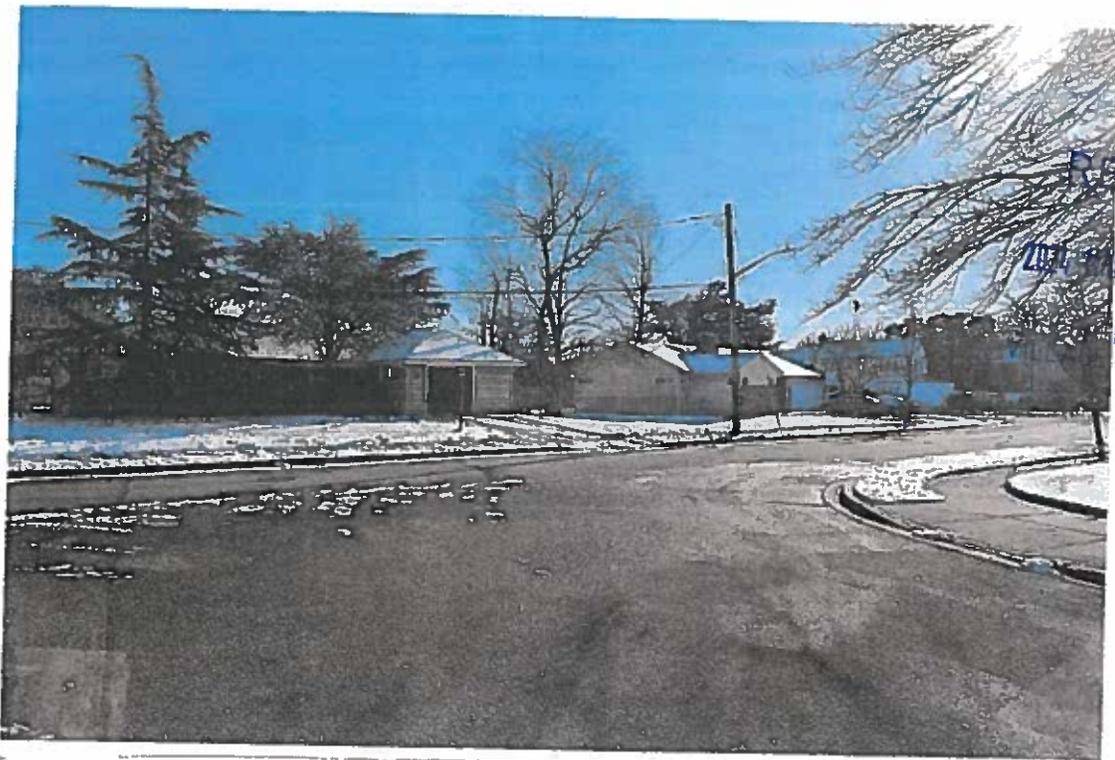
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VILLAGE OF FREEPORT, NY

14 Oakfield Ave.



ACROSS
SUBJECT
SITE
Wilson PL.

187 Wilson PLACE



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700 PAR-11A 957

MARK'S OFFICE ACROSS
OF FREEPORT, NY

SUBJECT

Site.

191 Wilson PL.



NORTHEAST
CORNER
Wilson PL +
Virginia
Ave.

MATERIAL LIST:

**180 Wilson Place
Freeport, N.Y.**

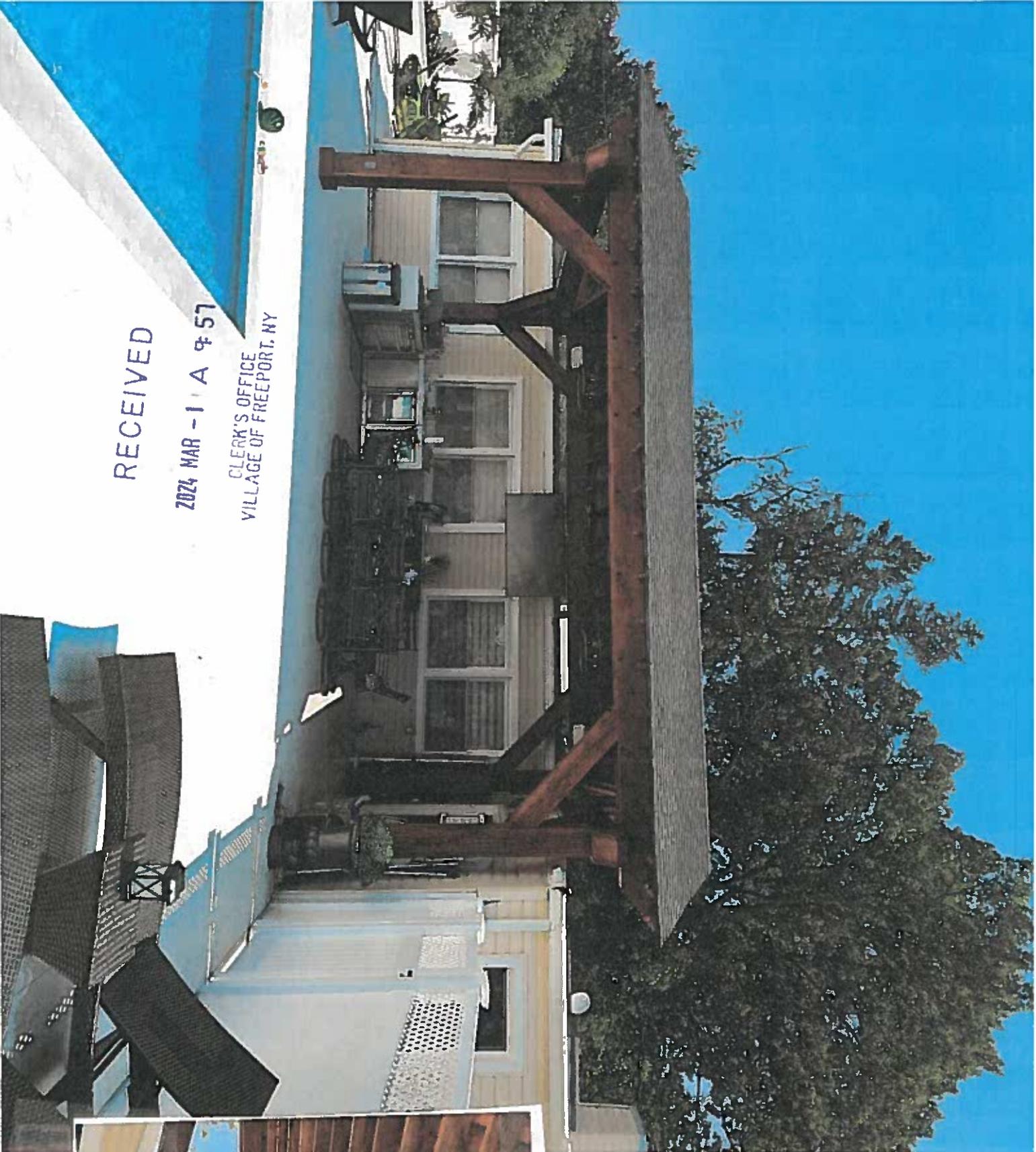
Maintain Existing Gi

Columns: 8 x 8 Ced

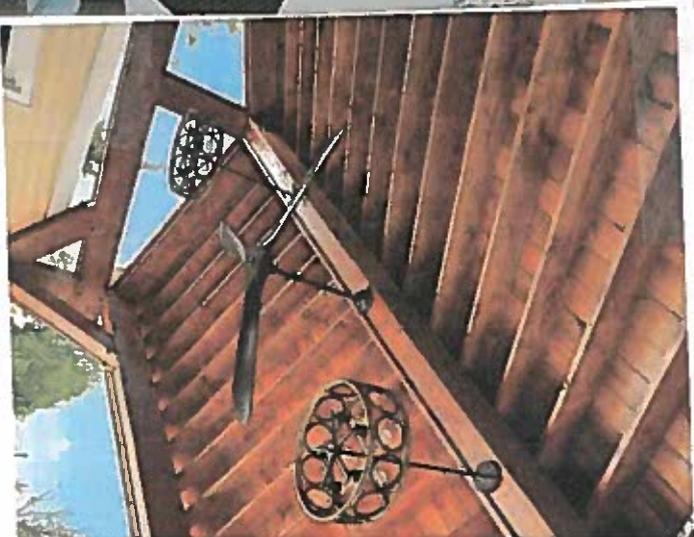
All Exterior Framing

**Roof: Royal Sovere
Charcoal Gray**

**Window Inserts At f
Clear Glass Fixed**



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VILLAGE OF FREEPORT, NY



INSIDE ROOF

CLIMATIC and GEOGRAPHIC DESIGN CRITERIA Table 301.2 (1)

Ground Snow Load	Wind Design	Special Wind Effects	Wind Storm Overturn Zone	Seismic Load	Exposure to damage from			Winter Design Temperature	Ice Barrier Load	Wind	Wind	Air Freezing Index
					Wind	Lightning	Severe					
20 psf	(20 mph)	No	WNW 1 Mile of Exposure	B	Medium	30"	Medium	13 F	No	62.8	1600 or less	

STRUCTURAL LOADS

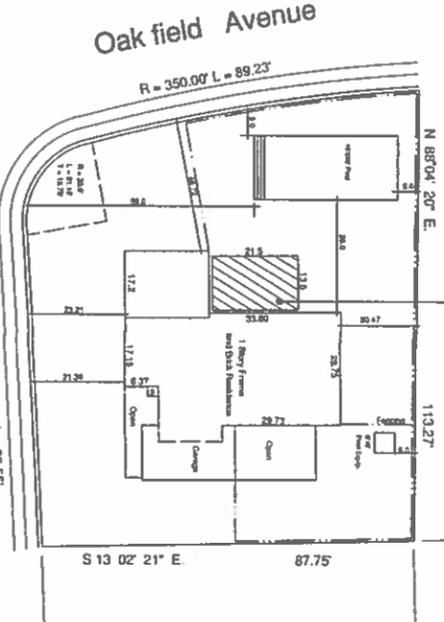
Symbol	Description
⊖	Section #
⊕	Elevation #
⊗	Sheet #

Symbol	Description
1 of 2	Plot Plan and Notes
2 of 2	Plan, Elevations and Section

Symbol	Description
⊖	Section #
⊕	Elevation #
⊗	Sheet #

Dead Loads
WEIGHTS of MATERIALS (per sq. ft.)
Concrete 147 pcf
1" mortar base
Hardwood Flooring 34# psf
3/4" Gypsum Board w/grade
TYPICAL DEAD LOADS (in psf) square foot
Floor with metal deck finish - 21 psf
Floor with hardwood finish - 12 psf

MAXIMUM ALLOWABLE DEFLECTION:
Floor and Ceiling Joists
Live Load = 1/360
Total Load = 1/480
Roof Rafters with no rafter width scaling
Live Load = 1/240
Total Load = 1/200
Live Load = 1/480
Total Load = 1/480



ZONING INFORMATION:
ONE FAMILY RESIDENCE
PLOT AREA = 11,500 S.F.
EXISTING HOUSE = 1803 S.F.
DETACHED GARAGE = 273 S.F.
EXISTING GAZEBO = 200.25 S.F.
TOTAL BUILDING = 2394.25 S.F.
PERCENTAGE OF LOT COVERAGE = 20.8%
CORNER LOT
FRONT YARD WILSON PLACE: 21.36' (NO CHANGE)
FRONT YARD OAKFIELD AVENUE: 49.72' (TO EXIST HOUSE)
FRONT YARD OAKFIELD AVENUE: 52.72' (TO EXIST GAZEBO)
HEIGHT OF GAZEBO = 14'-4" FROM GRADE TO TOP OF RIDGE

Maintain Gazebo on Exist. Paver Patio

Residence @
180 Wilson Place
Freeport, New York

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY
15 & A 1 - JAN 1202



James Lerner, Architect
424 Madison Street, Westbury, NY 11590
Tel: 516-375-4321
Email: jml@jmlarch.com

Maria J. Miro Design and Drafting
1002 Merrick Ave
N. Massena, New York 11958
Tel: (516) 547-3231 Email: mjm@mjmd.com

Project	Client	Scale	Date
Maintain Gazebo on Exist. Paver Patio	Residence @ 180 Wilson Place Freeport, New York	1/8" = 1'-0"	5/8/23

FOORING NOTES:

Agphalt Step Stripes shall have a minimum of six (6) inches per stripe in the 110° (50°) wind direction. In areas where the Average Daily Temperature in January is 23°F (-4°C) or less or when Table R901.2(1) criteria so designate, an Ice Barrier of Self-Adhering Polymer Modified Bitumen Sheet, shall be used in lieu of normal underlayment and extend from the sewer's edge to a point at least 24 inches inside the exterior wall line of the Building.

Underlayment Application: For roof slopes from 2 units Vertical in 12 units horizontal (17% Slope), up to 4 units Vertical in 12 Horizontal (33% Slope), Underlayment shall be two layers applied in the following manner:
Apply a 1/8 inch (4mm) Strip of Underlayment Fastener with and starting at the Eaves, staggered and applied in the following manner: Strip all the way, apply 20 inch-wide strips of Underlayment, overlapping successive strips 10 inches, and lapped sufficiently to hold in place. For roof slopes of 4 units vertical in 12 units horizontal (33% Slope) or greater, underlayment shall be one layer applied in the following manner:

Table R905.2.2

MINIMUM GAUGE (ounces)	WEIGHT (pounds)
Copper (inches)	1
Aluminum 0.024	28
Stainless Steel 28	28
Galvanized Steel 0.0178 28 (Zinc Coated 0.020)	28
Zinc Alloy 0.027	28
Lead 2.12	20

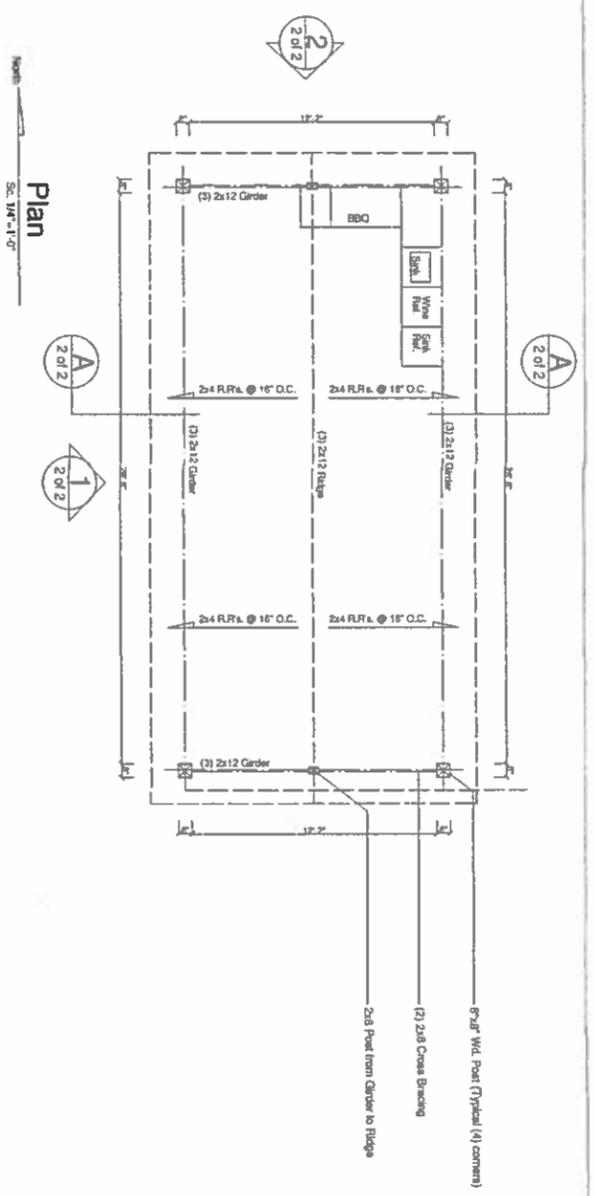
Underlayment shall be applied single station, parallel to and starting from the eave and lapped 6 inches. Fastened sufficiently to hold in place. End laps shall be offset 6 feet.

R905.2.3 Flashing: Flashing for asphalt shingles shall comply with this section.
R905.2.4.1 Base and Cap Flashing: Base and Cap Flashing shall be installed in accordance with Manufacturer's installation instructions. Base Flashing shall be of either corrosion resistant metal of minimum nominal 0.019 inch thickness or metal surface roll roofing weighing a minimum of 77 lbs per 100 square feet. Cap Flashing shall be corrosion resistant metal of minimum nominal 0.019 inch thickness. 2

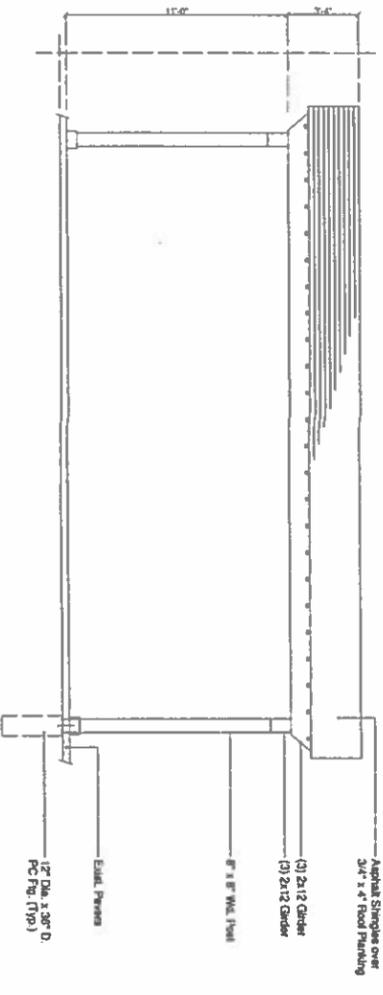
GENERAL NOTES

1. All work shall be in compliance with 2020 Building Code of N.Y. State, Fire Prevention Code, NY 9-DEC, Board of Fire Underwriters, Village of Freeport & any other applicable having jurisdiction.
2. The work in the contract shall consist of the labor, additional and materials necessary for the construction of the work as noted on these drawings. The entire work is to be constructed and finished in every part in a good substantial and workmanlike manner in accordance with the accompanying drawings and specifications to the last letter and meaning thereof. All work is to be done in a neat and workmanlike manner. It is the function of these drawings, particularly the notes hereon, to describe the work to be done and to be installed by the Contractor. All materials to be stored, installed and maintained during the course of the work in strict accordance with the manufacturer's instructions.
3. The Contractor shall verify all dimensions and conditions and shall report all discrepancies to the Architect prior to commencing work.
4. The Contractor is solely responsible for the means, methods and all aspects of construction and shall take all necessary precautions to ensure the safety of all occupants, employees and general public. Any materials and property not included in the scope of work shall be suitably protected against damage and if necessary, shall be removed to its original state.
5. The Contractor shall maintain work areas clean, orderly, and free of debris, (except Type and any amount to clear) and shall be the responsibility of the Contractor to clear the work area and the Owner/Operator from any debris for the project.
6. All Painting, Electrical and other work as indicated is to be performed by approved Village of Freeport licensed contractors.
7. The Contractor shall at all times keep the site free from the accumulation of waste material or rubbish caused by operations. At the completion of the work, all excess material, vehicles, equipment and supplies shall be removed and the site left in a "Spot Clean" condition.

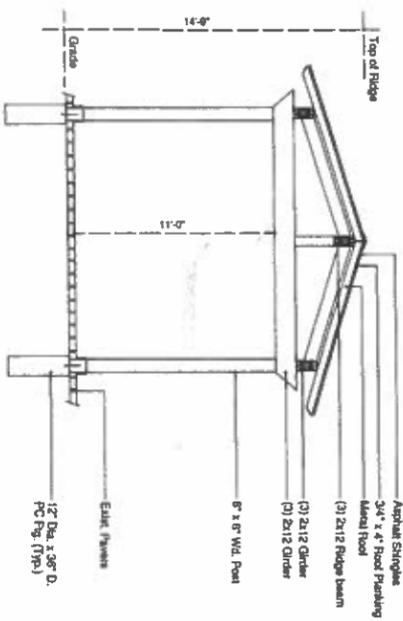
R905.2.3.2 Valleys: Valley Linings shall be installed in accordance with Manufacturer's installation instructions before applying shingles. Valley Linings of the following type shall be permitted:
For Open Valley (Valley Lining Exposed) lined with metal, the valley shall be at least 24 inches wide and of any of the Corrosion-Resistant Metals in the Table R905.2.2.2 shown below.
For Closed Valley (Valley Covered With Shingles), Valley Lining of any type of enamel roll roofing complying with ASTM D 224 Type II or Type III and at least 28 inches wide, or Metal Valley Lining as described above, or the sheet as described above shall be permitted.



Plan
Scale: 1/4" = 1'-0"



1 Elevation
Scale: 1/4" = 1'-0"



2 Elevation
Scale: 1/4" = 1'-0"
A-A Section
Scale: 1/4" = 1'-0"

85 & A 1 - MAR 7 2012
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

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Maintain Gazebo on Exist. Paver Patio
Residence @
180 Wilson Place
Freeport, New York

James Lerner, Architect
424 Madison Street, Westbury, N.Y. 11590
Tel. 516-676-6821
Email: jmlerner@yahoo.com

Maria J. Miro Design and Drafting
1002 Maricopa Ave.
N. Merrick, New York 11566
Tel. (516) 547-5251 Email: kandi@mjmd.com



Project	Maintain Gazebo on Exist. Paver Patio
Drawn by	MJM
Checked by	JL
Date	9/28/11
Scale	As Shown
Sheet No.	2 of 2

Application Date: 3/6/2024
 Fees Paid: \$225.00

SP# 3714

**INCORPORATED VILLAGE OF FREEPORT
 SITE PLAN REVIEW APPLICATION
 PLANNING BOARD**

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 338 Westside Ave ZONING DISTRICT Residence A
 SECTION 62 BLOCK 066 LOT 251 LOT SIZE: _____

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Bharat Ganesh H</u>	Name: <u>BHARAT GANESH</u>
Address: <u>338 Westside Ave Freeport NY 11520</u>	Address: <u>338 Westside Ave Freeport NY 11520</u>
Telephone #: <u>347-757-2994</u>	Telephone #: <u>347-757-2994</u>

Attorney Name: _____ Address: _____
 (optional) Phone #: _____

Present Land Use: residential Proposed Land Use: residential

Description of Proposed Work: Maintain Backyard as Asphalt and expanded driveway. Driveway 23x75

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
 A. The subject property is zoned Residence A or Residence AA.
 B. The proposed construction is not a new building or dwelling.
 C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

 APPLICANT'S SIGNATURE PEGGY M. LESTER YES NO _____
 Sworn to before me this 20TH day of SEPTEMBER 2023 Notary Public, State of New York
Peggy M. Lester No. 01LE6293122
 Notary Public Commission Expires Nov. 25, 2025

Property Owner's Consent:
 I, BHARAT GANESH am (are) the owner(s) of the subject property and consent to the filing of this application.

 PROPERTY OWNER'S SIGNATURE PEGGY M. LESTER DATE 09/20/23
 Sworn to before me this 20TH day of SEPTEMBER 2023 Notary Public, State of New York
Peggy M. Lester No. 01LE6293122
 Notary Public Commission Expires Nov. 25, 2025

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 2024 MAR - 11 A 11 26
 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

UPDATED SITE PLAN LETTER
March 6, 2024

Bharat Ganesh
338 Westside Ave
Freeport, NY 11520

RE: 338 Westside Avenue, Freeport, NY 11520
Zoning District: Residence A Sec 62, Blk 066, Lot 251
Building Permit Application #20233397
Description: Maintain backyard as asphalt (Blacktop) (1,125sqft) and expanded driveway (1,725)

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes__ No_x

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE
2024 MAR -6 11:29

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VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20233397

Location: 338 Westside Ave, Freeport NY 11520

Applicant: Bharat Gasesh

Description : Maintain backyard as asphalt (Blacktop) and expanded

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: March 6, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

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IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

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FREEPORT BUILDING DEPT.

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Bharat Ganesh Asphalt (Black Top)			
Project Location (describe, and attach a location map): Backyard & Driveway As Asphalt			
Brief Description of Proposed Action: <div style="text-align: right; margin-right: 50px;">75x23</div> MAINTAIN BACKYARD ASPHALT → 1,125 sqft <div style="text-align: right; margin-right: 50px;">45x25</div> AND EXPANDED DRIVEWAY → 1,725 sqft			
Name of Applicant or Sponsor: BHARAT GANESH		Telephone: 347-757-2994	
Address: 33B Westside Ave		E-Mail: Bharatganesh94@gmail.com	
City/PO: Freeport	State: NY	Zip Code: 11520	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		X	
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
		X	
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

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		NO	YES	N/A
5. Is the proposed action,				
a. A permitted use under the zoning regulations?				X
b. Consistent with the adopted comprehensive plan?				X
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?			NO	YES
		X		X
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____			NO	YES
		X		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?			NO	YES
		X		
b. Are public transportation service(s) available at or near the site of the proposed action?				
		X		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?				
		X		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____			NO	YES
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? If No, describe method for providing potable water: _____] <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES			NO	YES
		X		
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? If No, describe method for providing wastewater treatment: _____] <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES			NO	YES
		X		
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?			NO	YES
		X		
b. Is the proposed action located in an archeological sensitive area?				
		X		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?			NO	YES
		X		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____				
		X		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:				
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?			NO	YES
		X		
16. Is the project site located in the 100 year flood plain?			NO	YES
		X		X
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,			NO	YES
a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES				
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____				
		X		

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FREEPORT BUILDING

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Bhoroj Ganesh</u>	Date: <u>7/20/23</u>	
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

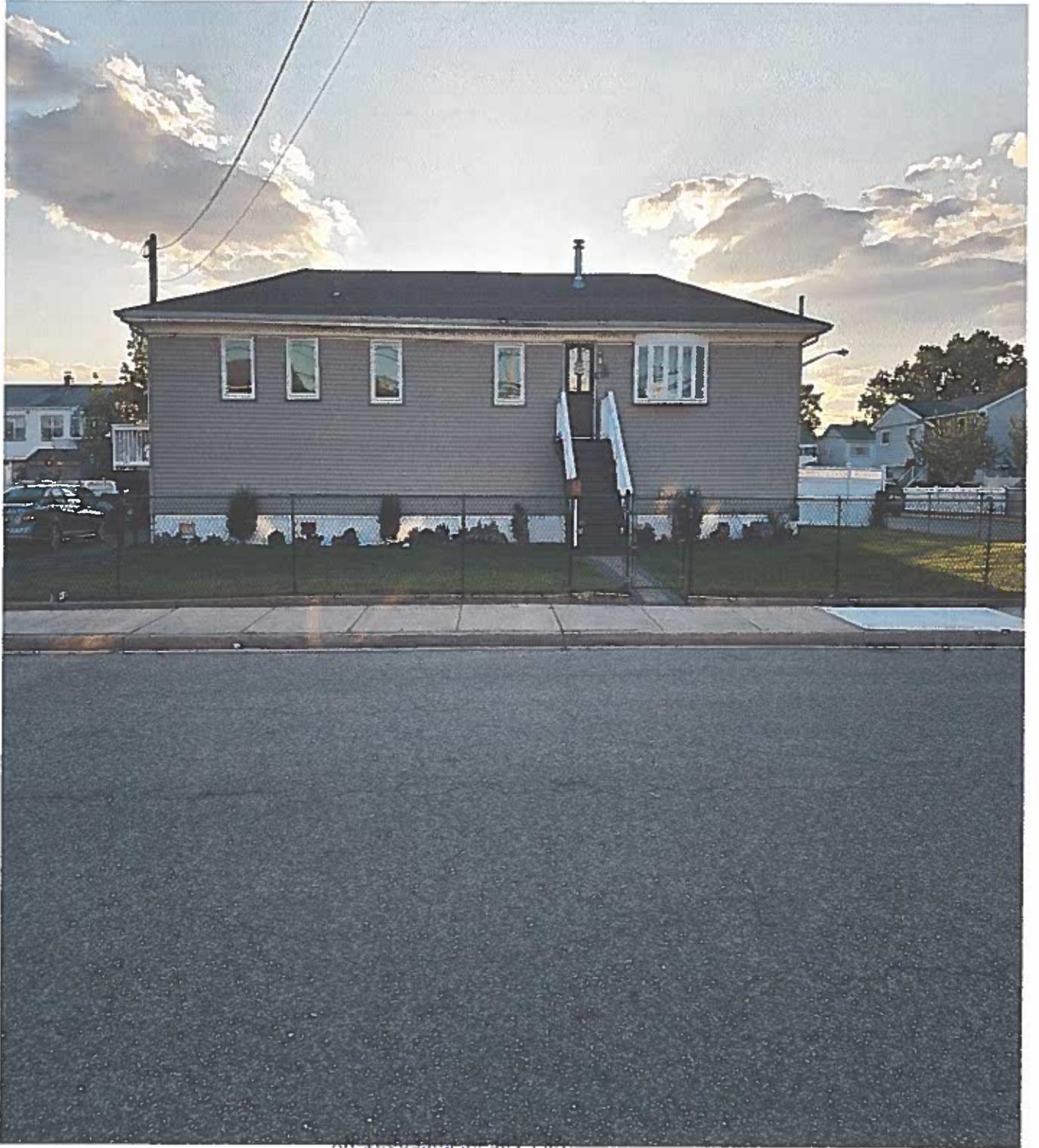
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 FREEPORT BUILDING DEPT.

