



Application Date: \_\_\_\_\_  
Fees Paid: \_\_\_\_\_

SP# 3709

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: <u>180 Wilson Place</u>	ZONING DISTRICT: <u>Residence AA</u>
SECTION <u>54</u> BLOCK <u>491</u> LOT <u>1</u>	LOT SIZE: <u>11,500 SF</u>

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Miguel A. Hernandez</u>	Name: <u>Miguel A. Hernandez</u>
Address: <u>180 Wilson Ave</u> <u>Freeport, NY 11520</u>	Address: <u>180 Wilson Place</u> <u>Freeport NY 11520</u>
Telephone #: <u>516-287-2538</u>	Telephone #: <u>(516) 287-2538</u>

Attorney Name: MARIA MILO Address: 1002 Merrick Ave.  
 (optional) Phone #: 516-547-5251 11 Merrick, N.Y. 11566

Present Land Use: RESIDENTIAL Proposed Land Use: RESIDENTIAL  
(Residence AA) (Residence AA)

Description of Proposed Work: Maintain Existing Gazebo,  
Approximately 290.25 SF

I request a preliminary meeting:  YES  NO

I request a waiver of the public hearing and hereby certify the following:  
 A. The subject property is zoned Residence A or Residence AA.  
 B. The proposed construction is not a new building or dwelling.  
 C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  
 YES  NO

RECEIVED  
 2024 MAR - 14  
 VILLAGE CLERK'S OFFICE  
 INCORPORATED VILLAGE OF FREEPORT

Miguel Hernandez 1/17/2024  
 APPLICANT'S SIGNATURE DATE

Sworn to before me this 17<sup>th</sup>  
 day of January, 2024.

AMARILIS A LEDESMA  
 NOTARY PUBLIC, STATE OF NEW YORK  
 Registration No. 01LE6382087  
 Qualified in Nassau County  
 Commission Expires October 15, 2026

Amarilis Ledesma  
 Notary Public

Property Owner's Consent:  
 I, Miguel A. Hernandez am (are) the owner(s) of the subject property and consent to the filing of this application.

Miguel Hernandez 1/17/2024  
 PROPERTY OWNER'S SIGNATURE DATE

Sworn to before me this 17<sup>th</sup>  
 day of January, 2024.

AMARILIS A LEDESMA  
 NOTARY PUBLIC, STATE OF NEW YORK  
 Registration No. 01LE6382087  
 Qualified in Nassau County  
 Commission Expires October 15, 2026

Amarilis Ledesma  
 Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
Planning Board Signature: _____	Date: _____

**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL: [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**AMENDED SITE PLAN LETTER**  
February 26, 2024

Miguel Hernandez  
180 Wilson Place  
Freeport, NY 11520