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
<u>Bhorat Gunesht</u>	<u>7/20/2023</u>
Name of Lead Agency	Date
<u></u>	<u></u>
Print or Type Name of Responsible Officer in Lead Agency	Clerk's Office Village of Freeport, NY
<u></u>	2023 MAR - 6 11: 27
Signature of Responsible Officer in Lead Agency	Title of Responsible Officer
<u></u>	Signature of Preparer (if different from Responsible Officer)

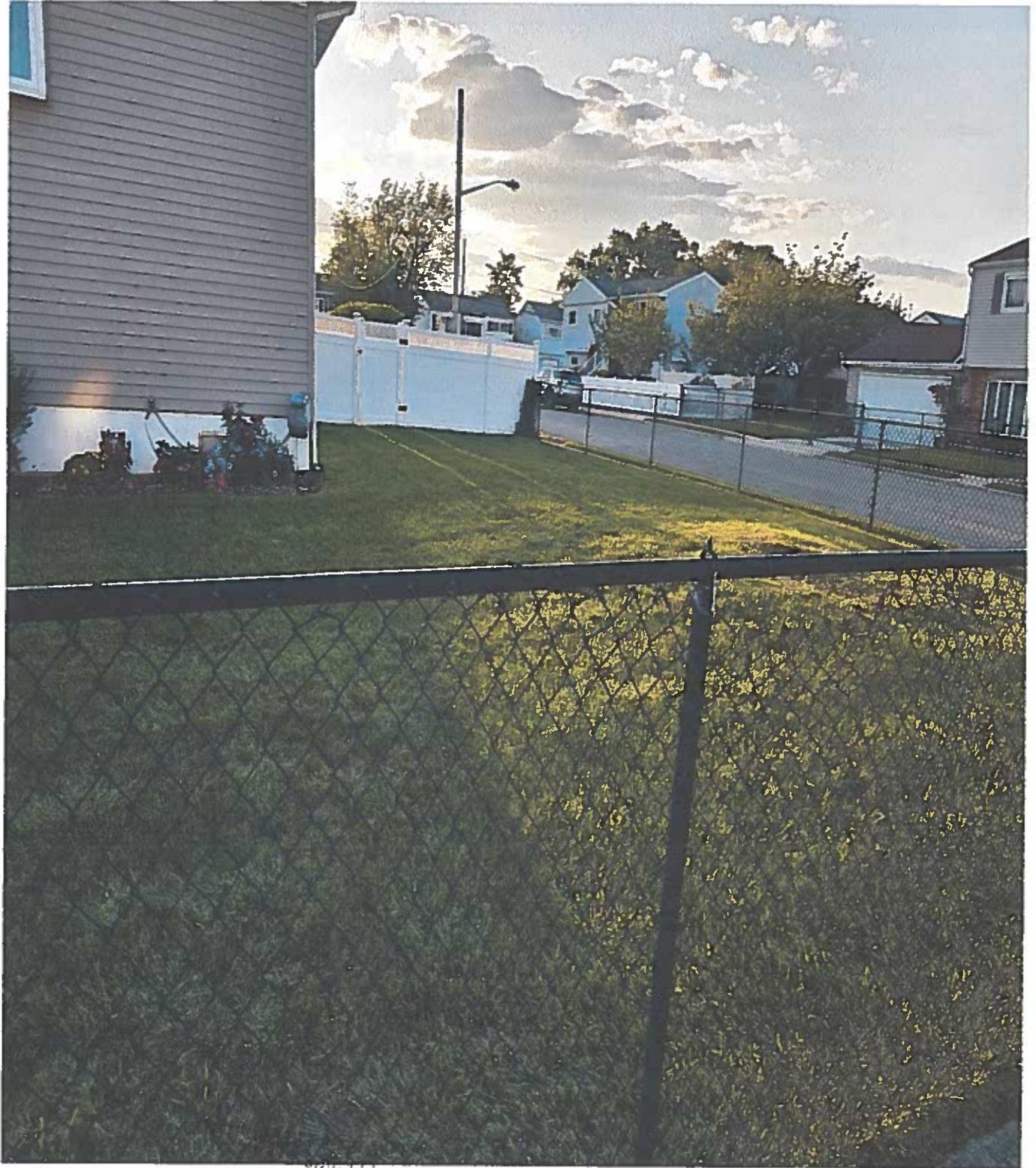
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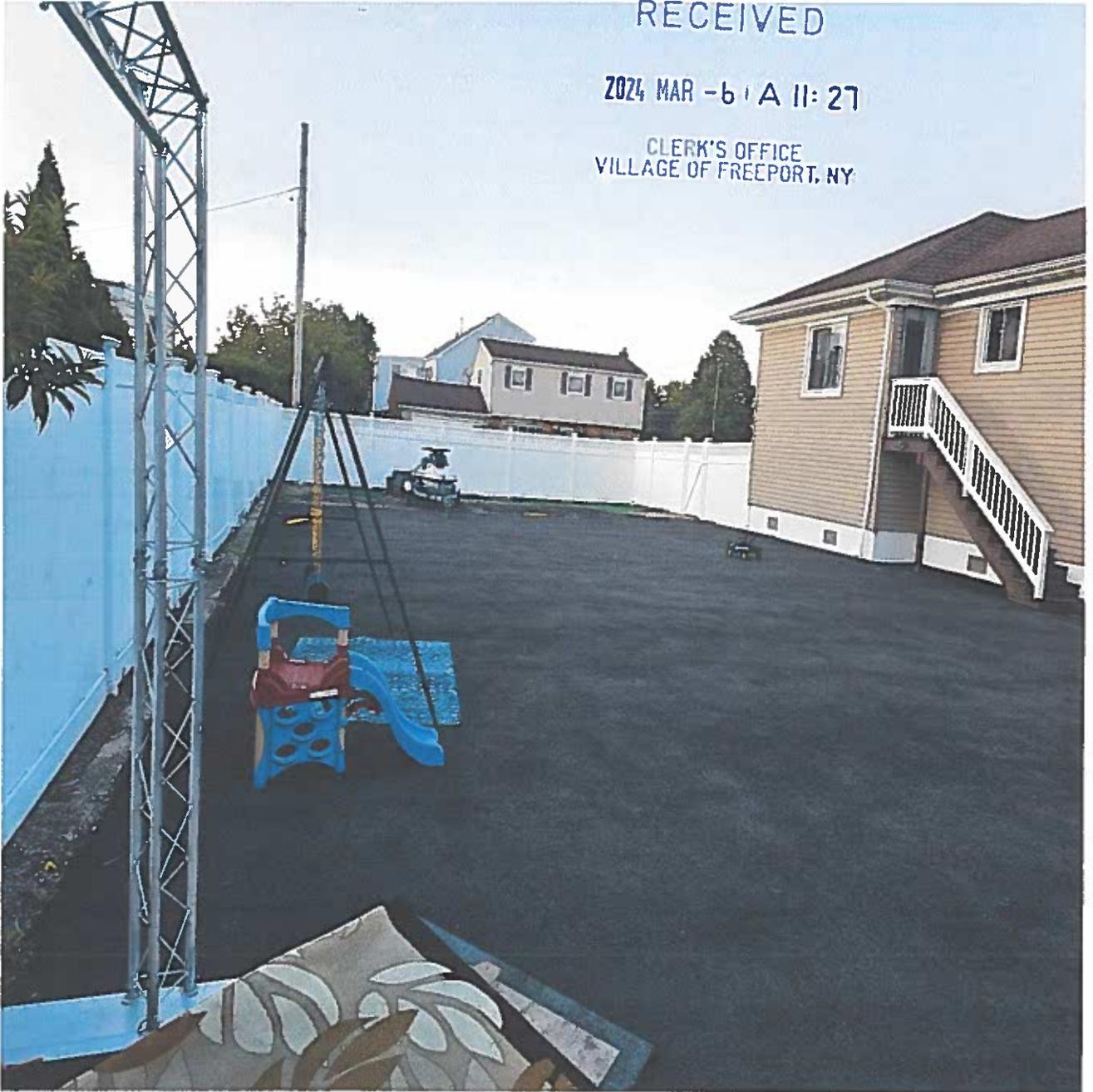
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

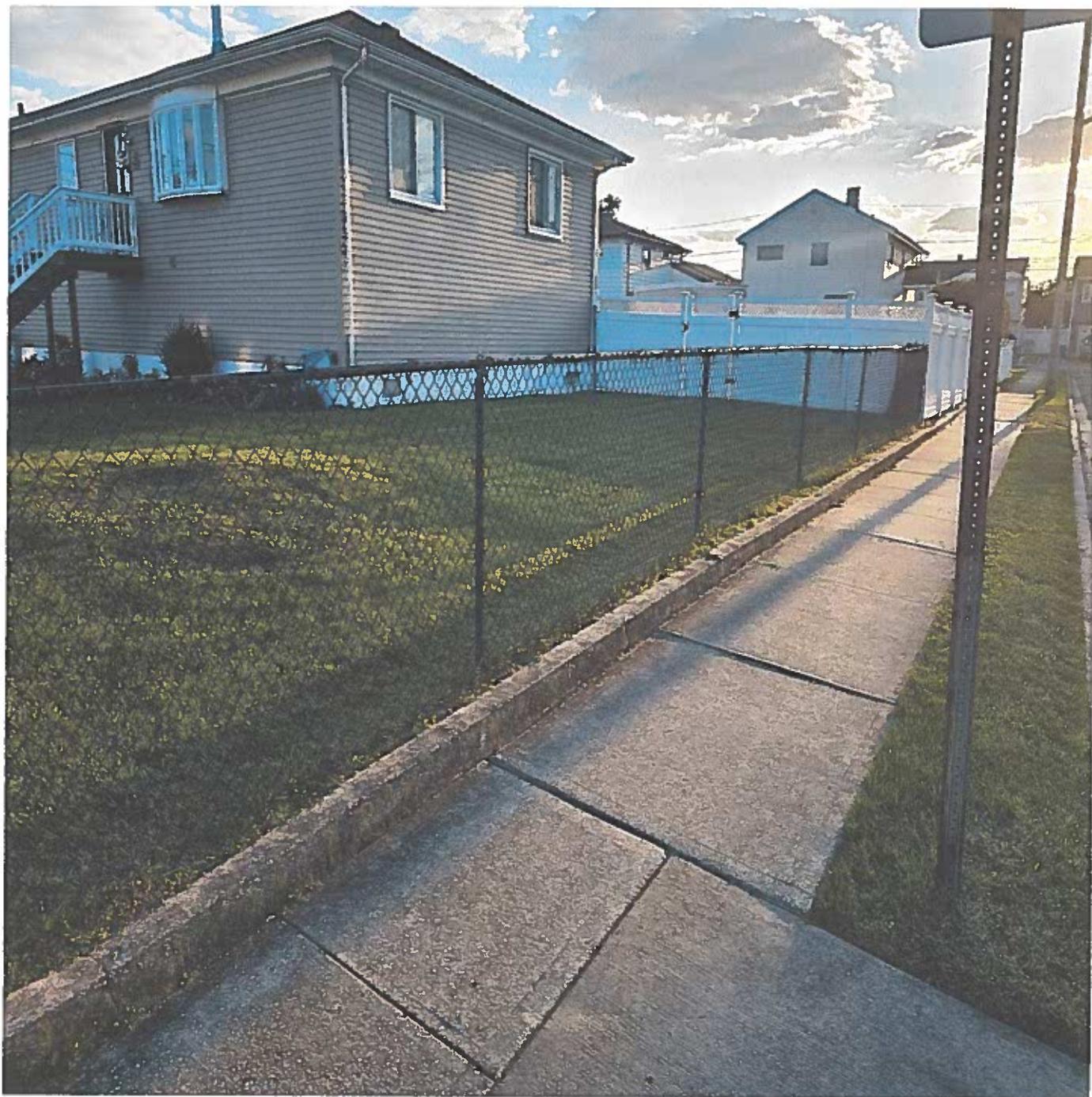


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VILLAGE OF FREEPORT, NY





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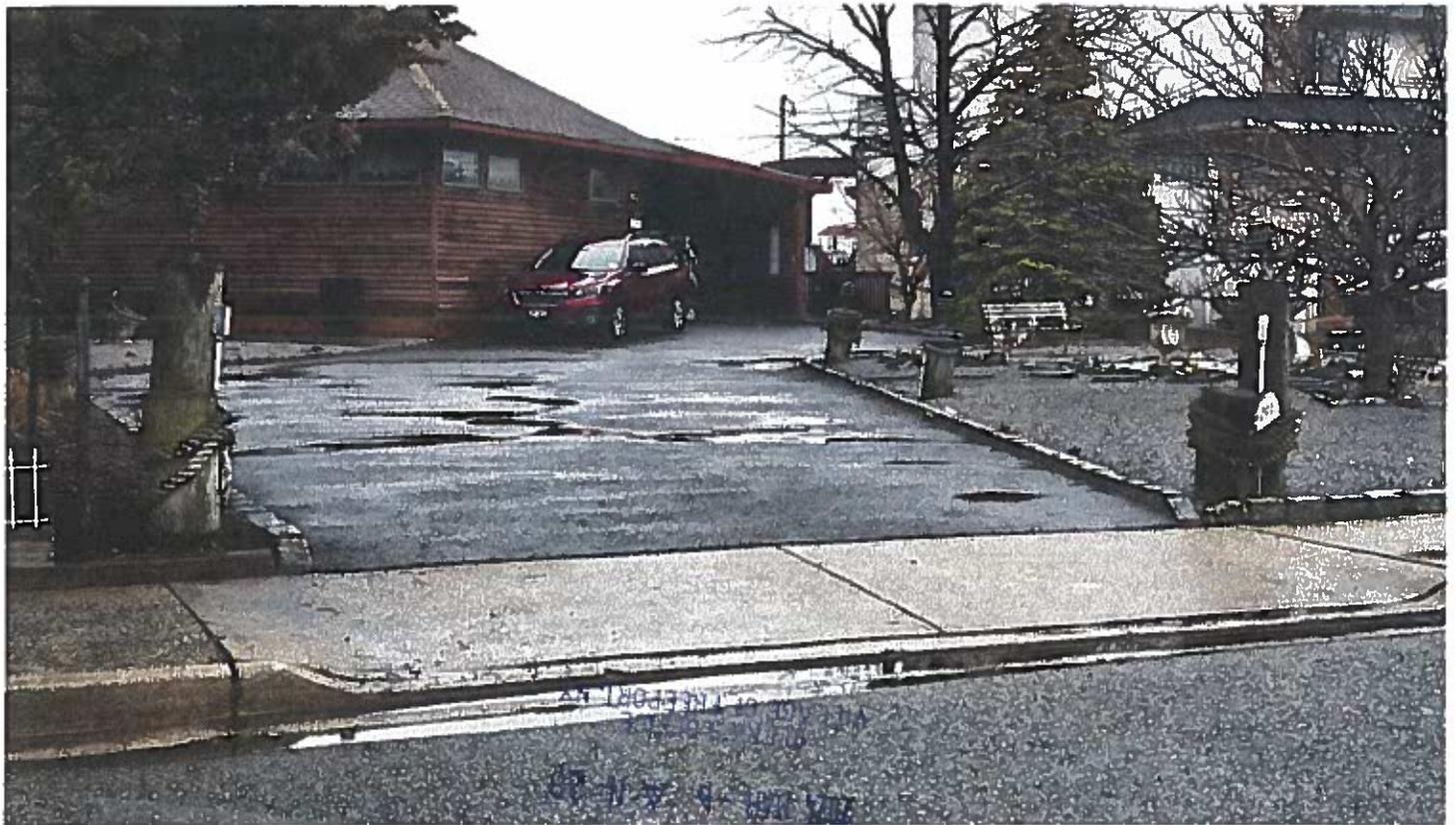
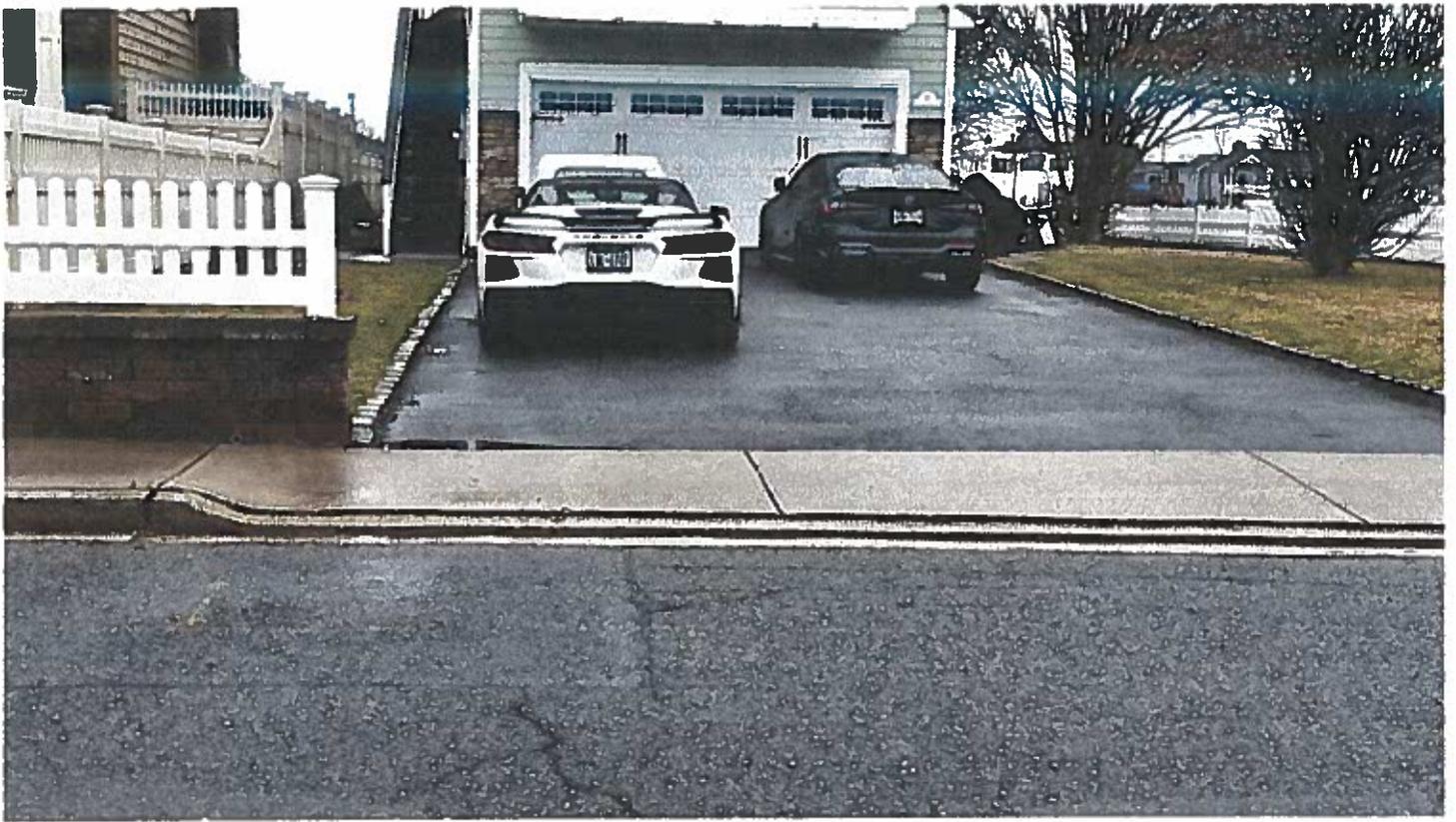
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Application Date: 3/21/2024
Fees Paid: \$2251.00

SP# 3740

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 86 Elliot Pl ZONING DISTRICT Residence A
SECTION 54 BLOCK 309 LOT 138 LOT SIZE: _____

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Same as owner</u>	Name: <u>Janet Lee</u>
Address: _____	Address: <u>86 Elliot Pl</u>
Telephone #: _____	Telephone #: <u>516 297 2285</u>

Attorney Name: X Address: _____
(optional) Phone #: _____

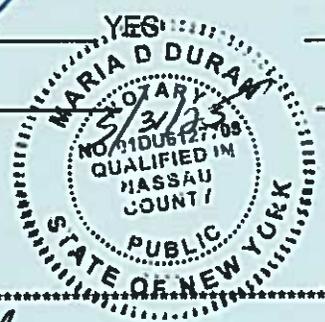
Present Land Use: n/a Proposed Land Use: Storage Shed

Description of Proposed Work: 10x16 wooden storage shed

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

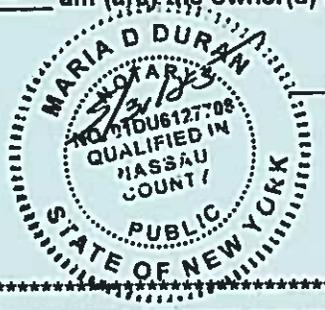
[Signature]
APPLICANT'S SIGNATURE
Sworn to before me this 14
day of Nov, 2024
[Signature]
Notary Public



DATE: 5/14/24
VILLAGE CLERK'S OFFICE
VILLAGE OF FREEPORT, NY
MAY 21 A 0:55
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Property Owner's Consent: Janet A. Lee am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 14
day of Nov, 2024
[Signature]
Notary Public



DATE: 5/14/24

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



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2024 MAY 21 A 10: 55

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER

May 13, 2024

Janet Lee
86 Elliot Pl
Freeport, NY 11520

RE: 86 Elliot Pl, Freeport, NY
Zoning District – Residence A Sec. 54 Blk. 309 Lot 138
Building Permit Application #20243718

Description: Proposed shed 10'x16'x10'

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

c: Village Clerk
ZBA Approval Needed: No

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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Notice

2024 MAY 21 A 10:55

X Negative Declaration

Positive Declaration
VILLAGE OF FREEPORT, NY

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20243718

Location: 86 Elliot Pl, Freeport, NY

Applicant: Janet Lee

Description: Proposed shed 10'x16'x10'

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: May 13, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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FREEPORT BUILDING DEPT.

617.20
Appendix B

Short Environmental Assessment Form

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2024 MAY 21 A 10: 55

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
10x16 Shed			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
86 Elliott Place Freeport, NY 11520			
Brief Description of Proposed Action: 10x16 Shed			
Name of Applicant or Sponsor:		Telephone: 5162972285	
JANET LEE		E-Mail: juicyj11466@aol.com	
Address: 86 Elliott Place			
City/PO: Freeport		State: NY	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/>
			YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

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APR 10 2024
FREEPORT BUILDING DEPT.

2024 MAY 21 A 10:55

	NO	YES	N/A
5. Is the proposed action, a. Permitted use under the zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?
If Yes, explain purpose and size: _____

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?
If Yes, describe: _____

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?
If Yes, describe: _____

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Janet Lee Date: 5/21/24
Signature: _____

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

APR 19 2024

No, or small impact may occur	Moderate to large impact may occur
-------------------------------	------------------------------------

FREEDPORT BUILDING DEPT.

10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

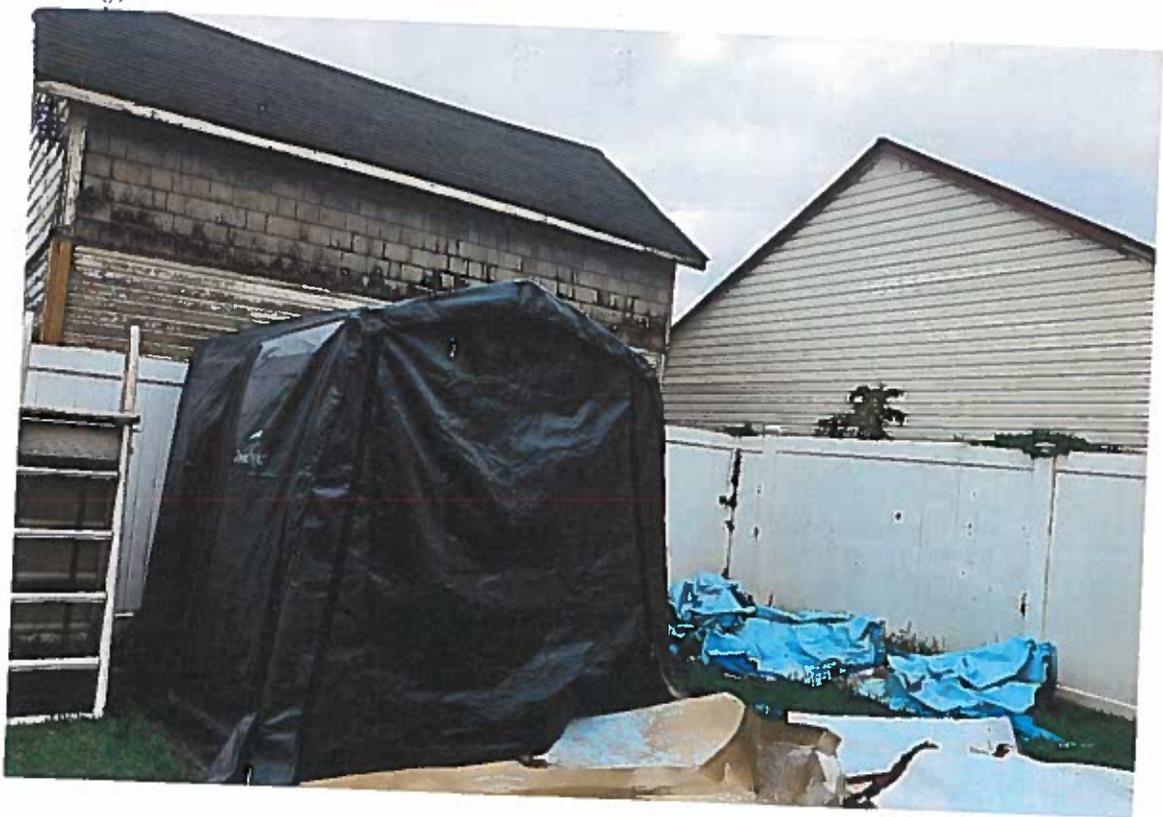
Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 CLERK'S OFFICE
 VILLAGE OF FREEDPORT, NY

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



86 Elliott Pl



Location where
shed will go

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1 A 10:5
S OFFICE
FREEPORT.



Elliott Pl

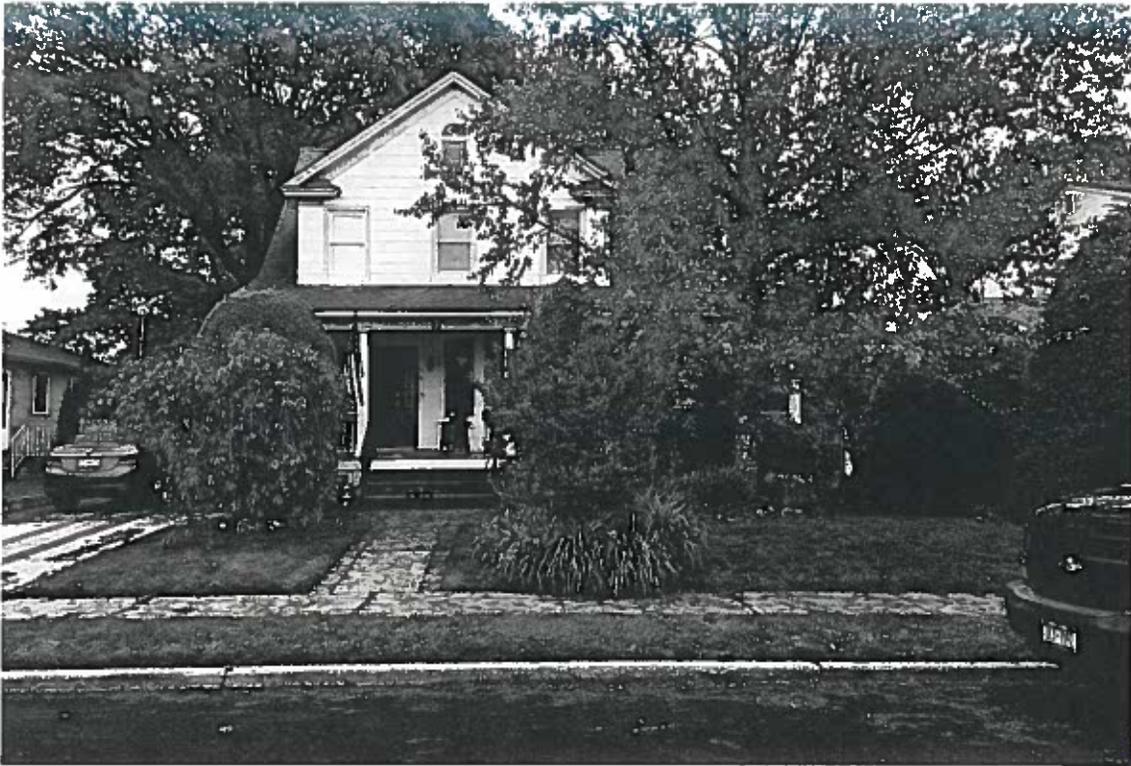


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VILLAGE OF FREEPORT, NY

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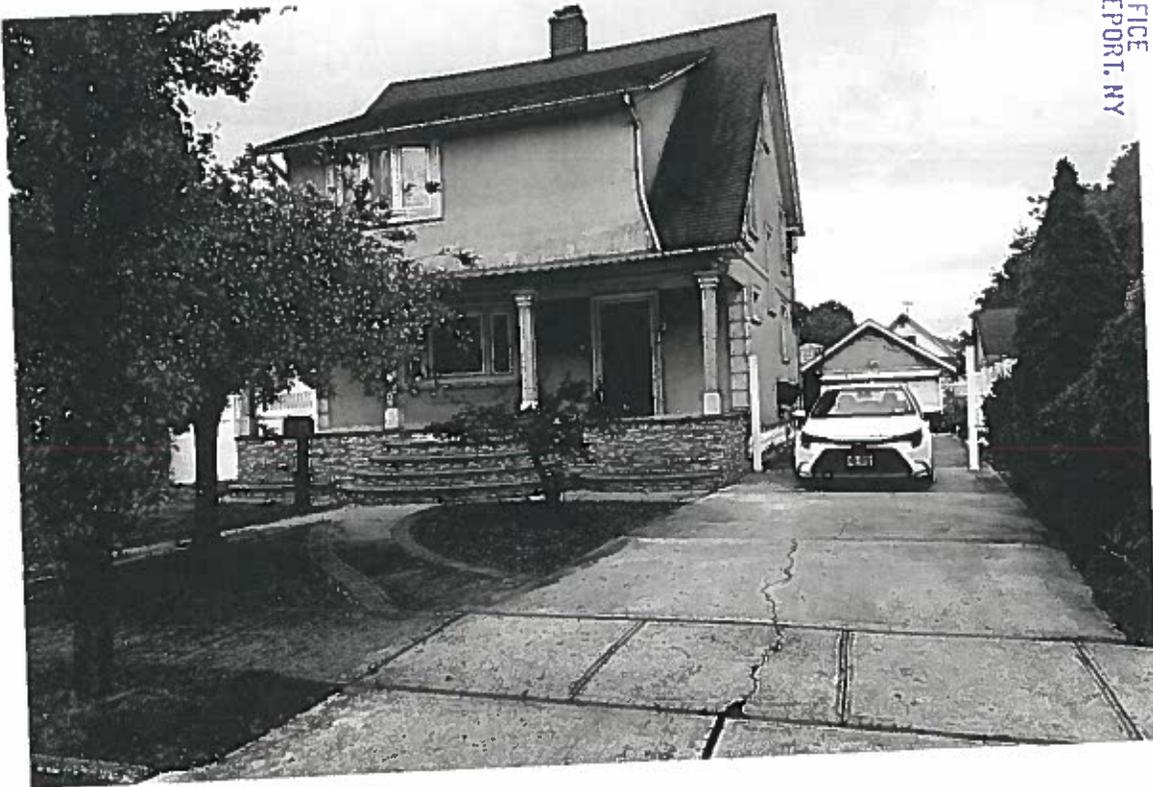


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VILLAGE OF FREEPORT, NY

2024, MAY 21 | A 10: 56

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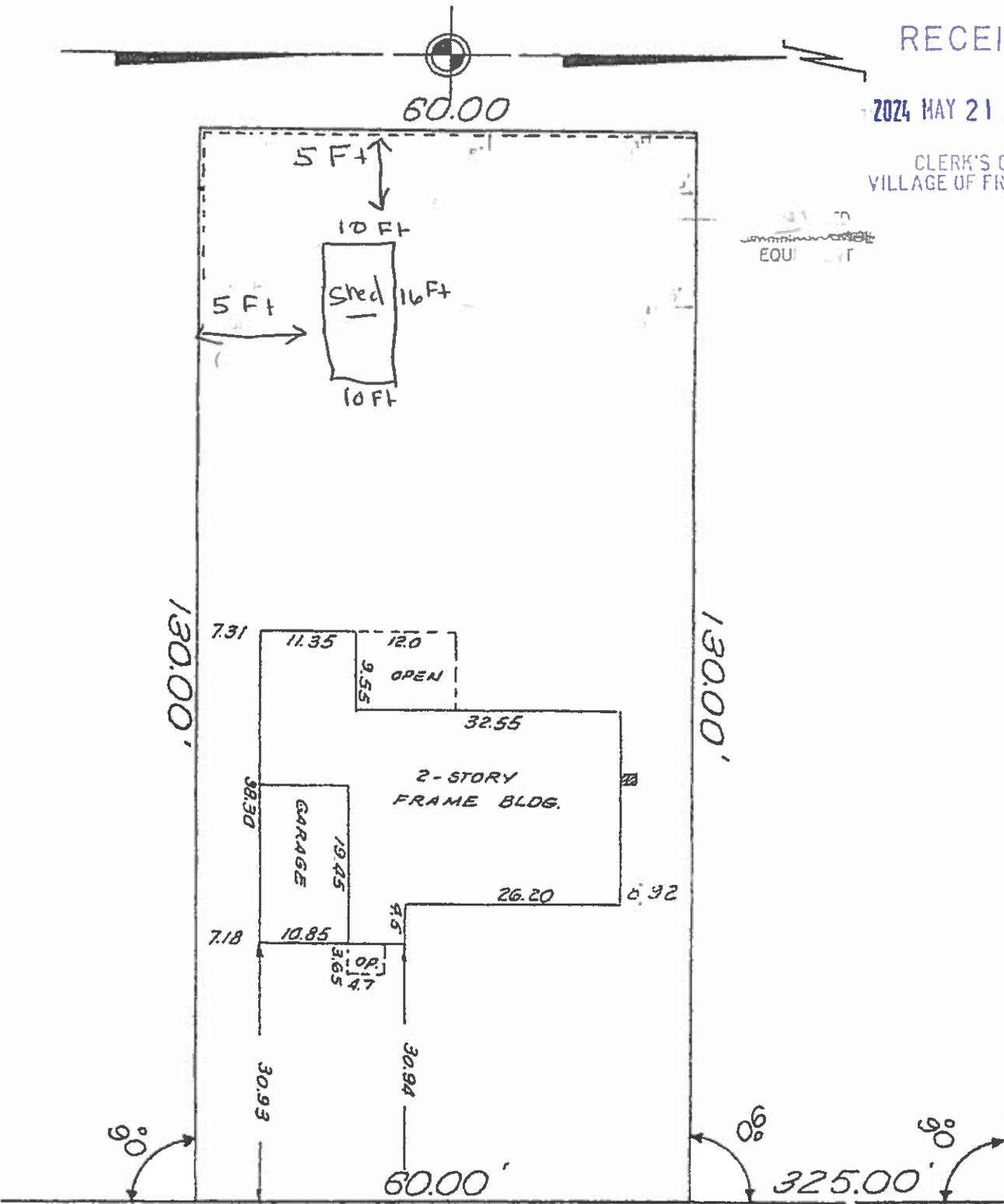


 Elliott Pl

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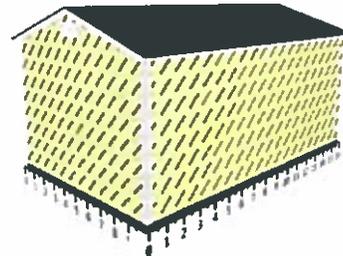
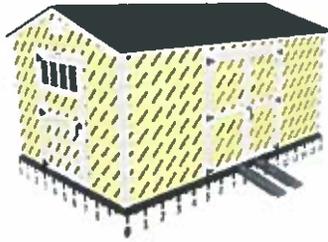


ARCHER STREET

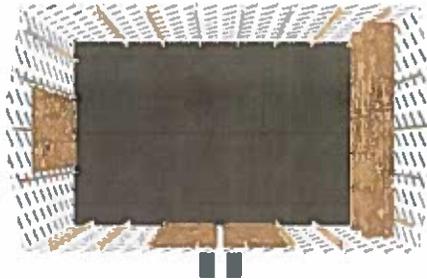
ELLIOTT PLACE



JANET LEE
86 Elliott Place
Freeport NY 11520
Q-2513977



Wall D



Wall A

Wall C

Wall B

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VILLAGE OF FREEPORT, NY

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Base Details/Permit Details

Building Size & Style
Premier Ranch - 10' wide by 16' long *10 ht.*

Door
4' x 6'2" Single Shed Door, Left Hinge Placement, In Door Vertical Transom (4' door), Wainscot, Decorative Door Hardware *Lavender*

Paint Selection
Base: Customer Supplied Color, Trim: Delicate White *trim*
Customer to apply 2nd coat

Roof Selection
Charcoal 3 Tab

Drip Edge
White

Is a permit required for this job?
Yes

Who is pulling the permit?
Tuff Shed

Optional Details

Doors
3' x 6'2" Double Door (6'), Steel Ramp (pair) with Special Sill Nose

Floor and Foundation
4 Ea Shed Anchor into Dirt - Auger or MR88

Interior
20 Lin Ft Shelving - 16" deep

Vents
2 Ea 16"x8" Wall Vent - White

Jobsite/Installer Details

Do you plan to insulate this building after Tuff Shed installs it?
No

Is there a power outlet within 100 feet of installation location?
Yes

The building location must be level to properly install the building. How level is the install location?
Within 4" of level

Will there be 18" of unobstructed workspace around the perimeter of all four walls?
Yes

Can the installers park their pickup truck & trailer within approximately 200' of your installation site?
Yes

Substrate Shed will be installed on?
Dirt/Gravel

Customer Signature: _____ Date: _____

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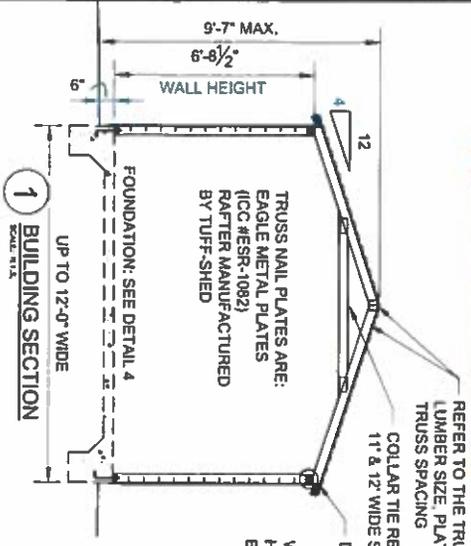
APR 19 2024

2024 MAY 21 A 10:57

10 X 16

FREEPORT BUILDING DEPT.

PR & TRUSS SHEDS UP TO 12' WIDE X UP TO 24' LONG
VILLAGE OF FREEPORT, NY



TRUSS NAIL PLATES ARE:
EAGLE METAL PLATES
(ICC #ESR-1082)
RAFTER MANUFACTURED
BY TUFF-SHED

REFER TO THE TRUSS DESIGN FOR
LUMBER SIZE, PLATE SIZE AND
TRUSS SPACING

COLLAR THE REQUIRED ONLY AT
1' & 12' WIDE SHEDS

DOUBLE TOP PLATES

WALL FRAMING TO BE 2x4
HF STUD GRADE OR
BETTER @ 16" O.C.

FOUNDATION: SEE DETAIL 4
UP TO 12'-0" WIDE

1 BUILDING SECTION
SCALE: 1/8" = 1'-0"

NOTES:

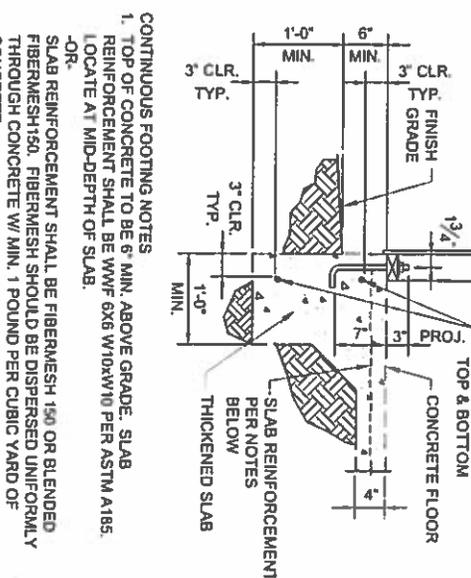
- BUILDING CODE: 2021 IRC AND 2021 IRC DESIGN/LOADING
- WIND SPEED & EXPOSURE: 115C ROOF LIVE LOAD: 40 PSF ROOF DEAD LOAD: 10 PSF
- FOR SHEDS WHICH OTHERWISE MEET THE PRESCRIPTIVE REQUIREMENTS OF THE 2021 IRC AND 2021 IRC ALL SHEDS CONSTRUCTED ACCORDING TO STANDARD CONVENTIONAL CONSTRUCTION METHODS.

NAAILING:

ROOF:
ATTACH 7/16" OSB SHEATHING TO TRUSSES WITH:
6d NAILS @ 8" O.C. AT EDGES
6d NAILS @ 12" O.C. IN FIELD

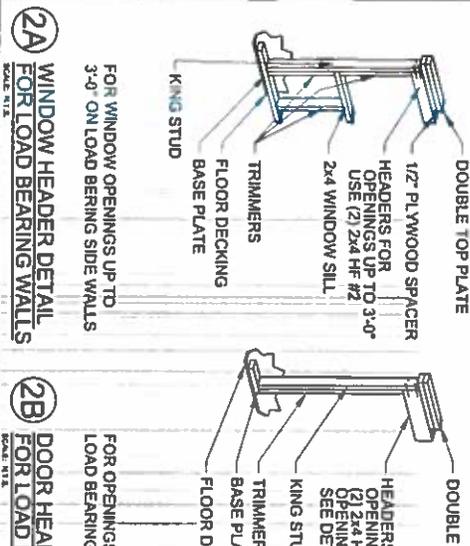
WALLS:
ATTACH 3/8" SMARTSIDE TO WALL FRAMING WITH:
6d NAILS @ 6" O.C. AT EDGES
6d NAILS @ 12" O.C. IN FIELD

HEADERS:
ATTACH HEADER TO STUD WITH:
(4) 8d TOENAIL OR (4) 16d END NAIL
DOUBLED HEADER:
16d @ 16" STAGGERED FACE NAIL



CONTINUOUS FOOTING NOTES

- TOP OF CONCRETE TO BE 6" MIN. ABOVE GRADE. SLAB REINFORCEMENT SHALL BE WWP 6x6 WIDEX10 PER ASTM A185. LOCATE AT MID-DEPTH OF SLAB.
- OR- SLAB REINFORCEMENT SHALL BE FIBERMESH 150 OR BLENDED FIBERMESH150. FIBERMESH SHOULD BE DISPERSED UNIFORMLY THROUGH CONCRETE W/ MIN. 1 POUND PER CUBIC YARD OF CONCRETE.
- ALL FOOTING FORMS SHALL BE INSPECTED FOR SIZE AND REINFORCING BEFORE POURING CONCRETE.
- FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL, COMPETENT SOIL, OR PROPERLY COMPACTED STRUCTURAL FILL. ALLOWABLE SOIL BEARING PRESSURE IS 1500 PSF AT 12" BELLOW GRADE.
- CONCRETE: MINIMUM 28 DAY COMPRESSIVE STRENGTH, $f_c = 2500$ PSI.
- REINFORCING STEEL: A615, GRADE 40 OR GRADE 60. ALL REINFORCING STEEL SHOWN TO BE CONTINUOUS MAY BE LAPPED A MINIMUM OF 36 BAR DIAMETERS OR 24".
- SEISMIC DESIGN CATEGORY: D
- A. ATTACH PRESSURE TREATED SILL PLATE TO THE FOOTING USING 1/2" DIA X 10" LONG 1" BOLTS WITH NUTS AND 3"X3"X1/4" PLATE WASHERS.
- B. ANCHOR BOLTS SHALL BE EMBEDDED AT LEAST 7" INTO THE CONCRETE AND SHALL BE SPACED NOT MORE THAN 6" O.C.
- C. THERE SHALL BE A MINIMUM OF 2 BOLTS PER SILL PLATE PIECE WITH 1 BOLT LOCATED NOT MORE THAN 12" NOR LESS THAN 7" BOLT DIAMETERS FROM EACH END OF EACH PIECE.



DOUBLE TOP PLATE

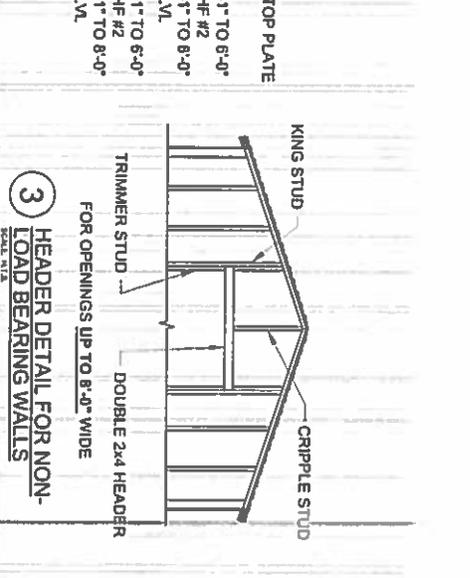
1/2" PLYWOOD SPACER
HEADERS FOR
OPENINGS UP TO 3'-0"
USE (2) 2x4 HF #2
2x4 WINDOW SILL

TRIMMERS
FLOOR DECKING
BASE PLATE

KING STUD

FOR WINDOW OPENINGS UP TO
3'-0" ON LOAD BEARING SIDE WALLS

2A WINDOW HEADER DETAIL
FOR LOAD BEARING WALLS
SCALE: 1/8" = 1'-0"



DOUBLE TOP PLATE

HEADERS FOR
OPENINGS UP TO 4'-0"
(2) 2x4 HF #2
SEMINOS 4'-1" TO 8'-0"
SEE DETAIL

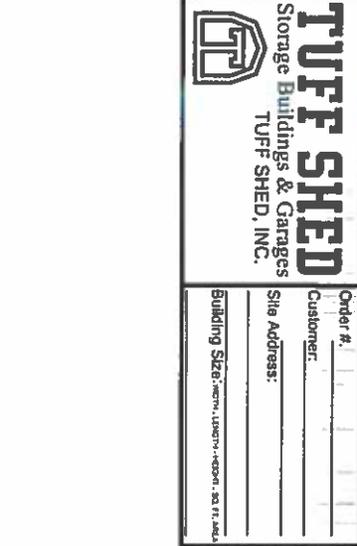
TRIMMER
FLOOR DECKING
BASE PLATE

KING STUD

FOR OPENINGS UP TO 8'-0" ON
LOAD BEARING SIDE WALLS

2B DOOR HEADER DETAIL
FOR LOAD BEARING WALLS
SCALE: 1/8" = 1'-0"

OPENINGS 4'-1" TO 8'-0"
USE (2) 2x4 HF #2
OPENINGS 6'-1" TO 8'-0"
USE (2) 2x4 LVJ.
OPENINGS 4'-1" TO 6'-0"
USE (1) 2x6 HF #2
OPENINGS 6'-1" TO 8'-0"
USE (1) 2x6 LVJ.



KING STUD

CRIPPLE STUD

TRIMMER STUD

DOUBLE 2x4 HEADER

FOR OPENINGS UP TO 8'-0" WIDE

3 HEADER DETAIL FOR NON-LOAD BEARING WALLS
SCALE: 1/8" = 1'-0"



#4 CONTINUOUS
TOP & BOTTOM
CONCRETE FLOOR

SLAB REINFORCEMENT
PER NOTES
BELOW
THICKENED SLAB

3" CLR.
TYP.

1'-0" MIN.

4 FOUNDATION DETAIL
SCALE: 1/8" = 1'-0"

12" DIA X 10" LONG 1" BOLTS WITH NUTS AND 3"X3"X1/4" PLATE WASHERS.

TUFF SHED
Storage Buildings & Garages
TUFF SHED, INC.

Order #:
Customer:
Site Address:
Building Size: 10'x14'x10' - 40'x24' - 24' x 12' x 10'

P.O. #:
Drawn By: SJ
Date: 6/16/23
Checked By:
Date:
Scale: N.T.S.

THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY THESE SHED AND ANY OTHER USES, FORBIDDEN BY TUFF SHED, INC. & THE ENGINEER OF RECORD.

DRAWINGS BY:
TUFF SHED, INC.
IN HOUSE DRAFTING DEPARTMENT
1777 S. HARRISON STREET
DENVER, COLORADO 80210
(303) 753-TUFF

TITLE	DRAWING NO.
BUILDING SECTIONS	PRTR700-03
FOUNDATION DETAILS	REV. LEVEL 01
HEADER FRAMING DETAILS	SHEET 1

NOTES - 2021 IRC & IRC - 115C
PAGE 1 OF 1

Village of Freeport - encuesta v6 P

CUSTOMER TRANSACTION RECEIPT

TODAY'S DATE: 5/21/24

CONTROL BATCH # 7794/ DATE 05/21/2024

DATCH # 25521 TIME 10:47

RECEIPT # 498320 TELLER # 255

CHECK # OFFICE # 1

JANET LEE

SITE PLAN REVIEW BOARD

Pat 225.00

Payment Received:

MONEY ORDER 225.00

Total Received 225.00

Less Payments 225.00

Cash Back .00

THANK YOU FOR YOUR PAYMENT

PMB-3

On Location
M570-3^u



RN5-1

White City
N140-1^u





N140-10
White City



M570-3v
On Location

Ready to Paint?

Order online at homedepot.com to have products shipped directly to your home.



Try a sample today!

Scan barcode at the **COLORSMART** BY BEHR® Kiosk or with your smartphone to see more!

For truest color representation, view chip in area and light where color will be used. When applied, actual paint may differ slightly from color chip and sheen shown. BEHR® Colors cannot be precisely matched in other paint systems. All BEHR paint colors use **LOW VOC** colorants.



Color
smart
BY BEHR

Shed

86 Elliott St.

Trum

BEHR

behr.com



06.22
B4R160

Ready to Paint?

Order online at homedepot.com to have products shipped directly to your home.



Try a sample today!

Scan barcode at the **COLORSMART** BY BEHR® Kiosk or with your smartphone to see more!

For truest color representation, view chip in area and light where color will be used. When applied, actual paint may differ slightly from color chip and sheen shown. BEHR® Colors cannot be precisely matched in other paint systems. All BEHR paint colors use **LOW VOC** colorants.



Color
smart
BY BEHR

86 Elliott St.

Siding

BEHR

behr.com



01.23

B9P092

Application Date: 5/23/24
 Fees Paid: \$235.00

SP# 3741

**INCORPORATED VILLAGE OF FREEPORT
 SITE PLAN REVIEW APPLICATION
 PLANNING BOARD**

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 214 Pennsylvania Ave. ZONING DISTRICT RES AA
 SECTION 54 BLOCK 053 LOT 25A LOT SIZE: 7500 SF

<input type="checkbox"/> TENANT APPLICANT <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>MARIA J. MIRO</u>	Name: <u>GEORGE FOSTER</u>
Address: <u>1002 Merrick Ave. N. Merrick, N.Y. 11566</u>	Address: <u>214 Pennsylvania Ave. Freeport, N.Y. 11520</u>
Telephone #: <u>516-547-5251</u>	Telephone #: <u>516-317-7553</u>

Attorney Name: N/A Address: _____
 (optional) Phone #: _____

Present Land Use: 1-Family Residence Proposed Land Use: 1-Family Residence

Description of Proposed Work: PROPOSED 2-STORY REAR ADDITION (698 S.F.)

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
 A. The subject property is zoned Residence A or Residence AA.
 B. The proposed construction is not a new building or dwelling.
 C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

[Signature] YES NO 1/24/24
 APPLICANT'S SIGNATURE DATE

Sworn to before me this 24th day of JANUARY, 2024
[Signature]
 Notary Public

George F. Foster
 NOTARY PUBLIC, STATE OF NEW YORK
 Registration No. 01FO0013229
 Qualified in NASSAU County
 Commission Expires 09/07/2027

RECEIVED
 2024 MAY 23 3:17
 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY

Property Owner's Consent:
 I, GEORGE FOSTER am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature] 1/24/24
 PROPERTY OWNER'S SIGNATURE DATE

Sworn to before me this 26 day of JANUARY, 2024
[Signature]
 Notary Public

STACEY LUCAS, Notary Public
 STATE OF NEW YORK
 NOTARY PUBLIC
 Qualified in Nassau County
 01LU5018179
 MY COMMISSION EXPIRES September 2026

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

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2024 MAY 23 P 3: 18

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

AMEDED SITE PLAN LETTER
May 21, 2024

George Foster
214 Pennsylvania Ave
Freeport, NY 11520

RE: 214 Pennsylvania Ave, Freeport, NY 11520
Zoning District: Residence AA Sec 54, Blk 053, Lot 254
Building Permit Application #20233524
Description: Proposed 2 story rear addition (698sq.ft)

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,



Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

cc: Village Clerk

ZBA Approval Needed: No

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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Notice

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY
Positive Declaration

X Negative Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20233524

Location: 214 Pennsylvania Ave , Freeport NY 11520

Applicant: George Foster

Description : Proposed 2 story rear addition (698sq.ft)

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: May 21, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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617.20
Appendix B

Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
George Foster			
Name of Action or Project: Proposed 2 Story Rear Addition			
Project Location (describe, and attach a location map): 214 Pennsylvania Ave., Freeport, NY 11520			
Brief Description of Proposed Action: Proposed 2-Story Rear Addition.			
Name of Applicant or Sponsor: George Foster		Telephone: 516-317-7553	
		E-Mail: FLADNAG33@AOL.COM	
Address: 214 Pennsylvania Ave.			
City/PO: Freeport		State: N.Y.	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Village of Freeport			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		.1722 acres	
b. Total acreage to be physically disturbed?		.1722 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.1722 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

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	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <u>Dry wells + Catch BASINS</u> <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>GEORGE FOSTER</u>		Date: <u>10/25/23</u>
Signature: <u>XY [Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

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OFFICE OF ENVIRONMENTAL PROTECTION

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



SUBJECT SITE
FRONT VIEW - SOUTH SIDE

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

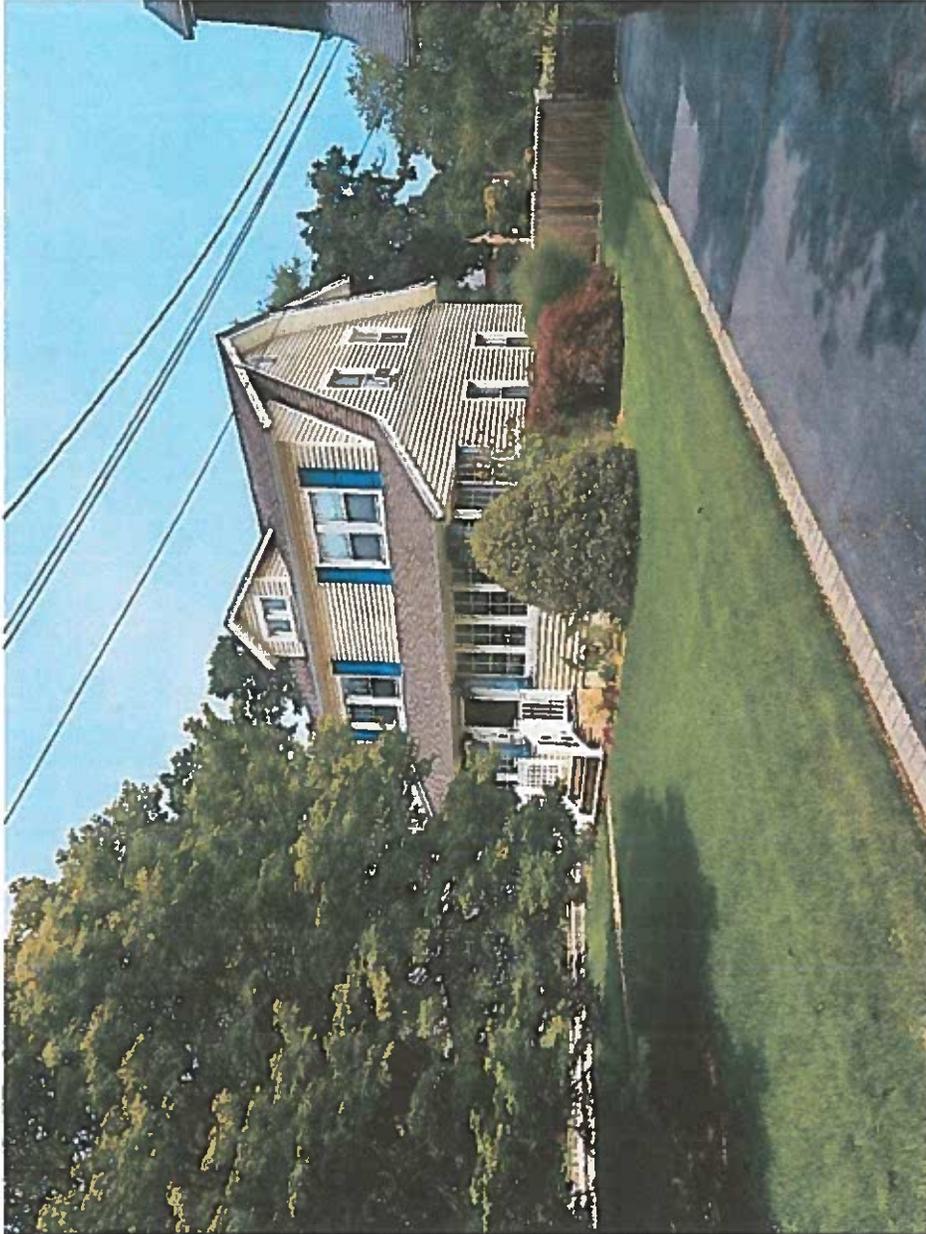
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VILLAGE OF FREEPORT, NY

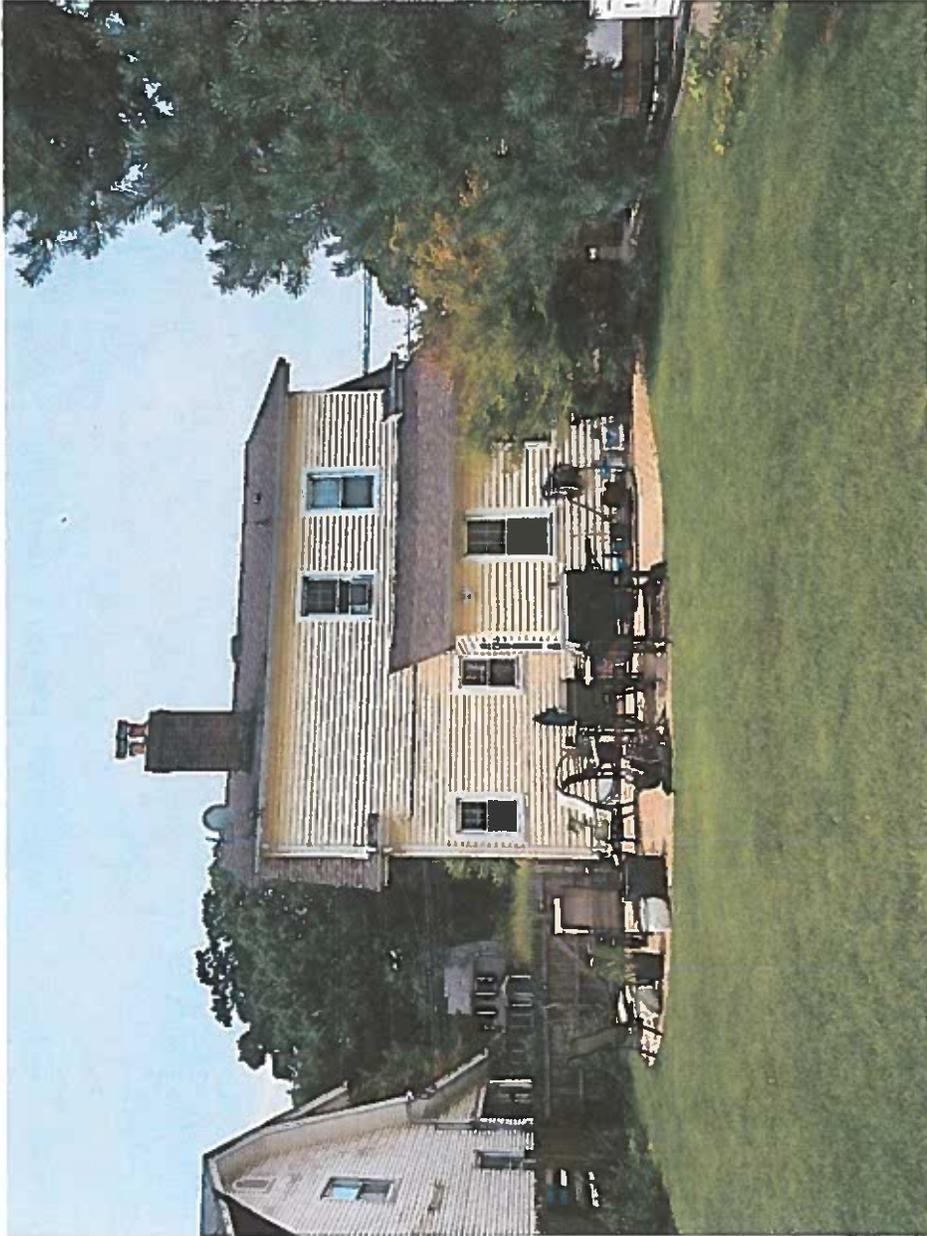


SUBJECT SITE
FRONT VIEW - NORTH SIDE

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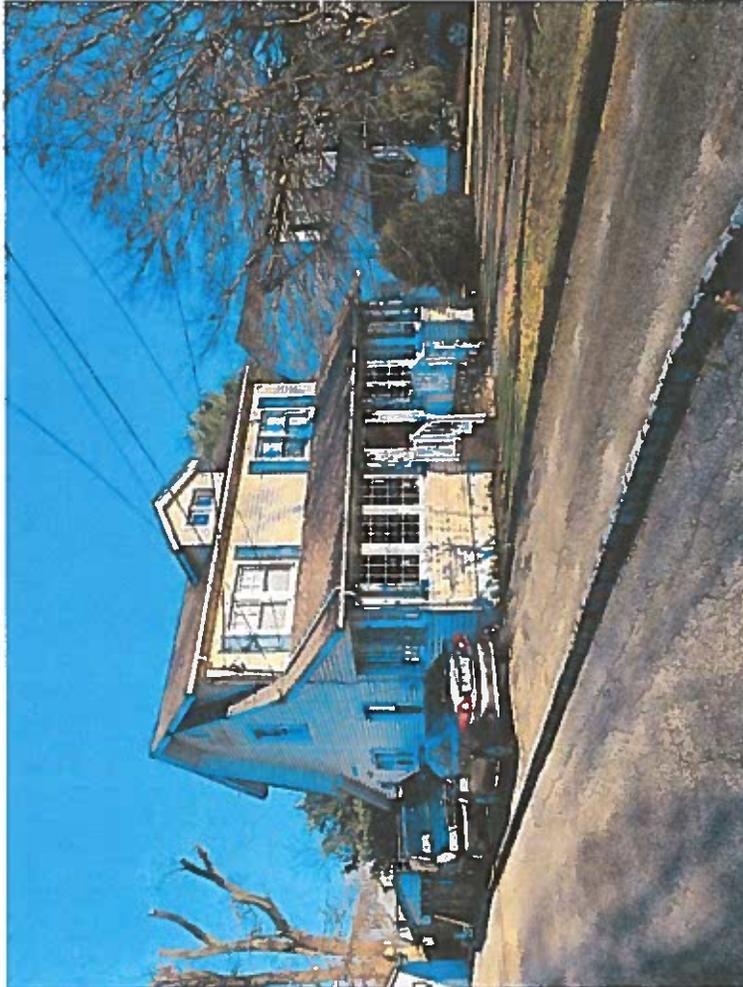


*SUBJECT SITE
REAR VIEW*

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SUBJECT SITE
DRIVEWAY VIEW

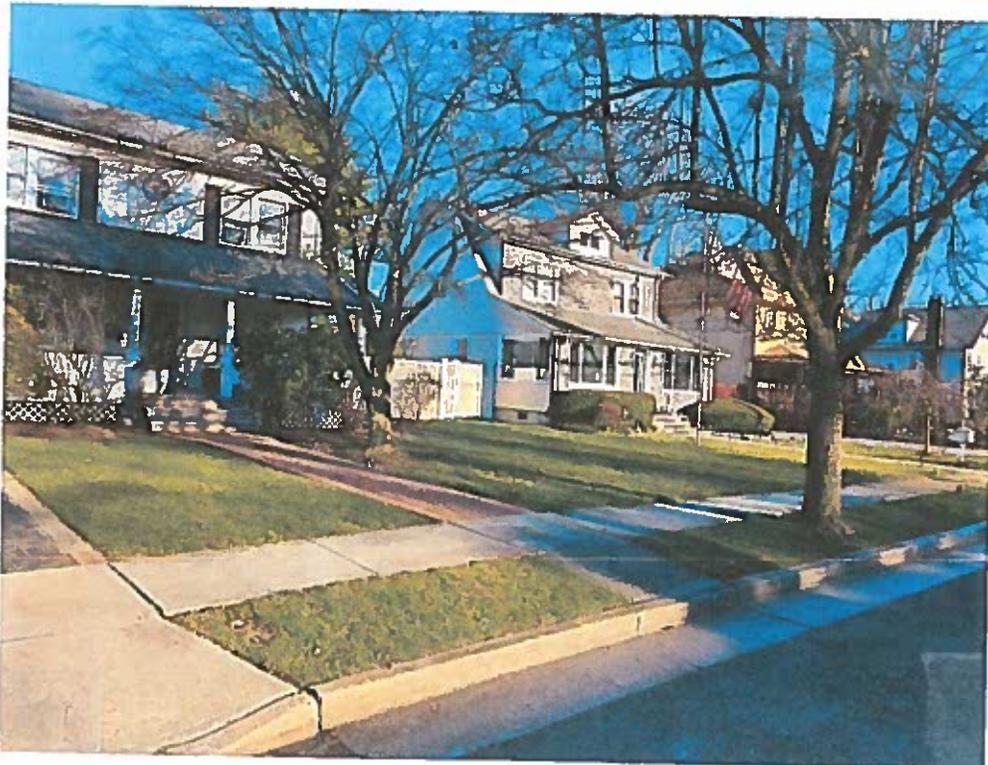


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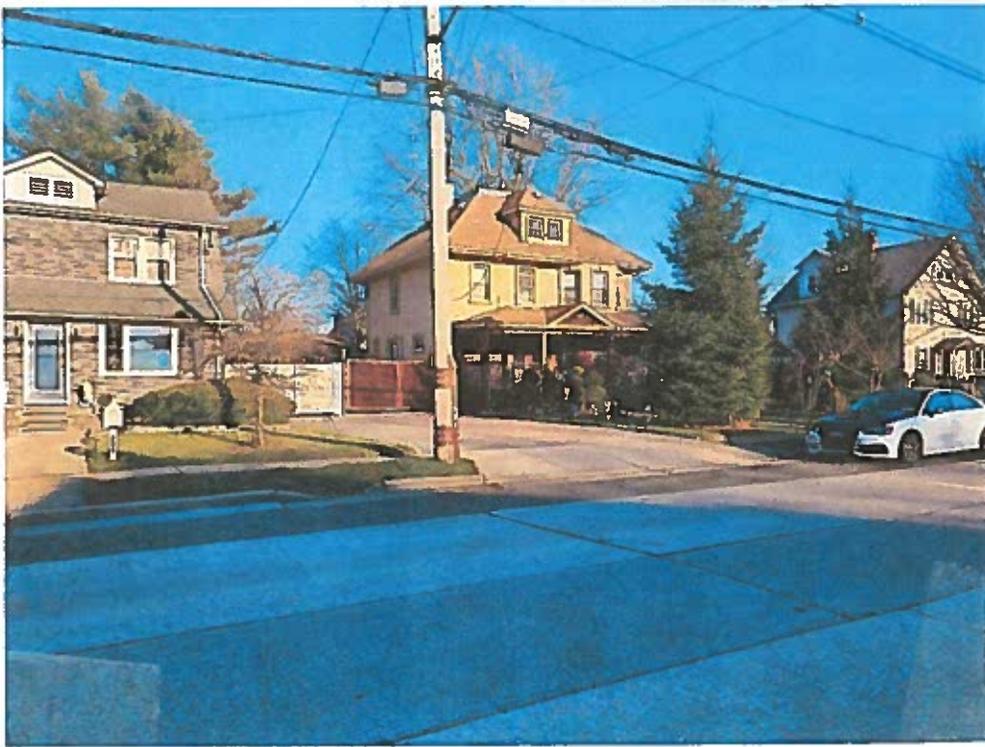
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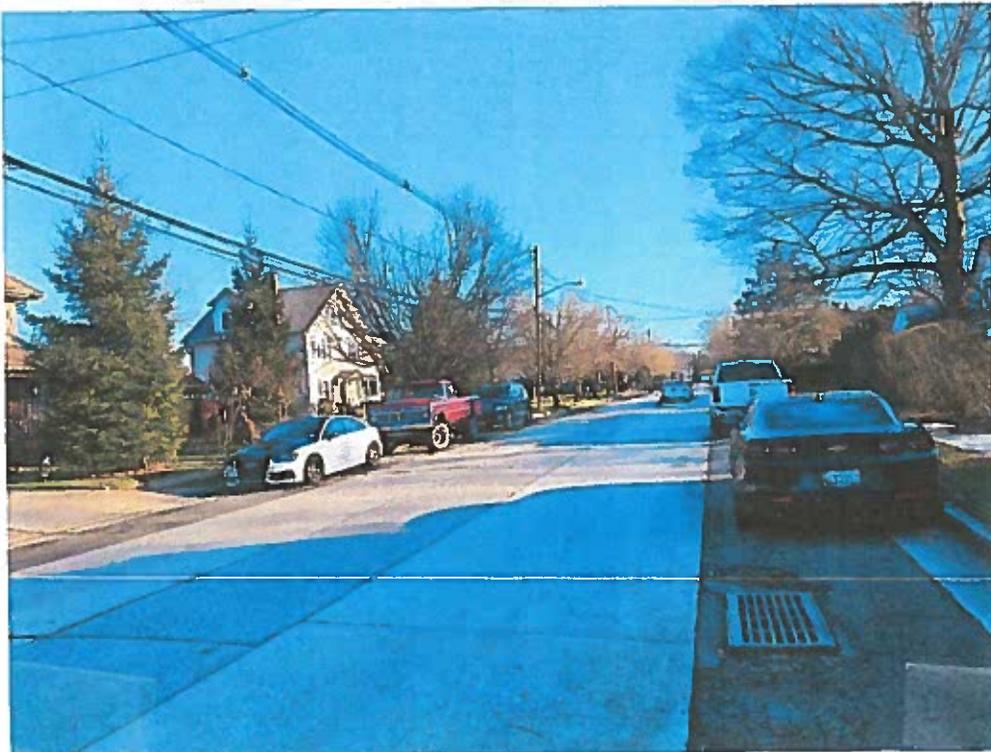
#208
Pennsylvania
Adjacent
Property Owner.



#208 + #206
Pennsylvania



206 + # 202
Pennsylvania

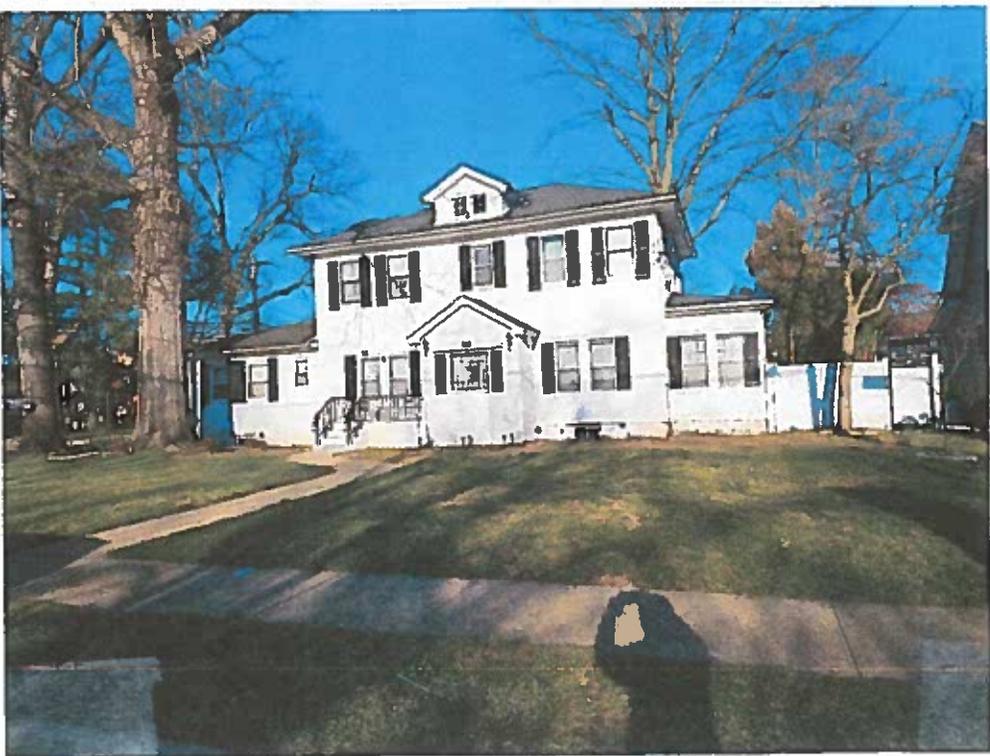


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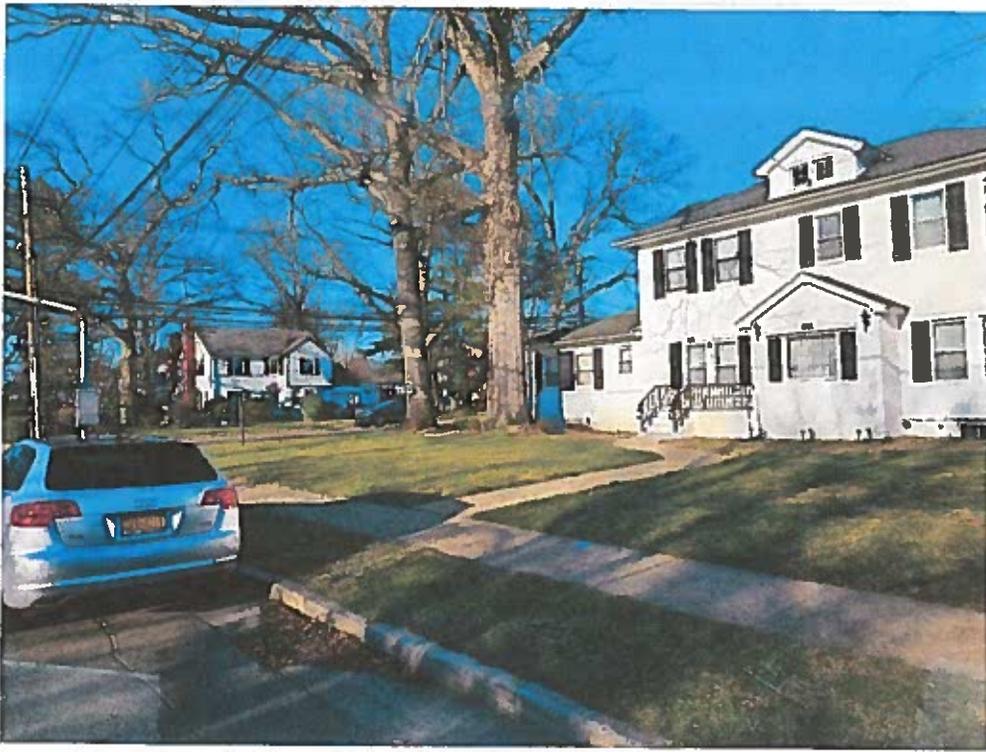
Camera
Facing
South.



#220
PENNSYLVANIA
ADJACENT
PROPERTY
OWNER
SOUTH



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VILLAGE OF FREEPORT NY
#220
PENNSYLVANIA
AVE

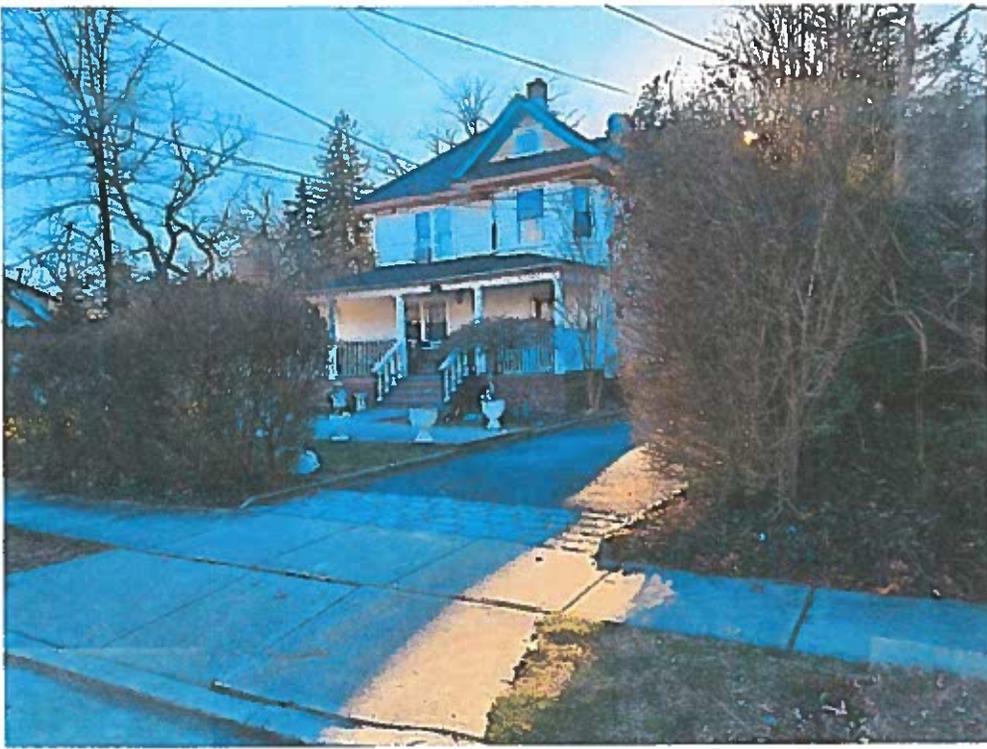


CAMERA
Facing
North.

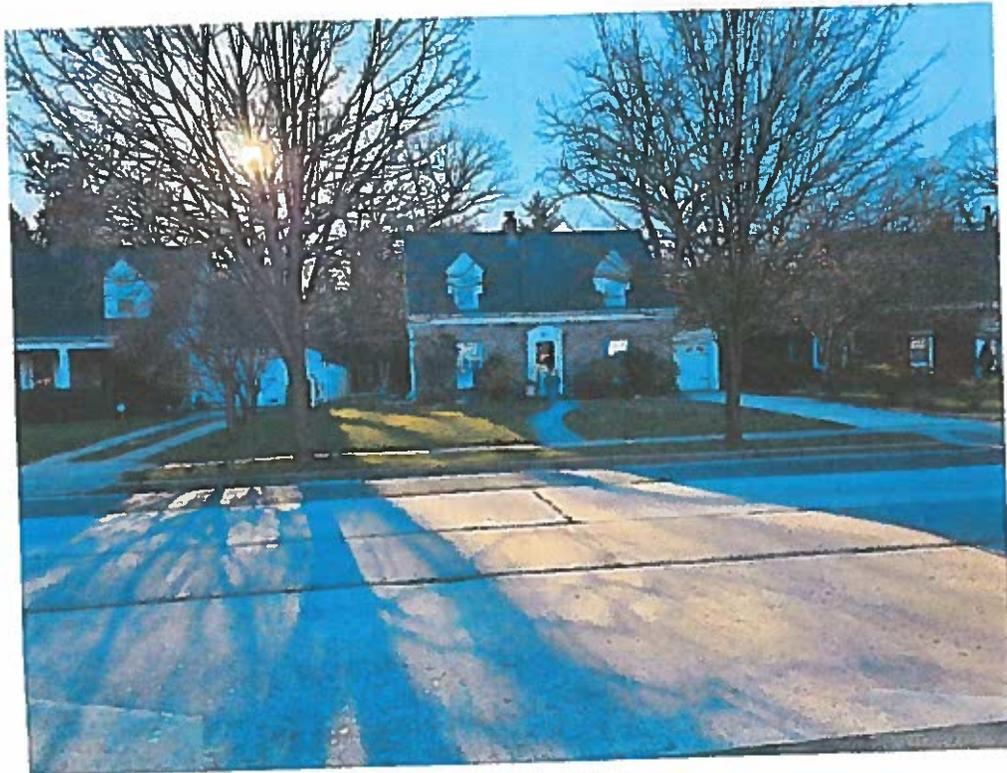


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CLERK'S OFFICE
VILLAGE OF FLEETVORT, NY

#217
Pennsylvania
Directly
Across St.



203
Pennsylvania



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CLERK'S OFFICE
VILLAGE OF FALLEN
221
PENNSYLVANIA

MATERIAL LIST

**214 PENNSYLVANIA AVENUE
FREEPORT, NEW YORK 11520**

SIDING:

**ALSIDE 178917 CO D4.5
MIDNIGHT BLUE**

ROOF:

BROWN TO MATCH EXISTING

TRIM & COLUMNS:

ULTRA PURE WHITE

DECKING:

**WHIDBEY IF TREX, DEPENDING ON BUDGET
OR WEATHERED GRAY WOOD STAIN
BOTH IN THE NATURAL GRAY FAMILY**

RAILING:

ULTRA PURE WHITE STAIN

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VILLAGE OF FREEPORT, NY



PERSPECTIVE FRONT

214 PENNSYLVANIA AVE FREEPORT NY

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

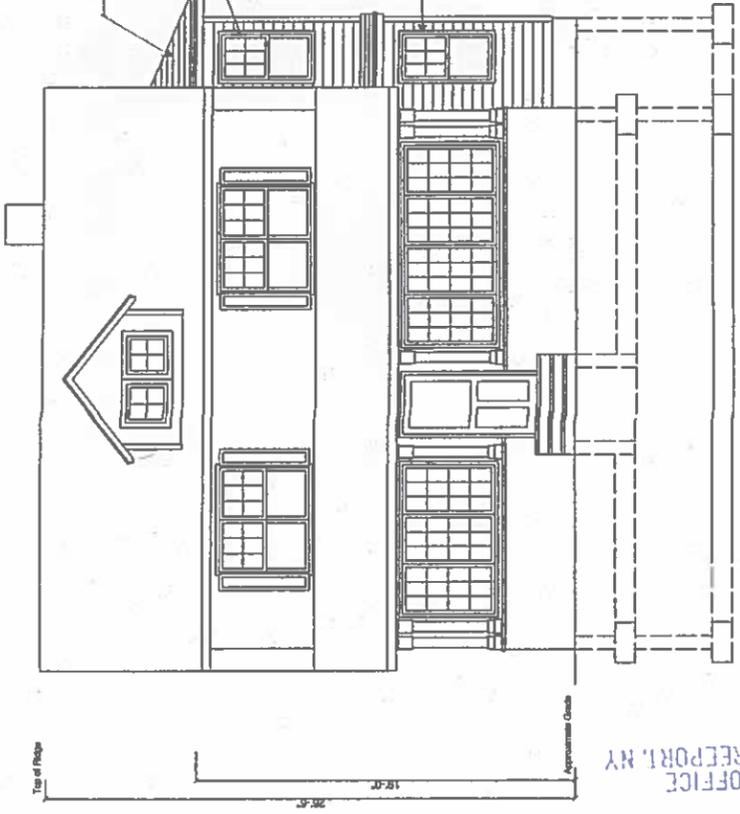


PERSPECTIVE REAR
214 PENNSYLVANIA AVE, FREEPORT NY

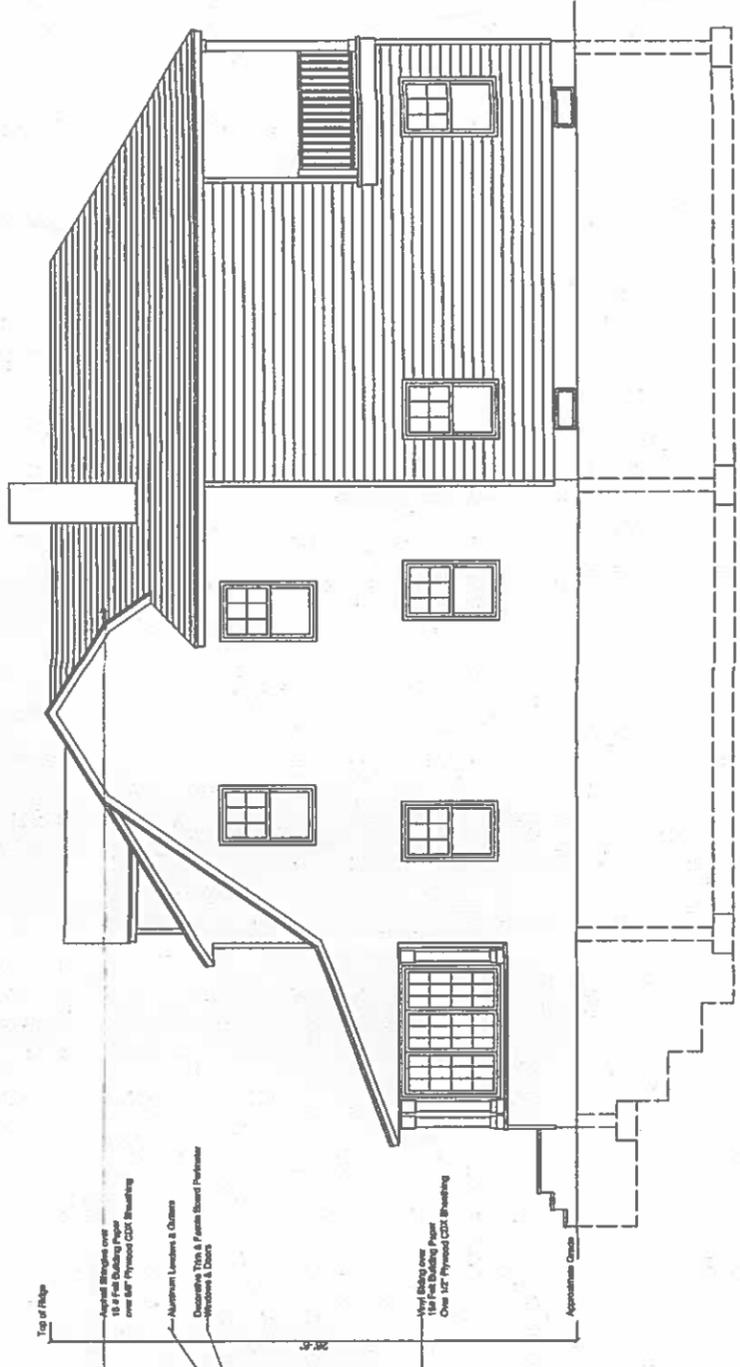
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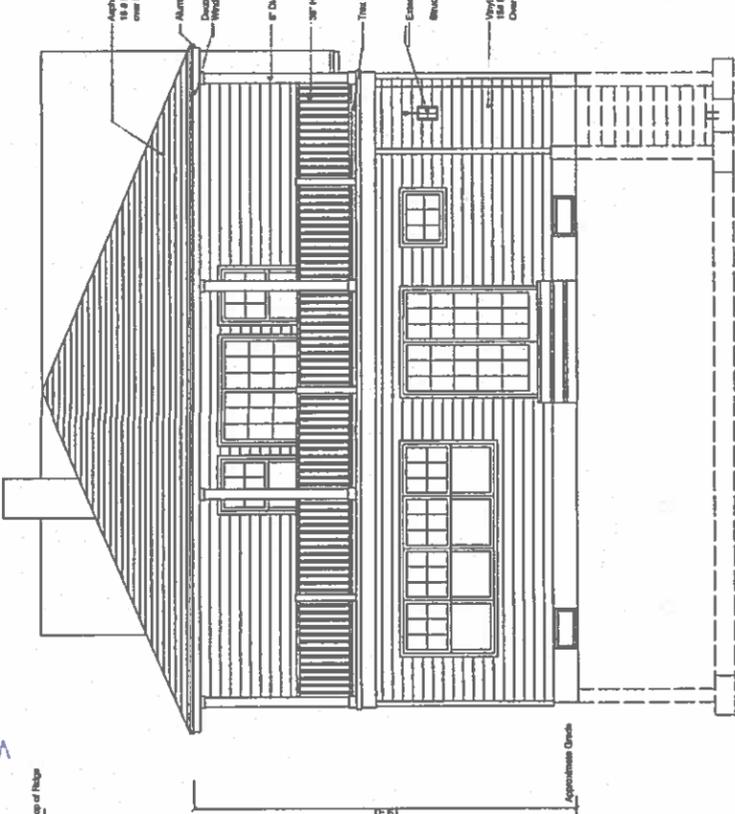
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



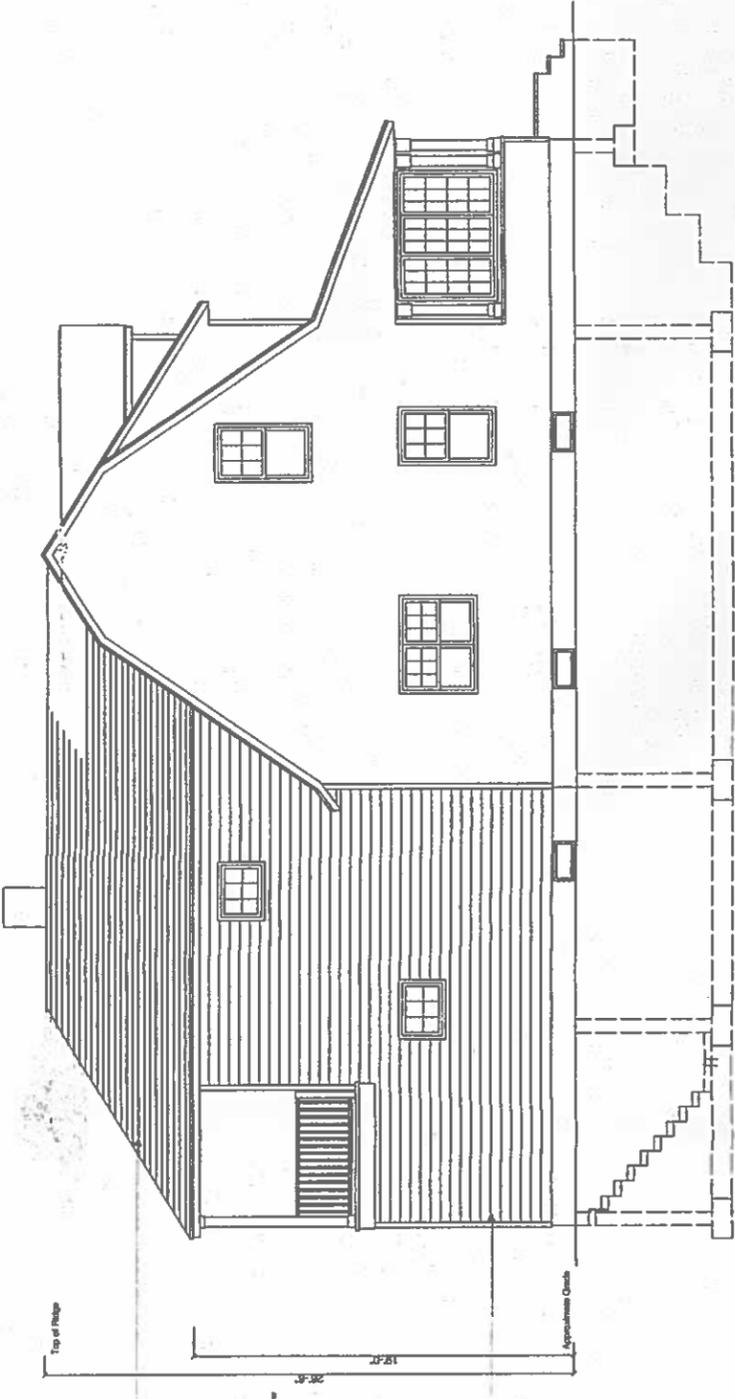
1 Elevation (West Face)
Sc. 1/4"=1'-0"



2 Elevation (South Face)
Sc. 1/4"=1'-0"



3 Rear Elevation (East Face)
Sc. 1/4"=1'-0"



4 Elevation (North Face)
Sc. 1/4"=1'-0"

Proposed One Story Rear Addition with Front Porch and Rear Wood Deck

Residence @:
214 Pennsylvania Avenue
Freeport, New York 11520



Marla J. Miro
Design & Drafting
1002 Merrick Avenue, N. Merrick, New York, 11566
Tel: (516) 547-6261 Email: hmiro30@aol.com

Proposed One Story Rear Addition with Front Porch and Rear Wood Deck

Residence @:
214 Pennsylvania Ave
Freeport, New York 11520

Drawn by: LMM
Checked by: JLM
Date: 04/22/24

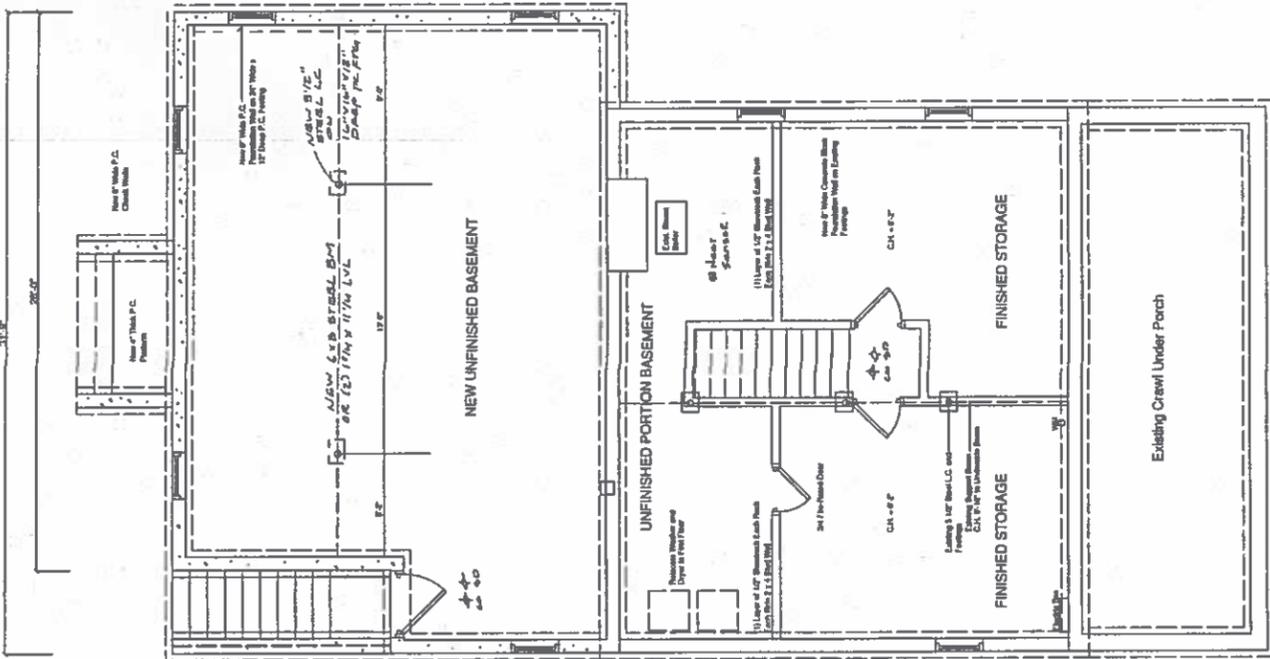
Sheet: as noted

Scale: A2

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Proposed First Floor Plan

Proposed Two Story Rear Addition With Master Bath & Interior Alterations
 Residence @
 214 Pennsylvania Avenue
 Freeport, New York 11520

James Lerner, Architect
 424 Madison Street
 Westbury, N.Y. 11590
 Tel.: 516-876-6521
 Email: jalarch14@yahoo.com



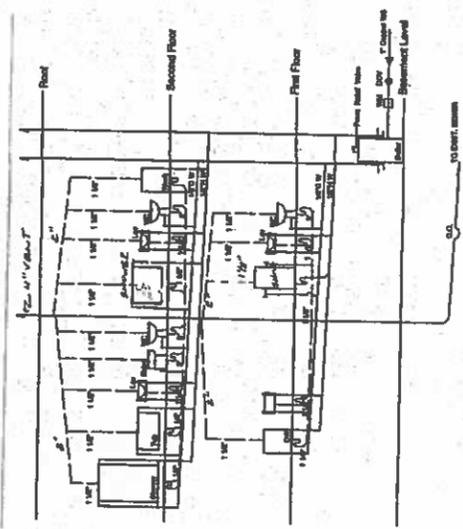
Maria J. Miro
 Design & Drafting
 1002 Merrick Avenue, New York 11566
 Tel: (516) 547-5251
 Email: kmirj33@aol.com

Proposed Two Story Rear Addition
 Residence @
 214 Pennsylvania Avenue
 Freeport, New York 11520
 Drawn by: M.J.M.
 Checked by: M.J.M.
 Date: 6/22/23
 Scale: As noted

A4

Legend

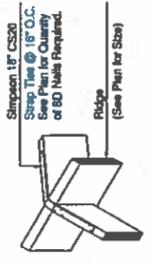
- Existing 2 x 4 Stud Walls to Remain
- New 2 x 4 Stud Walls
- Existing 8" Wide Concrete Block Foundation Walls
- New 8" Wide P.C. Foundation Walls on 24" W x 12" Deep P.C. Footing



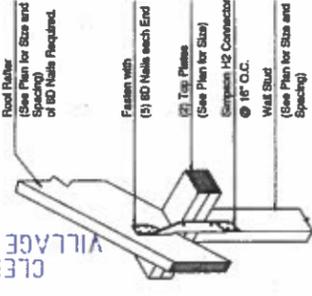
Plumbing and Riser Diagram
66-117A

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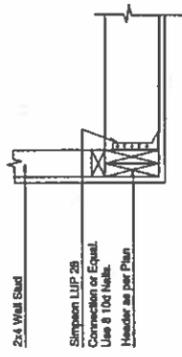
2024 MAY 23 P 4:20
 CLERK'S OFFICE
 VILLAGE OF FREEPORT



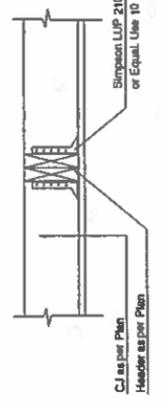
Simpson H2 Connector Detail
 Scale - N.T.S.



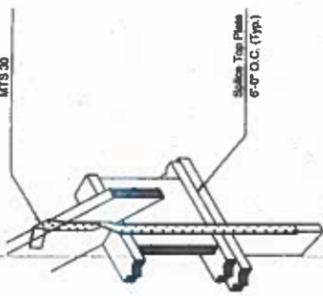
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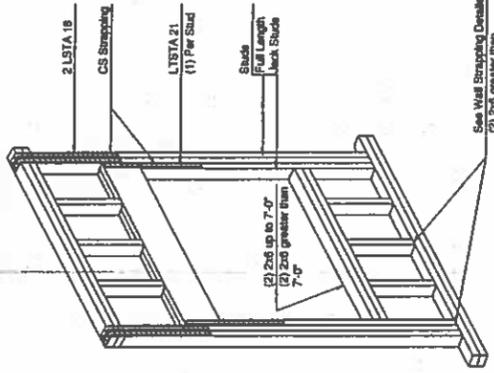
Typical Flush Header / Joist Connection at Ceiling
 Scale - N.T.S.



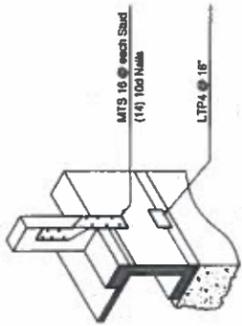
Typical Flush Header / Joist Connection at Ceiling 2
 Scale - N.T.S.



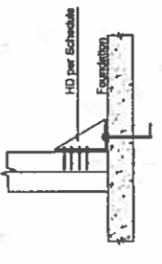
Rafter Tie-Down Detail
 Scale - N.T.S.



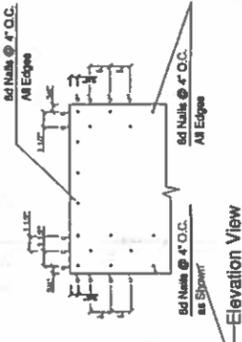
Typical Header Opening
 Scale - N.T.S.



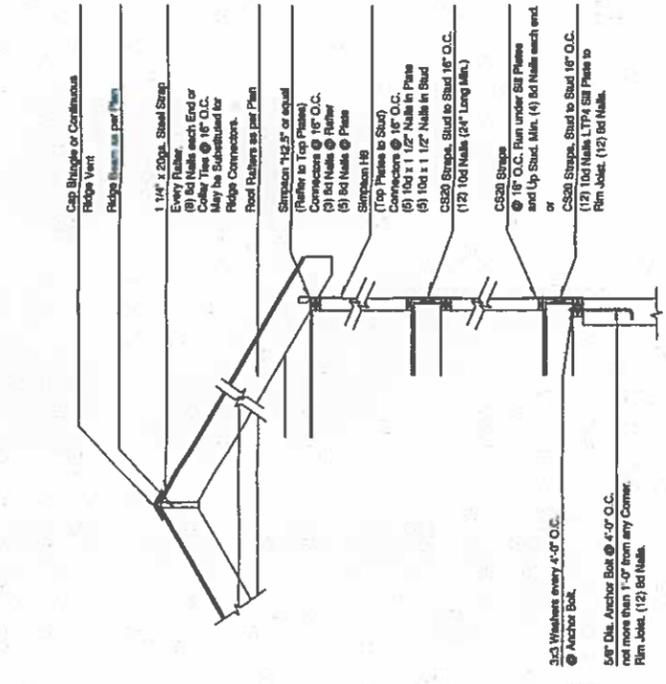
Wall Strap Detail
 Scale - N.T.S.



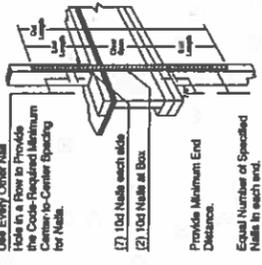
HD Holddown
 Scale - N.T.S.



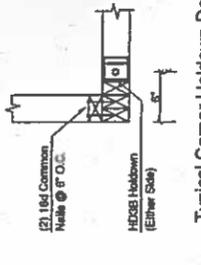
Wall Bracing Details
 Scale - N.T.S.



Tie Down / Foundation Detail 'A'
 Scale - N.T.S.



Wall Strap
 Scale - N.T.S.



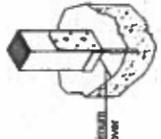
Typical Corner Holddown Detail
 Scale - N.T.S.

Jack Stud Requirements

Header Supporting	Ground Snow Load 30 PSF		Header Width	Header Spacing (F.L.)
	3" (D-20)	1.5" (D-20)		
Roof and Ceiling	2	1	1	1
	4	2	1	1
	6	3	2	2
	8	3	2	2
	10	4	3	3
	12	5	3	3
Roof and Ceiling and One Center Bearing Floor	4	2	2	1
	6	3	2	2
	8	4	3	3
	10	5	3	3
	12	6	4	4
	14	7	5	4
Roof and Ceiling and One Clear Span Floor	6	3	2	2
	8	4	3	3
	10	5	4	3
	12	6	4	4
	14	7	5	4
	16	8	5	4
Roof and Ceiling and Two Clear Span Floor	2	1	1	1
	4	2	2	1
	6	3	2	2
	8	4	3	3
	10	5	4	3
	12	6	4	4

Wall Stud Spacing

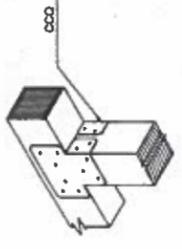
Header Spacing (F.L.)	16
2	1
4	2
6	3
8	3
10	4
12	5
14	5
16	6



Post Base Connection
 Scale - N.T.S.



Girder Connection to Pipe Column
 Scale - N.T.S.



Post Top Detail
 Scale - N.T.S.

James Lerner, Architect
 424 Madison Street, Westbury, N.Y.
 Tel.: 516-878-6521
 Email: j.lerner@jlb.com

Proposed One Story Rear Addition with Front Porch and Rear Wood Deck
 214 Pennsylvania Avenue
 Freeport, New York 11520

Residence @:
 214 Pennsylvania Avenue
 Freeport, New York 11520

Project:
 214 Pennsylvania Ave
 Freeport, New York 11520

Drawn by: M.M.

Checked by: M.M.

Date as noted: 02/22/23

Scale: A6

Application Date: 5/23/24
Fees Paid: \$225.00

SP# 3742

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 17 WASHBURN AVE. ZONING DISTRICT RES A
SECTION 55 BLOCK 258 LOT 154 LOT SIZE: 6000 sq. ft.

<input type="checkbox"/> TENANT <u>APPLICANT</u>	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>MARIA J MIRO</u>		Name: <u>Sabstino + Luz Rodriguez</u>
Address: <u>1002 Merrick Ave.</u>		Address: <u>17 Washburn Ave</u>
<u>N Merrick, NY 11566</u>		<u>Freeport, NY 11520</u>
Telephone #: <u>516-547-5251</u>		Telephone #:

Attorney Name: N/A Address: _____
(optional) Phone #: _____

Present Land Use: Residence Proposed Land Use: Residence
One family One-Family

Description of Proposed Work: Maintain Existing Wood Deck
w/ Pergola Roof Above (288 sq ft)

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
_____ YES NO

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VILLAGE OF FREEPORT, NY

Maria J Miro
APPLICANT'S SIGNATURE DATE 3/11/24

Sworn to before me this 11th
day of March, 2024.

AMARILIS A LEDESMA
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01LE6382087
Qualified in Nassau County
Commission Expires October 15, 2026

Amarilis Ledesma
Notary Public

Property Owner's Consent:
I, _____ am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE DATE 3/13/24

Sworn to before me this 13th
day of March, 2024.

AMARILIS A LEDESMA
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01LE6382087
Qualified in Nassau County
Commission Expires October 15, 2026

Amarilis Ledesma
Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

SUBMISSION CHECKLIST

1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only).

2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.

3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:

	YES	NO	N/A
a. Title of drawing, including name and address of applicant.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. North point, scale, and date.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Boundaries of the project.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Floodplain boundaries as determined by the Federal Emergency Management Agency.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f. Location of proposed use, dimensions, height and architectural features of all buildings, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g. Location of outdoor storage and description of materials to be stored.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
i. Location and description of all proposed waterfront public access/recreation provisions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
j. Description of sewage disposal and water supply systems and locations of such facilities.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
k. Location and proposed development of buffer areas and other landscaping, the general landscaping plan and planting schedule.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
n. Location, design and size of all signs and lighting facilities.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
p. Building orientation and site design for energy efficiency and visual quality.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
r. Description and location of erosion control measures including proposed location of sediment sink/settling pond and interceptor swales, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
u. Estimated project construction schedule.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
v. Record of application for approval status of all necessary permits from federal, state and county officials.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
w. Identification of any federal, state or county permits required for project execution.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

AMENDED SITE PLAN LETTER

May 23, 2024

Salustino & Luz Rodriguez
17 Washburn Ave
Freeport, NY 11520

RE: 17 Washburn Ave Freeport, NY 11520

Zoning District – Residence A Sec. 55 Blk. 258, Lot 154

Building Permit Application #20243659

Description– Maintain existing wood deck with pergola roof above(288 Sq.Ft).

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: **NO**

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20243659

Location: 17 Washburn Ave Freeport, NY 11520

Applicant: Salustino & Luz Rodriguez

Description: Maintain existing wood deck with pergola roof above(288 Sq.Ft).

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: May 23, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <i>Salustiano + Luz Rodriguez</i>			
Project Location (describe, and attach a location map): <i>17 Washburn Ave, Freeport NY 11520</i>			
Brief Description of Proposed Action: <i>Maintain Bear Wood Deck w/ Pergola Roof.</i>			
Name of Applicant or Sponsor: <i>Salustiano + Luz Rodriguez</i>		Telephone: <i>516-808-8835</i>	
		E-Mail:	
Address: <i>17 Washburn Ave</i>			
City/PO: <i>Freeport NY</i>		State: <i>NY</i>	Zip Code: <i>11520</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: <i>Village of Freeport</i>			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<i>.1377</i> acres	
b. Total acreage to be physically disturbed?		<i>.1377</i> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<i>.1377</i> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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		NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <u>Drywells + Catch basins</u>		<input type="checkbox"/>	<input checked="" type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Salustiano + Luz Rodriguez</u>		Date: <u>2/28/24</u>
Signature: <u>[Signature]</u>		

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Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

MATERIAL LIST:

**17 WASHBURN AVENUE
FREEPORT, NEW YORK**

REAR OPEN PERGOLA AND DECK (EXISTING)

DECKING:

**WHIDBEY (GRAY)
TREX DECKING**

COLUMNS AND RAFTERS:

**RUST-OLEUM SMOKED CHALKED DECORATIVE GLAZE 30
GIVES THE APPEARANCE WHITE WASH**

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*SUBJECT SITE
Front View*

SUBJECT SITE
REAR Pergola + Deck.

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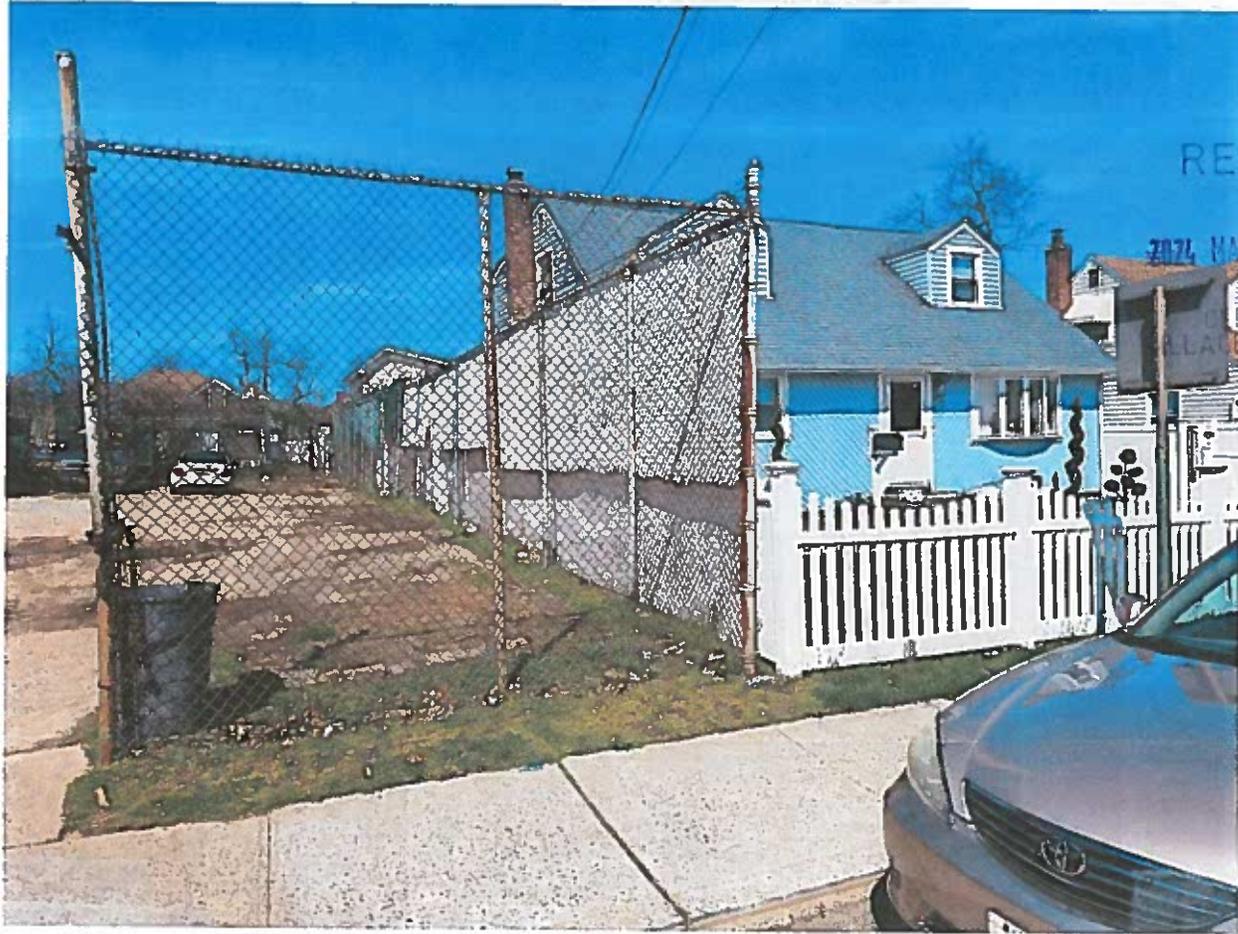
Subject Site
Rear Pergola

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OF FREEPORT, NY

ADJACENT
PROPERTY
WEST



17
Washburn
SUBJECT
SITE.



ADJACENT
PROPERTY
WEST

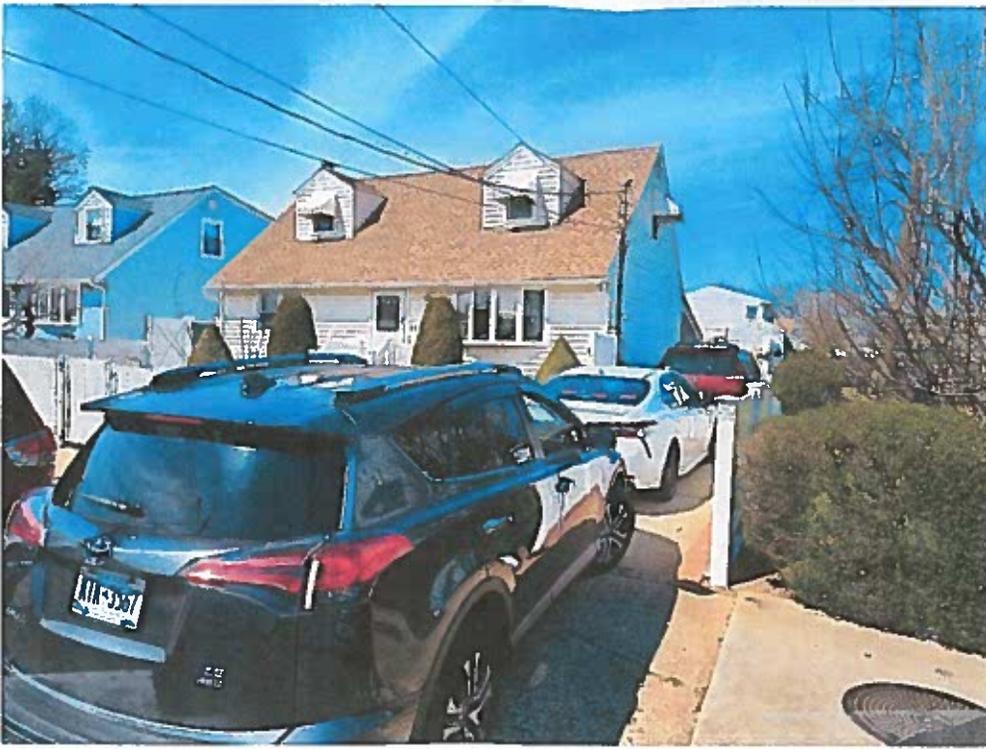
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ADJACENT
PROPERTY
EAST
21
WASHBURN

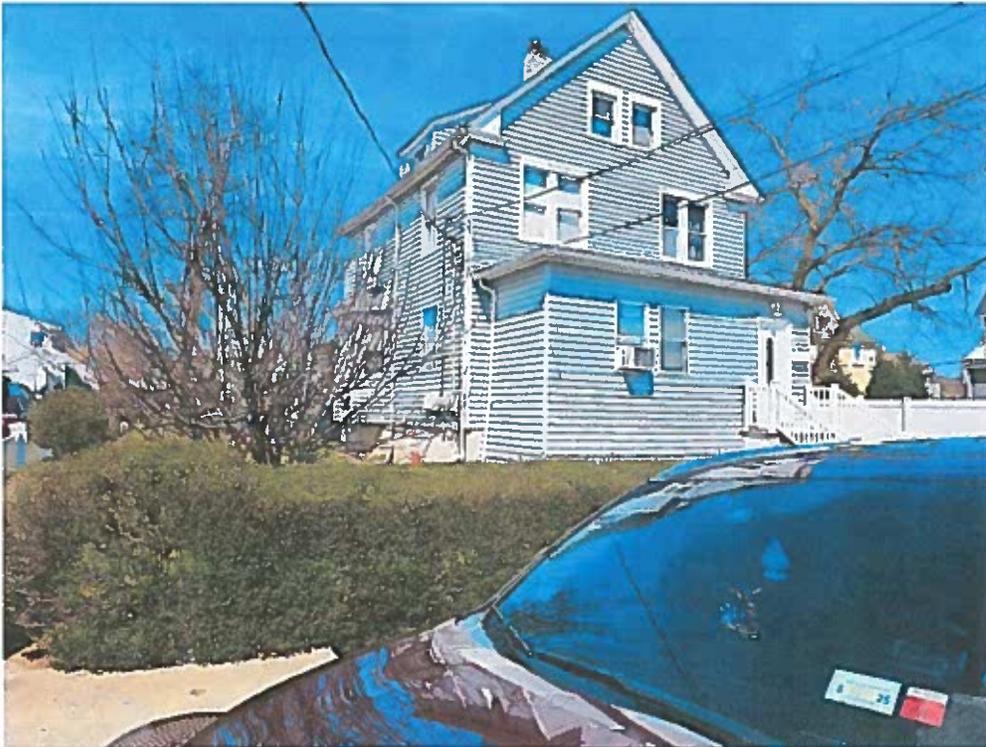


21
Washburn

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25
Washburn



#25
WASHBURN

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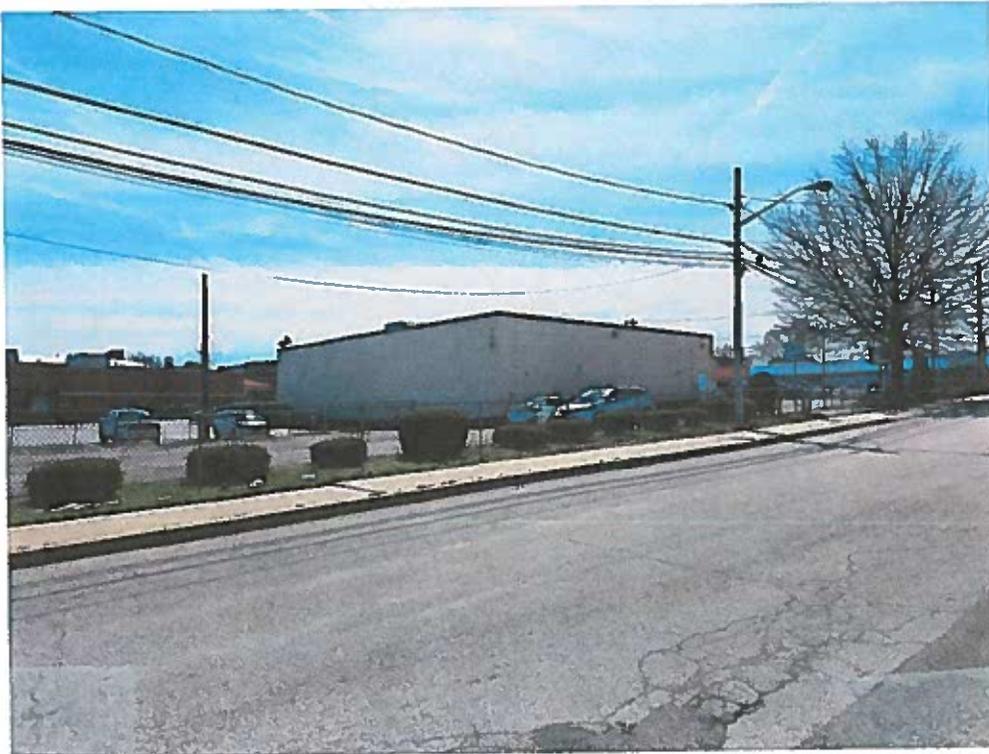
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CAMERA
Facing
East



Property
Directly
Across
the Street



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Commercial
Property
Across
the Street
From
Subject Site



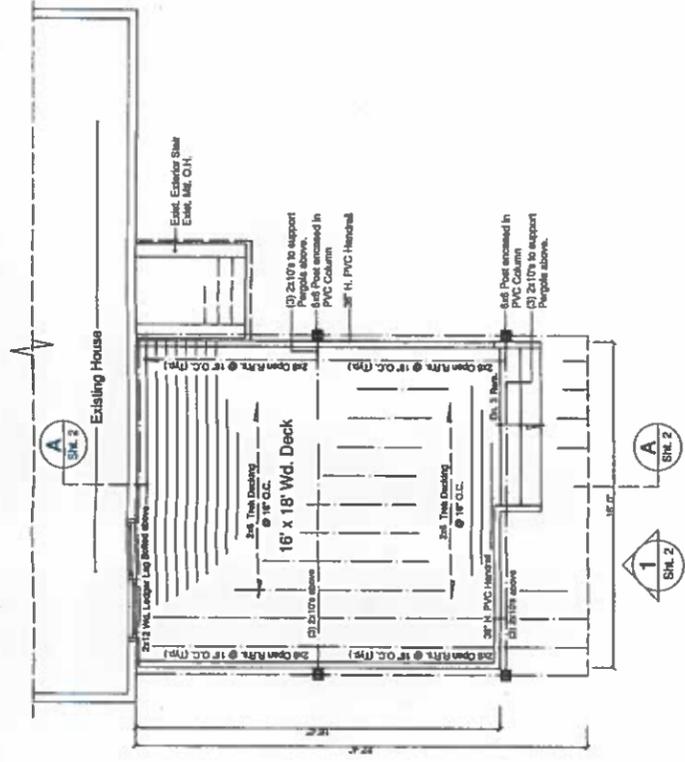
Camera
Facing
West

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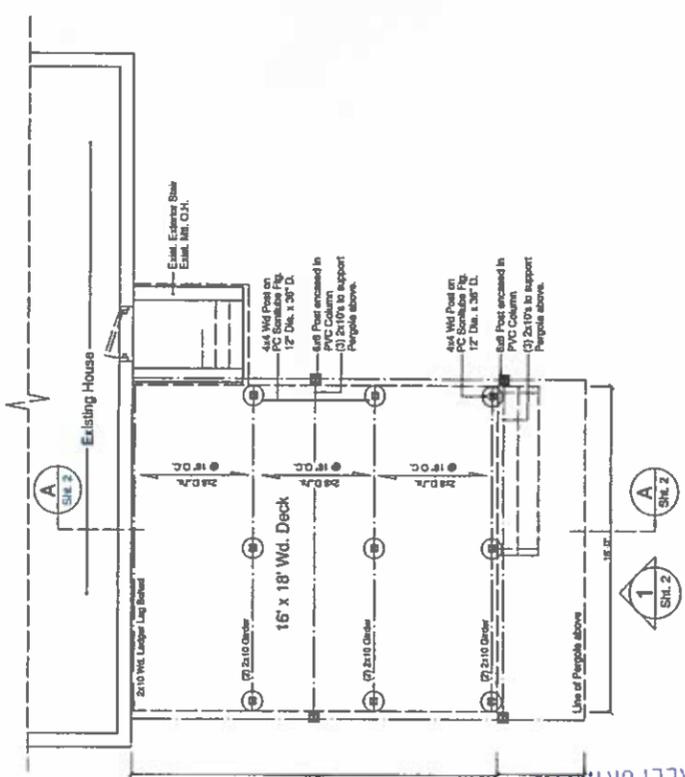
Maintain Rear Deck and Pergola
Residence @
17 Washburn Avenue
Freeport, New York 11520



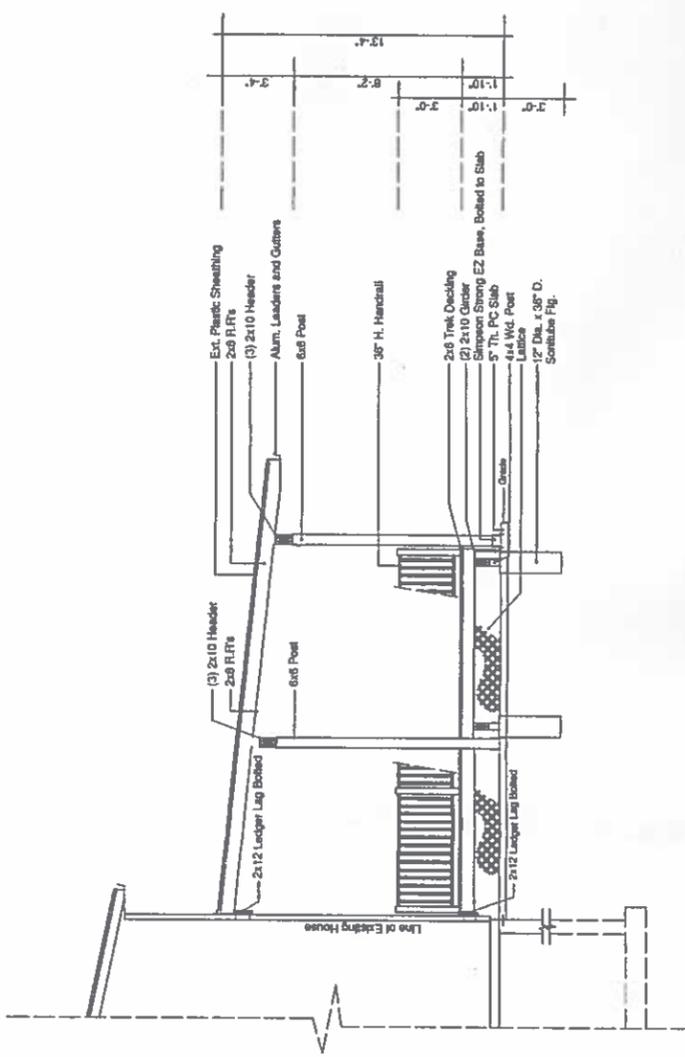
James Lerner, Architect 424 Madison Street Westbury, New York 11590 Tel. (516) 679-6621 Email: j.lerner@jlyr.com	Maria J. Miro Design and Drafting 10022 Madrick Ave N. Merrick, New York 11566 Tel. (516) 547-5251 Email: kankb3@aol.com
Project: Maintain Rear Deck and Pergola Address: 17 Washburn Avenue Freeport, New York 11520	Date: 04-14-24 Drawn by: MLL Checked by: J



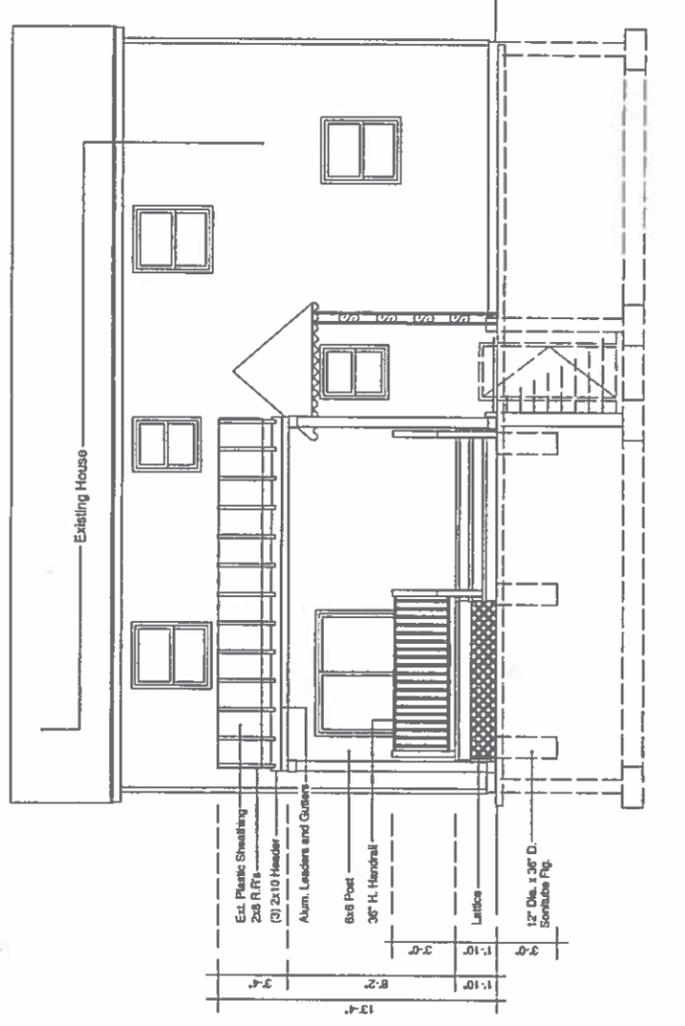
Deck Plan
 Sc. 1/4"=1'-0"



Deck Foundation Plan
 Sc. 1/4"=1'-0"



2 Elevation
 Sc. 1/4"=1'-0"
A-A Section
 Sc. 1/4"=1'-0"



1 Elevation
 Sc. 1/4"=1'-0"

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 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY

Application Date: 5/28/24
 Fees Paid: \$ 200.00

SP# 3743

**INCORPORATED VILLAGE OF FREEPORT
 SITE PLAN REVIEW APPLICATION
 PLANNING BOARD**

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 83 WASHBURN AVE. ZONING DISTRICT RESIDENCE A
 SECTION 55 BLOCK 247 LOT 229 LOT SIZE: 5,000 SF

<input type="checkbox"/> TENANT <u>APPLICANT</u>	<input type="checkbox"/> LESSEE	<u>PROPERTY OWNER</u>
Name: <u>SEYMOUR ALI</u>		Name: <u>CARLENS & LEONOR BRUNY</u>
Address: <u>80 ORVILLE DR. BOHEMIA, NY 11716</u>		Address: <u>83 WASHBURN AVE. Freeport</u>
Telephone #: <u>516-717-5563</u>		Telephone #: <u>316-582-4811</u>

Attorney Name: _____ Address: _____
 (optional) Phone #: _____

Present Land Use: SINGLE FAMILY RES. Proposed Land Use: SINGLE FAMILY RESIDENCE

Description of Proposed Work: 2ND FLOOR ADDITION WITH PROPOSED ATTIC (1,240.72 SF)

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
 A. The subject property is zoned Residence A or Residence AA.
 B. The proposed construction is not a new building or dwelling.
 C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied. _____ YES NO

[Signature]
 APPLICANT'S SIGNATURE _____ DATE 5/28/24

Sworn to before me this 28 day of May, 2024

Zuri S Vallejo
 Notary Public, State of New York
 Registration No. 01VA0016363
 Qualified in Nassau County
 Commission Expires, November 14, 2027

Property Owner's Consent:
 I, Leonor Bruny am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
 PROPERTY OWNER'S SIGNATURE _____ DATE 5/24/24

Sworn to before me this 24 day of May, 2024

ANN KROLIKOWSKI
 Notary Public, State of New York
 Reg. No. 01KR6323053
 Qualified in Nassau County
 Commission Expires April 13, 2027

Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

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INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER
May 22, 2024

Carlens & Leonor Bruny
83 Washburn Ave
Freeport, NY 11520

RE: **83 Washburn Ave, Freeport, NY**
Zoning District: Residence A Sec. 55 Blk. 247 Lot 229
Building Permit Application #20243740
Description: Proposed 1,040.72 second floor addition.

Dear Ms.

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-3632.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez
cc: Village Clerk

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ZBA Approval Needed: No

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20243740

Location: 83 Washburn Ave

Applicant: Carlens & Leonor Bruny

Description: Proposed 1,040.72 second floor addition.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: May 22, 2024

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

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VILLAGE OF FREEPORT, NY

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IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: 83 WASHBURN AVE			
Project Location (describe, and attach a location map): 83 WASHBURN AVE / CORNER OF WASHBURN AVE & GRAFFIN PL.			
Brief Description of Proposed Action: 2ND FLOOR ALTERATION w/ INTERIOR RENOVATIONS ADDITION w/ PROPOSED ATTIC			
Name of Applicant or Sponsor: CASA DEVELOPMENT GROUP		Telephone: 516-717-5563	
Address: 80 ORVILLE DR.		E-Mail: CASA.HOUSEOWNERS@GMAIL.COM	
City/PO: BOHEMIA		State: NY	Zip Code: 11716
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		X	
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
VILLAGE OF FREEPORT BLDG. PERMIT			X
3.a. Total acreage of the site of the proposed action?		<u>0.11</u>	acres
b. Total acreage to be physically disturbed?		<u>0</u>	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>0.11</u>	acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

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5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
		X	
b. Consistent with the adopted comprehensive plan?			X
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
			X
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	X		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	X		
b. Are public transportation service(s) available at or near the site of the proposed action?	X		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	X		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
			X
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
			X
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
			X
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	X		
b. Is the proposed action located in an archeological sensitive area?	X		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	X		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	X		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	X		
16. Is the project site located in the 100 year flood plain?	NO	YES	
	X		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <u>EXISTING STREET SYSTEM</u>	NO	YES	
			X

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Sebastian Ochoa / Sergio Al</u> Date: <u>5/7/24</u>		
Signature: <u>Sebastian Ochoa</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

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 RELEASE OF PUBLIC INFORMATION
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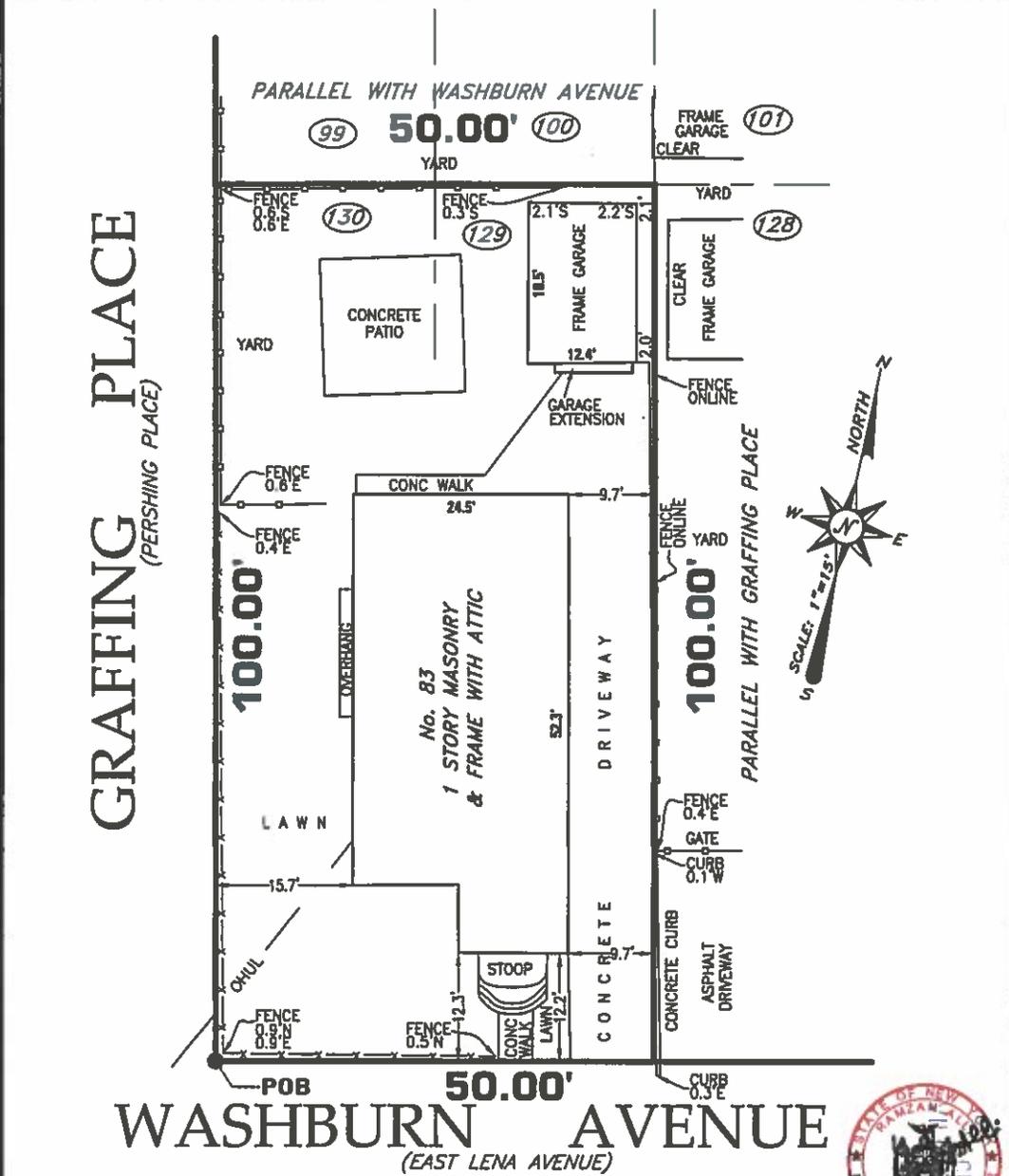
	small impact may occur	to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> that the proposed action will not result in any significant adverse environmental impacts.	
_____ Name of Lead Agency	_____ Date
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from Responsible Officer)

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 DEPARTMENT OF ENVIRONMENTAL CONSERVATION
 OFFICE OF FIELD OPERATIONS
 ALBANY, NY

LEGEND	OHUL	OVERHEAD UTILITY LINES	- x - x	CHAIN LINK FENCE	(130)	FILE MAP LOT NUMBER
	○	VINYL FENCE	—	PROPERTY LINE	CONC	CONCRETE
	—	STOCKADE FENCE	POB	POINT OF BEGINNING		



DESIGNATED AS LOT No. 129 & 130
ON "MAP OF MOUNT ESTATES, INC."
AS MAP No. 502, CASE No. 445

LB-000529N	March 29, 2024	Title Survey
JOB No.	DATE	DESCRIPTION
CERTIFIED TO:		
The certifications herein are not transferable.		
1. CASA Development Group		
Property Situated at:	Tax Designation:	
83 Washburn Avenue	District:	-
Inc. Village of Freeport	Section:	55
Town of Hempstead	Block:	247
County of Nassau	Lots:	229 & 230
State of New York	Drawn By: MC	Checked By: YP

A copy of this document without a proper application of the surveyor's inked or embossed seal should be assumed to be an unauthorized copy.

NOTICE: © 2024 Earl B. Lovell-S.P. Belcher, Inc. All Rights Reserved
Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.

EARL B. LOVELL - S.P. BELCHER, INC.
Land & City Surveyors - Incorporated 1933

77-16 164 Street
Fresh Meadows, NY 11366
Tel: 212-732-1381
E-mail: lovellbelcher@gmail.com
www.lovellbelcher.com

Records of NY Land Surveyor



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South Elevation



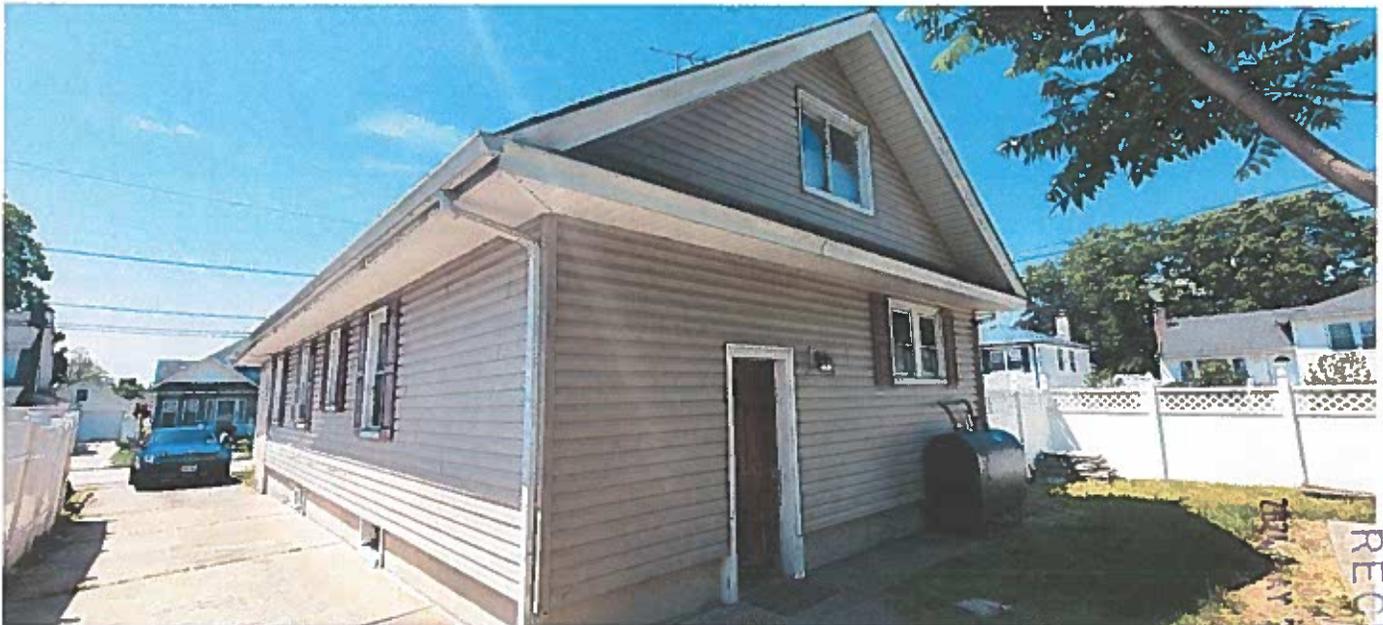
West Elevation

83 WASHBURN AVE.

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OF FINEPORT, NY



East Elevation



North Elevation

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FALDPORI, NY

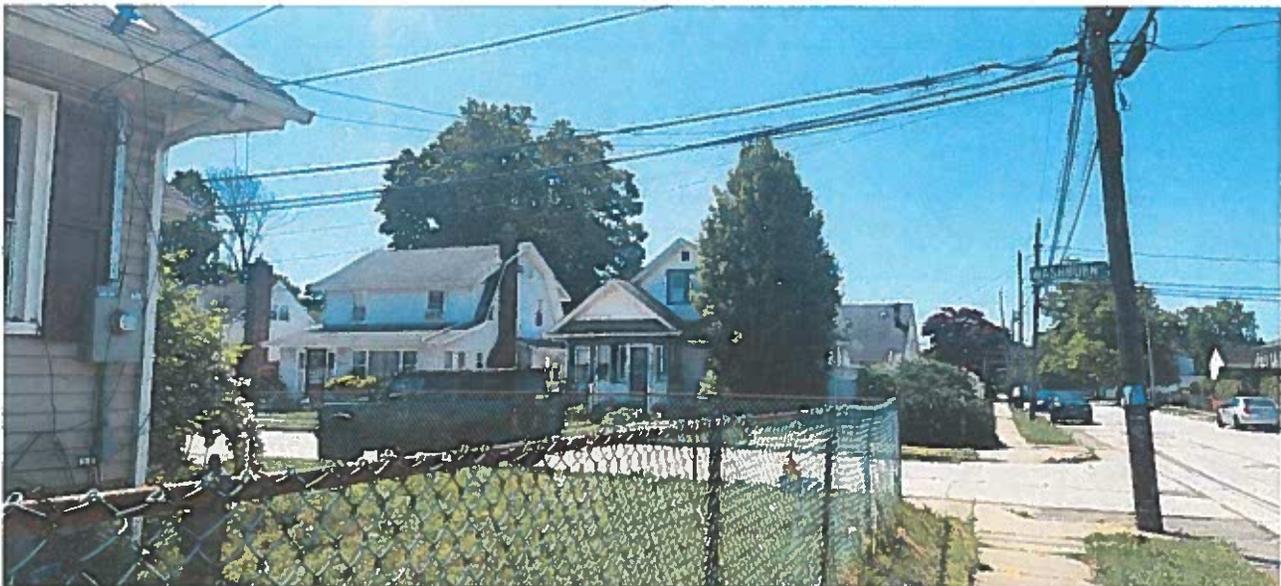
83 WASHBURN AVE.



View to the west



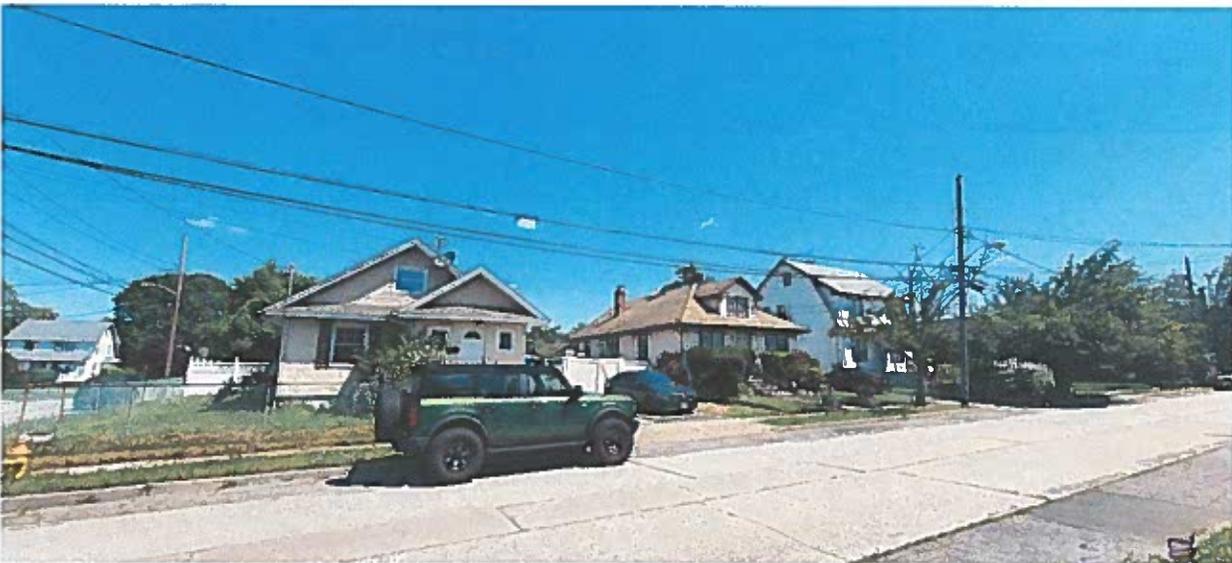
View to the west



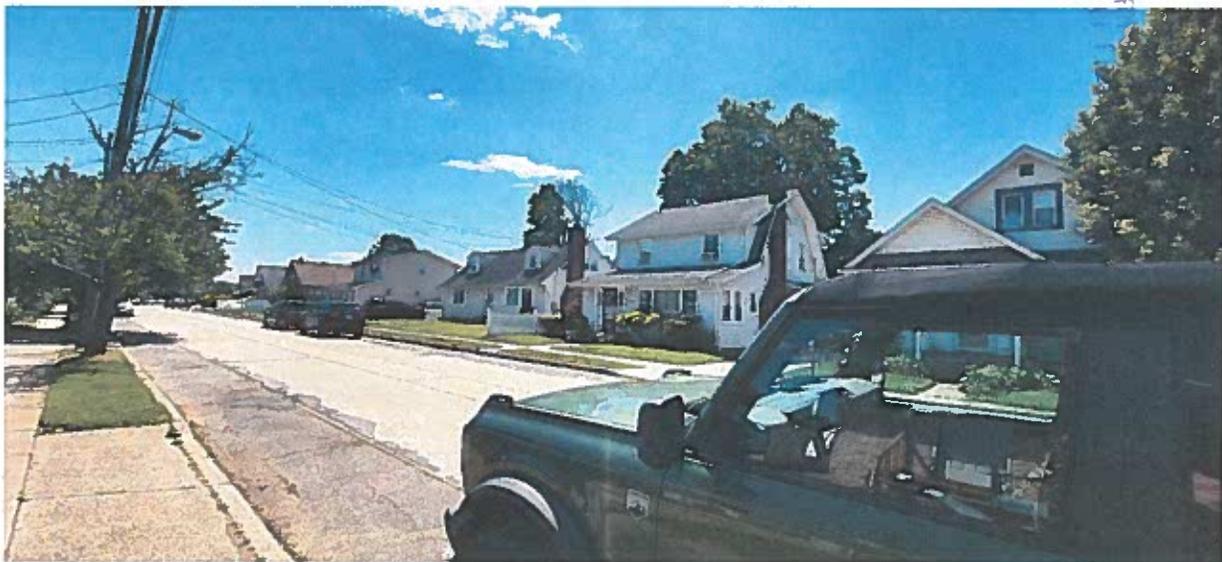
View to the south



View to the east



View to the east



View to the south

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83 Washburn Avenue
Freeport, NY

List of Materials

Roofing

Architectural shingle in a slate or dark gray color

Vinyl Siding

6" lap in a blue or gray-blue color

1st floor Windows

Existing double-hung windows to remain (white color frames and burgundy color shutters)

2nd floor Windows

Double-hung with white color frames (no shutters)

Front and Rear Doors

Existing doors to be replaced with insulated doors and frames in white color

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PROPOSED 2ND FLOOR ALTERATION @ 83 WASHBURN AVE. FREEPORT, NEW YORK 11520



CH2M HILL DATA DEVELOPMENT
100 South Street, Suite 1175
Freeport, NY 11520
Tel: (516) 771-7781
Fax: (516) 771-7782

Project Name: 83 Washburn Ave. Alteration
Project No: C-001.00
Date: 03/06/24
Author: A.S. noted

Scale: 1/8" = 1'-0"
Sheet: 1 of 7
Drawing No: C-001.00

Project Location: 83 Washburn Ave., Freeport, NY 11520

Project Name: 83 Washburn Ave. Alteration
Project No: C-001.00
Date: 03/06/24
Author: A.S. noted

Project Name: 83 Washburn Ave. Alteration
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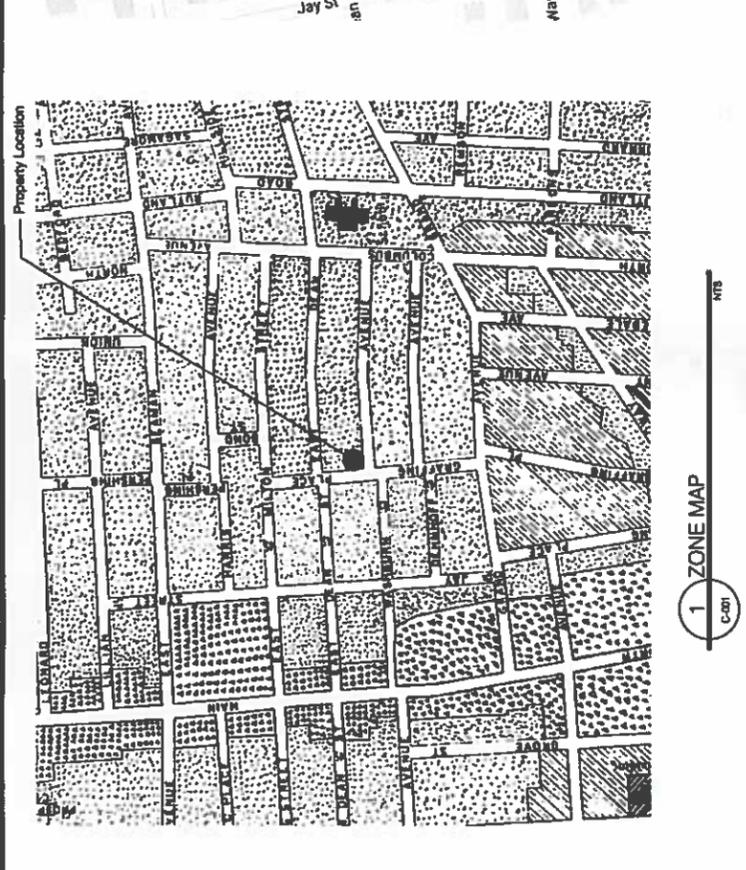
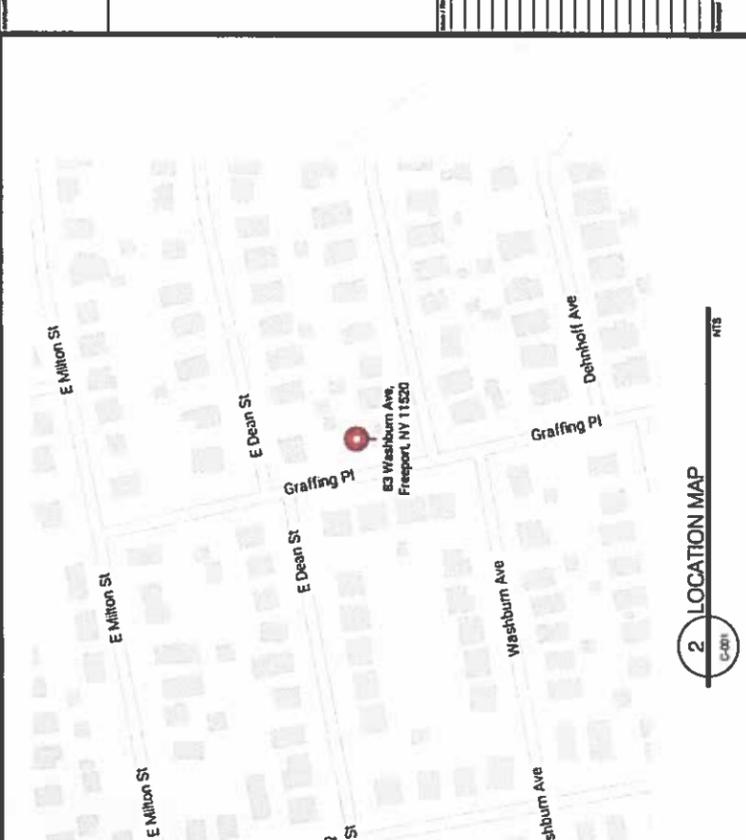
Project Name: 83 Washburn Ave. Alteration
Project No: C-001.00
Date: 03/06/24
Author: A.S. noted

Applicable Code and Standards:	
Code Reference	2020 NYS Residential Code
Construction code	2020 ECNYS
Energy code	2020 ECNYS

Energy Compliance Statement:
To the best of my knowledge, belief and professional judgment, these plans and specifications are in compliance with the 2020 Energy Conservation Construction Code of New York State.

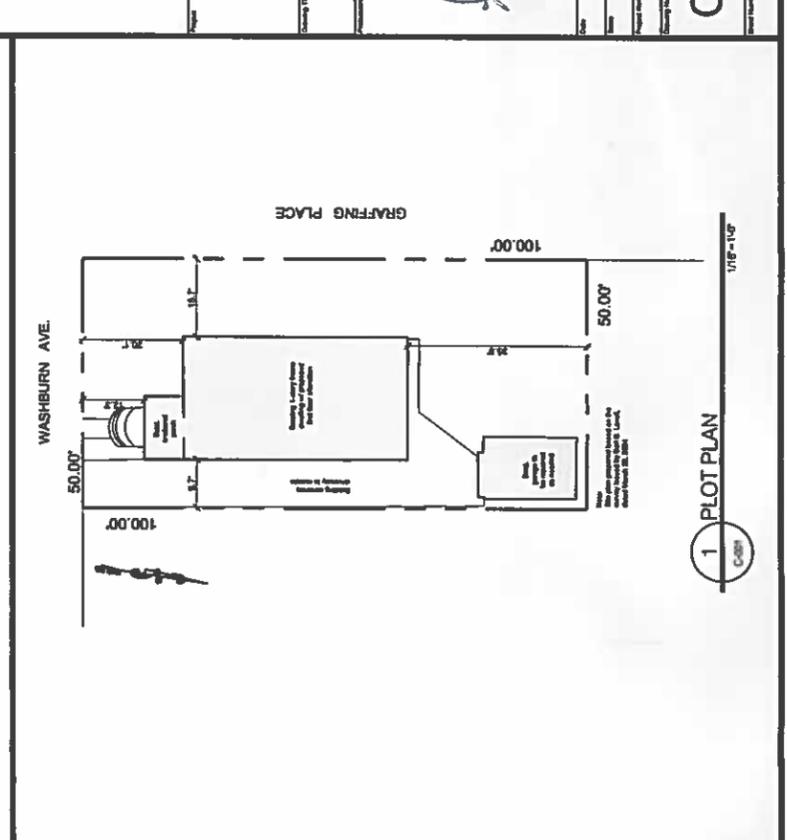
Project Data:
Address: 83 Washburn Ave., Freeport NY
Dist. 100, Sec. 178, Blk. 02, Lot 71
Jurisdiction: Village of Freeport, New York
Zoning: A - Residence
Building Use: Single family dwelling

Project Data:
Address: 83 Washburn Ave., Freeport NY
Dist. 100, Sec. 178, Blk. 02, Lot 71
Jurisdiction: Village of Freeport, New York
Zoning: A - Residence
Building Use: Single family dwelling



Village of Freeport Zoning Information:	Permitted/Required	Proposed	Variance Required
Village Zone: A - Residential District	35 feet max. (3 stories)	29'-4" feet	No
Village Code Reference (ZR 210-39)	5,000 sf.	5,000 sf.	No
Building Height (ZR 210-40)	30% max. Additional 10% max. for garage Max. FAR - 50%	23.8% (1,189 sf.) 4.7% (238 sf.) 44% (2,205 sf.)	No
Lot Area (ZR 210-41)	800 sf on average	1,189 sf.	No
Minimum Floor Area (ZR 210-42)	Min. front yard - 20 feet Min. rear yard - 20 feet Min. side yards - 5 feet w/ sum 25% of lot width	20.1' 35.5' 9.7' minimum w/ 25.4' total which is 00.8% of lot width	No
Required Yards (ZR 210-43)			No

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VILLAGE OF FREEPORT
2nd Floor Alteration
83 Washburn Ave.
Freeport, New York
11520
Cover Sheet



Existing foundation wall and footing	New foundation wall and footing (see details for specifications)	Existing exterior framed wall	New exterior framed wall (see details for specifications)	Existing interior framed wall	New interior framed wall (see details for specifications)	New interior framed fire rated wall (see details for specifications)	Window lag	Door size designation	Smoke detector (hardwired, unless otherwise noted)	Combo smoke/carbon monoxide detector (hardwired, unless otherwise noted)	Ceiling mounted exhaust fan	Floor elevation mark	Section mark	Revision number	Detail call-out information
---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---

Project Name: 83 Washburn Ave. Alteration
Project No: C-001.00
Date: 03/06/24
Author: A.S. noted



CHSA
CONSTRUCTION MANAGEMENT

400 South Street
New York, NY 10014
Tel: 212-333-1100

CHSA
CONSTRUCTION MANAGEMENT
400 South Street
New York, NY 10014
Tel: 212-333-1100

2024
2nd Floor Alteration
53 Westbury Ave.
Freeport, New York
11520

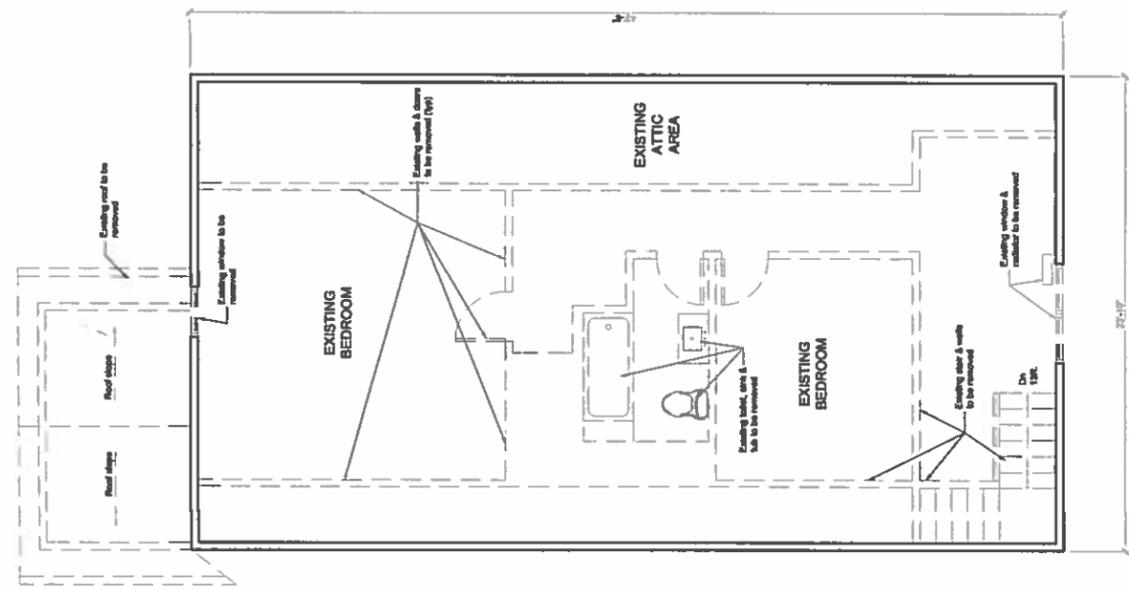
Existing Demo Plans



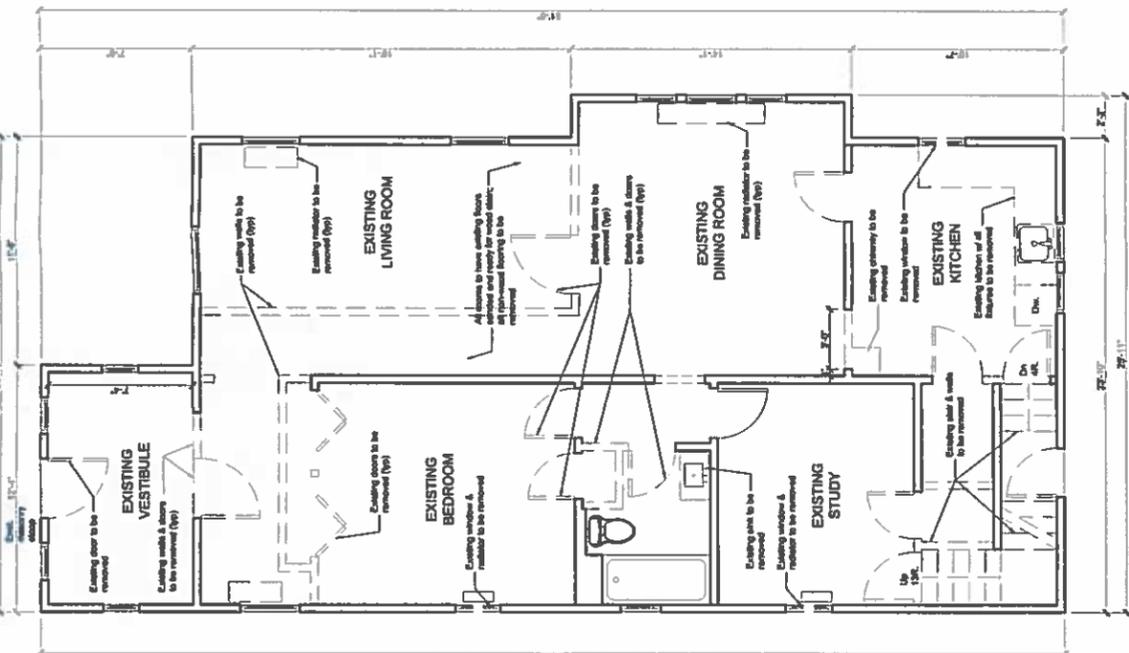
030624
As Issued

A-001.00

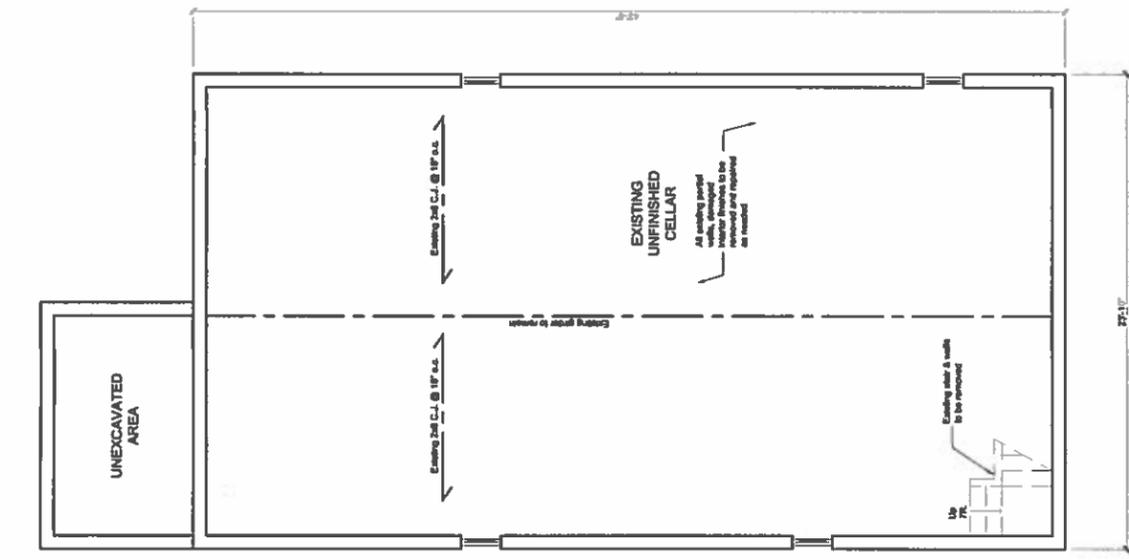
2 of 7



3 SECOND FLOOR PLAN
1/8" = 1'-0"



2 FIRST FLOOR PLAN
1/8" = 1'-0"



1 CELLAR PLAN
1/8" = 1'-0"

- DEMOLITION NOTES**
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY AND HEALTH REGULATIONS REGARDING THE DEMOLITION OF STRUCTURES INCLUDING ANSI/ASPPA 3411-BUILDING CONSTRUCTION AND DEMOLITION OPERATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY ADJACENT BUILDING TO REMAIN.
 - THE CONTRACTOR SHALL SUBMIT A WRITTEN NOTIFICATION IF, DURING THE WORK OF DEMOLITION AND CUTTING, CONDITIONS ARE DISCOVERED WITH SIGNIFICANTLY VARY FROM THOSE SHOWN ON THE DRAWINGS.
 - THE CONTRACTOR FOR THE WORK OF THIS SECTION SHALL BE HELD TO HAVE VISITED THE SITE, EXAMINED THE PROGRESS, DETERMINED FOR HIMSELF THE EXISTING CONDITIONAL CHARACTER OF EQUIPMENT AND FACILITIES NEEDED FOR THE PERFORMANCE OF THE WORK, AND ALL MATTERS WHICH MAY IN ANY WAY AFFECT THE WORK BEFORE SUBMITTING A BID.
 - CONTRACTOR TO NOTIFY THE ARCHITECT IF, DURING THE COURSE OF DEMOLITION, CONDITIONS ARE DISCOVERED WHICH SIGNIFICANTLY VARY FROM THOSE SHOWN ON THE DRAWINGS.
 - THE CONTRACTORS SHALL ACCEPT THE CONDITION OF THE SITE AND STRUCTURES AS FOUND. THE ARCHITECT, CONSTRUCTION MANAGER AND OWNER ASSUME NO RESPONSIBILITY FOR THE CONDITION OF SITE OR STRUCTURES NOT THE CONTINUATION OF THE CONSTRUCTION EXISTING AT THE TIME OF BIDDING OR THEREAFTER.
 - ITEMS OF SALVAGEABLE VALUE TO THE CONTRACTOR MAY BE REMOVED FROM THE STRUCTURE AS THE WORK PROGRESSES. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED.
 - CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALLS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
 - DO NOT CLOSE OR OBSTRUCT STREET, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
 - MAINTAIN ANY EXISTING UTILITIES REQUIRED TO REMAIN, KEEP IN SERVICE AND PROTECT ADJACENT DAMAGE DURING DEMOLITION OPERATIONS.
 - DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORIZED HAVING JURISDICTION.
 - BEFORE COMMENCING ANY ALTERATION OR DEMOLITION WORK, SUBMIT FOR REVIEW BY THE ARCHITECT, CONSTRUCTION MANAGER AND APPROVAL OF THE OWNER, A SCHEDULE SHOWING THE COMMENCEMENT, THE ORDER, AND THE COMPLETION DATES FOR THE VARIOUS PARTS OF THIS WORK.
 - CONTRACTOR WILL TAKE FULL PRECAUTIONS TO PROTECT NEARBY PARCELS, IF ANY OTHER PERSONS FROM FALLING DEBRIS AND OTHER HAZARDS OF DEMOLITION OPERATIONS.
 - CONTRACTOR WILL EXECUTE DEMOLITION WORK TO INSURE PROTECTION OF EXISTING PORTIONS OF BUILDING TO REMAIN. ADJACENT DAMAGES WHICH MIGHT OCCUR FROM FALLING DEBRIS OR OTHER CAUSE SHALL BE THE RESPONSIBILITY OF ADJACENT OCCUPIED BUILDINGS AND NEARBY ADJACENT PARCELS TO AND FROM OCCUPIED ADJACENT BUILDINGS.
 - CONTRACTOR WILL NOT LOAD STRUCTURES WITH WEIGHT THAT WILL EXCEED OVERLOAD OR CAUSE EXCESSIVE DEFLECTION OF THAT EXISTING STRUCTURE, OR THAT WILL DAMAGE PRESSED SURFACES ADJACENT TO AND/OR SUPPORTED BY THE EXISTING STRUCTURE, EXCEPT PORTIONS BEING REMOVED.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY ARISE OR OCCUR TO ANY PARTY WHATSOEVER BY REASON OF THE DEFLECT IN PROVIDING PROPER LIGHTS, GUARDS, BARRIERS, OR ANY OTHER SAFEGUARD TO PREVENT DAMAGES TO PROPERTY, LIFE AND LIMB.
 - CONTRACTOR WILL MAKE SUCH EXPLANATIONS AND PROVISIONS AS ARE NECESSARY TO ACCEPTABLE AND REQUIRED VERTICAL CLEARANCES BEFORE PROCEEDING WITH DEMOLITION AND BRACING ONE PARTICULAR STRUCTURE TO BRACING AND BRACING REQUIREMENTS AS TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION.
 - PROVIDE INTERIOR AND EXTERIOR BRACING, BRACKETS, OR SUPPORT TO PREVENT MOVEMENT OF SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT FACILITIES TO REMAIN. A PROFESSIONAL ENGINEER SHALL ADVISE ON BRACING, SHORING, UNDERPINNING, OR OTHER STRUCTURAL REQUIREMENTS. THE CONTRACTOR SHALL BEAR ALL RESPONSIBILITY FOR PREVENTION OF MOVEMENT OR OTHER STRUCTURE FAILURE.
 - TAKE NECESSARY PRECAUTIONS TO PREVENT DUST AND DEBRIS FROM BEING BY WINDING, DISINTEGRATED MASONRY, CONCRETE, PLASTER, AND BRICKS. PROTECT UNLATERED PORTIONS OF THE EXISTING BUILDING AFFECTED BY THE OPERATIONS UNDER THIS SECTION BY DUST-PROOF PARTITIONS AND OTHER ADEQUATE MEANS.
 - PROVIDE ADEQUATE FIRE PROTECTION IN ACCORDANCE WITH LOCAL FIRE DEPARTMENT REQUIREMENTS. DO NOT CLOSE OR OBSTRUCT WALKWAYS, PASSAGeways, OR STAIRWAYS WITHOUT THE AUTHORIZATION OF THE ARCHITECT. DO NOT STORE OR PLACE MATERIALS IN PASSAGeways, STAIRS, OR OTHER USAGES OF EGRESS. CONDUCT OPERATIONS WITH MINIMUM TRAFFIC INTERFERENCE.
 - VERIFY THAT AREAS OF DEMOLITION WORK ARE PROTECTED AND TEMPORARY DUST-PROOF PARTITIONS HAVE BEEN INSTALLED.
 - VERIFY THAT CONSTRUCTION TO BE REMOVED IS NOT LOAD BEARING OR HAS BEEN PROPERLY BRACED, FRAMED OR SUPPORTED.
 - USE WATER SPRINKLERS, TEMPORARY ENCLOSURES, AND OTHER FEASIBLE METHODS TO LIMIT THE AMOUNT OF DUST AND DEBRIS RISING AND SETTLED IN THE AIR TO THE LOWEST PRACTICAL LEVEL. COPE WITH DUSTY CONDITIONS AND PREVENT DAMAGE TO ADJACENT FACILITIES. DO NOT USE METHODS THAT MAY CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS ICE, FLOODING, AND POLLUTION.
 - CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING PRIOR TO THE START OF THE WORK.
 - PROVIDE DRAINAGE FOR TEMPORARY WATER USE.
 - DO NOT CUT OR REMOVE CONSTRUCTION WHICH MIGHT WEAKEN OR IMPAIR THE STRUCTURAL INTEGRITY OR STRENGTH OF THE STRUCTURAL INTERIOR OR STRENGTH OF THE STRUCTURAL FRAMED OR SUPPORT SYSTEMS WHICH ARE TO REMAIN.
 - WHERE PORTIONS OF STRUCTURES ARE TO BE REMOVED, REMAINING PORTIONS SHALL BE PROTECTED FROM DAMAGE AND PREPARED TO FIT NEW CONSTRUCTION. DAMAGE TO PORTIONS OF STRUCTURES TO REMAIN SHALL BE REPAIRED.
 - EXISTING WATERPROOFING SYSTEMS AND FLASHINGS SHALL BE CAREFULLY EXPOSED AND PROTECTED TO MAINTAIN WORKABLE CONDITIONS OF FITTING NEW WORK WITH EXISTING CONSTRUCTION.
 - COORDINATE PATCHES INVOLVING THE VARIOUS TRADES WHETHER OR NOT SPECIFICALLY MENTIONED IN THE RESPECTIVE SPECIFICATION SECTIONS.
 - COMPLETE CUTTING OF EXISTING ROOF AREAS DESIGNATED TO REMAIN TO THE LIMITS REQUIRED FOR THE PROPER INSTALLATION OF THE NEW WORK. CUT AND FOLD BACK EXISTING GUTTERS, ROOFING, CUT AND REMOVE INSULATION AND RELATED ITEMS. PROVIDE TEMPORARY WEATHER THE OWNER TO ASCERTAIN IF EXISTING GUARANTEE BOOKS ARE IN FORCE AND EXECUTE THE WORK SO AS NOT TO INVALIDATE SUCH BOOKS.
 - RESTORE FINISH OF FLOORS, WALLS, AND CEILING REMAINED IN PLACE BUT DAMAGED OR DEFACED BECAUSE OF DEMOLITION OR ALTERATION WORK TO CONDITION EQUAL THAT WHICH EXISTED AT BEGINNING OF WORK UNDER THE CONTRACT.



East Development
 40 South Ave
 Westbury, NY 11591
 (516) 335-1000

Carroll Building
 700 Union Blvd.
 Westbury, NY 11591
 (516) 335-1000

2024 MAY 28
 23 Washington Ave
 Freeport, New York
 11520

Proposed Plans



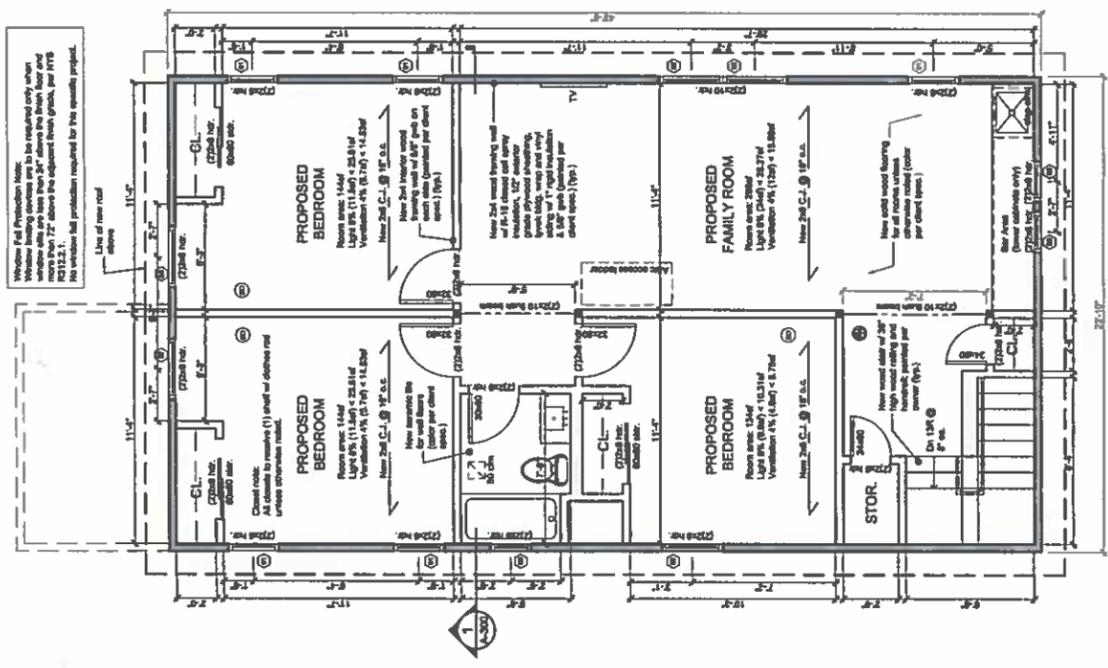
03/08/24

As noted

A-100.00

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CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY

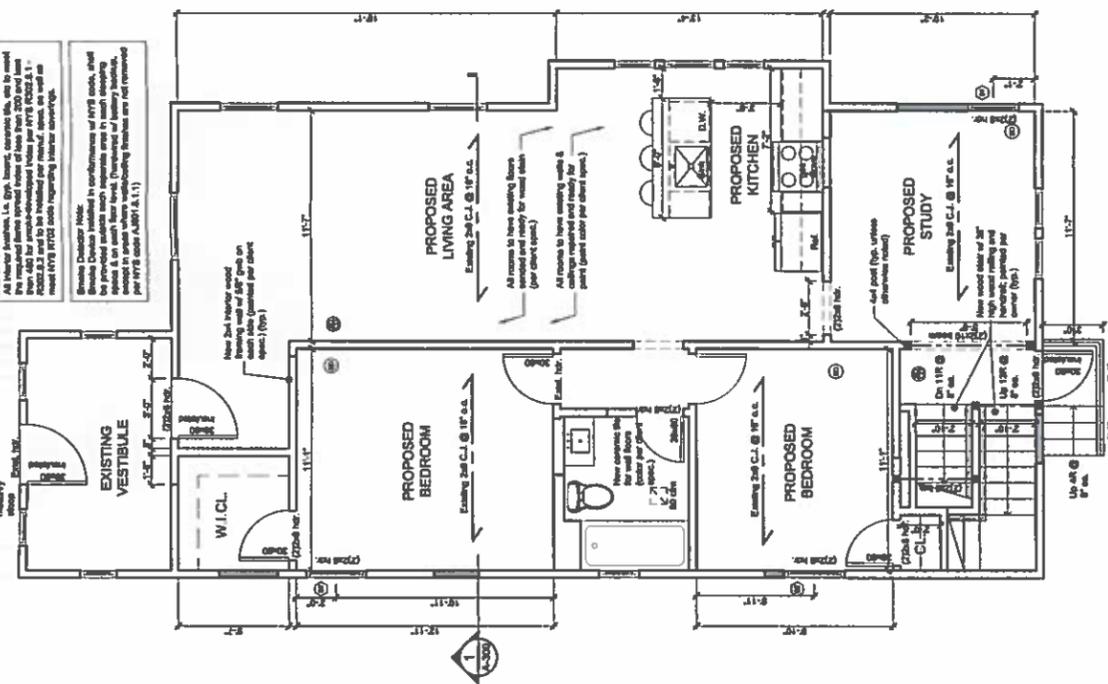


3 SECOND FLOOR PLAN
 1/8" = 1'-0"

Plumbing Fixtures Information:

Item	Manuf.	Symbol #
Toilet	Kohler	K-30812
Vanity	Kohler	K-32076
Shower pan	Kohler	K-8643
Tub	Kohler	K-30109
Kitchen sink	Kohler	K-30223
Sink faucet	Delta	190562 DRT
Lav. faucet	Delta	3564 DRT
Shower control	Delta	T14384
Tub control	Delta	T14484

Note:
 - All fixtures to be approved by client
 - All showers and tubs to receive glass partitioning

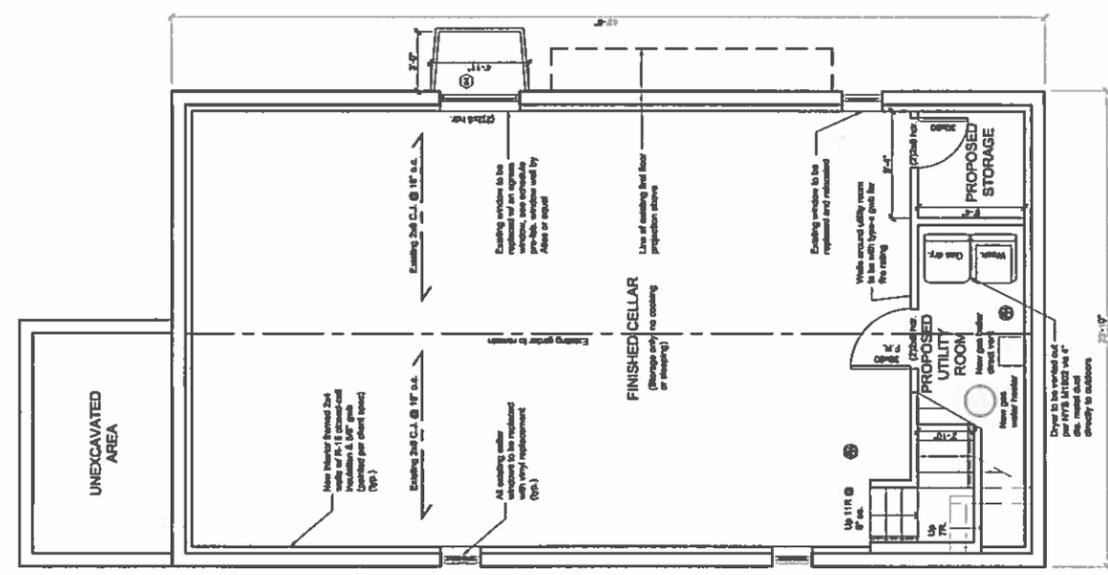


2 FIRST FLOOR PLAN
 1/8" = 1'-0"

Window Schedule

Tag #	Location	Size	Material	Comments
1	Living Area	7'-0" x 6'-0"	Wood	Double paneled
2	Living Area	5'-0" x 6'-0"	Wood	Double paneled
3	Living Area	10'-0" x 6'-0"	Wood	Double paneled
4	Living Area	11'-0" x 6'-0"	Wood	Double paneled
5	Living Area	11'-0" x 6'-0"	Wood	Double paneled
6	Living Area	11'-0" x 6'-0"	Wood	Double paneled

Window Note:
 - All windows shall be approved by client
 - All windows shall be installed in accordance with the manufacturer's instructions
 - All windows shall be installed in accordance with the manufacturer's instructions



1 CELLAR PLAN
 1/8" = 1'-0"

TABLE A1100.4.3(1)
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS						
	0-1	2-3	4-5	6	7	>7	
< 1,500	30	45	60	75	90	105	120
1,501 - 3,000	45	60	75	90	105	120	135
3,001 - 4,500	60	75	90	105	120	135	150
4,501 - 6,000	75	90	105	120	135	150	165
6,001 - 7,500	90	105	120	135	150	165	180
> 7,500	105	120	135	150	165	180	200

Airflow in CFM

Note: For 51.1 square foot = 0.0929 m², 1 cubic foot per minute = 0.0004719 m³/s

2024 MAY 28 P 2 38

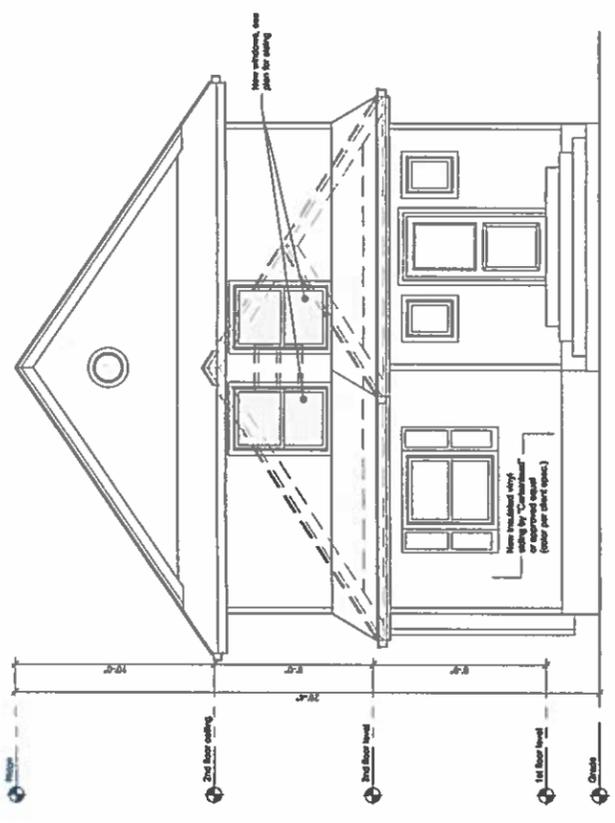


2nd Floor Alteration
83 Washburn Ave.
Freeport, New York
11520

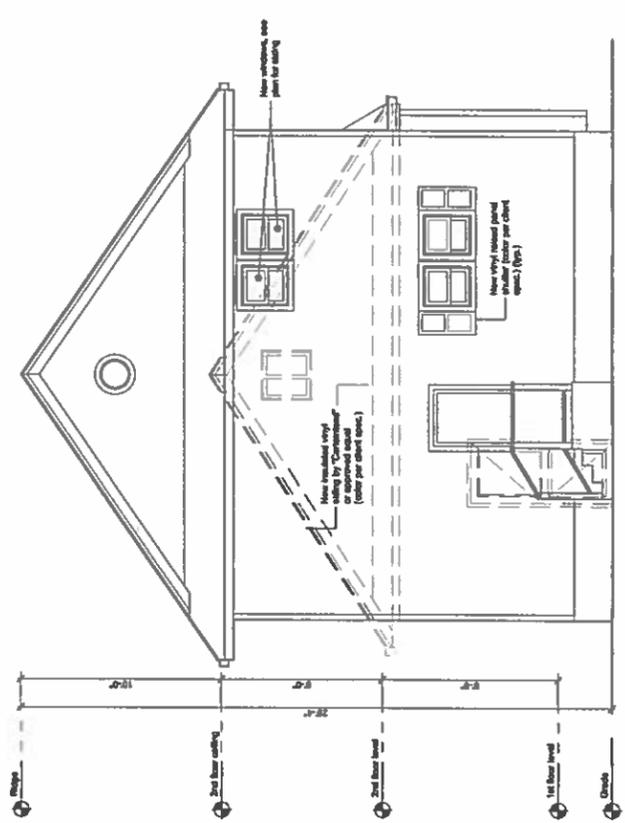
Proposed Elevations

03/03/24
As noted

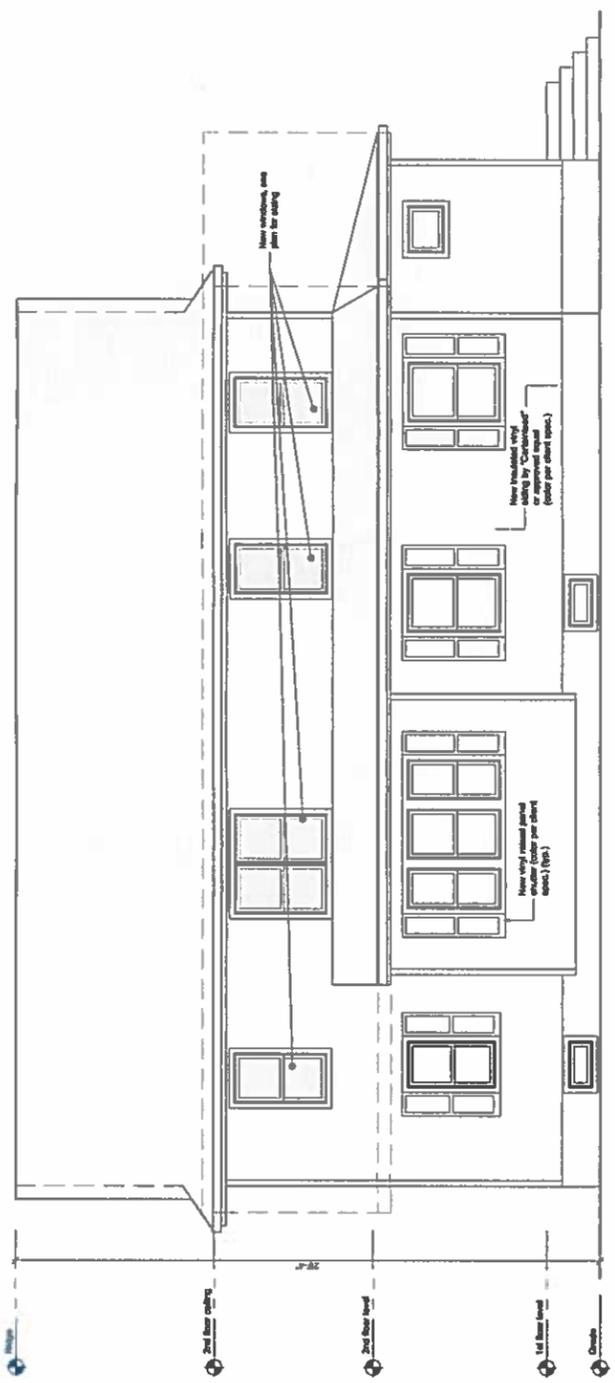
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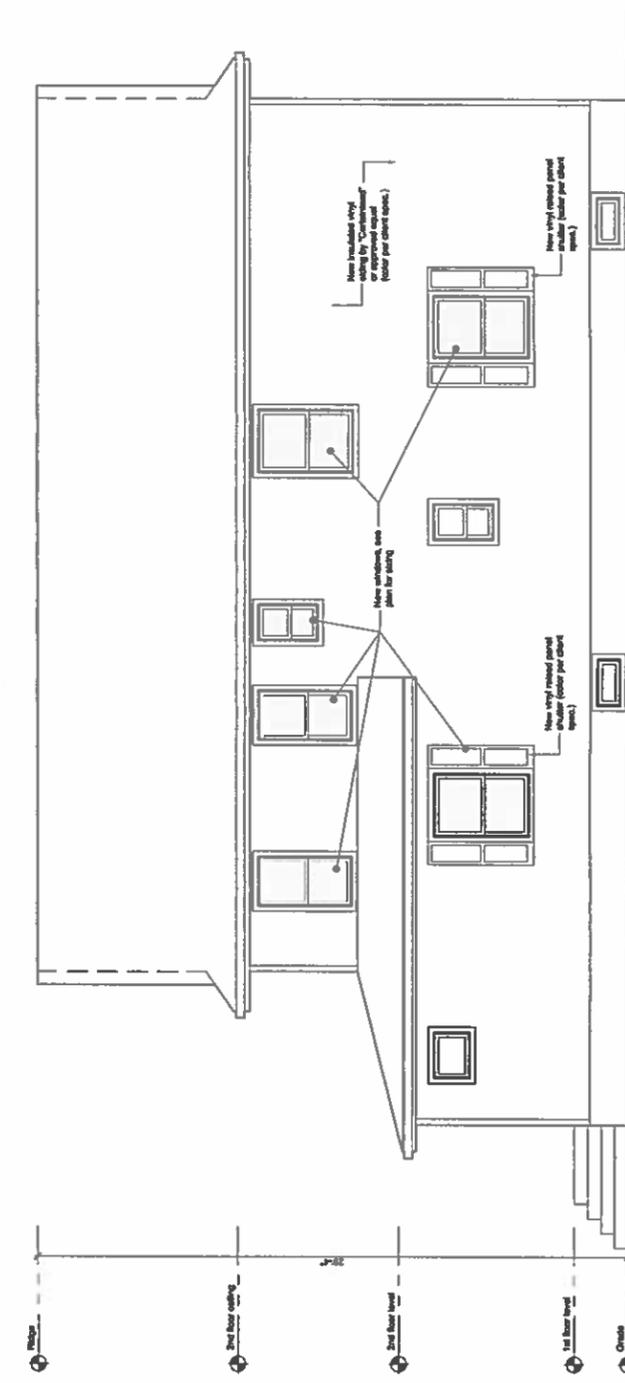
2 FRONT ELEVATION
1/8" = 1'-0"
A-200



4 REAR ELEVATION
1/8" = 1'-0"
A-200



1 SIDE ELEVATION
1/8" = 1'-0"
A-200



3 SIDE ELEVATION
1/8" = 1'-0"
A-200



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Carson Studios
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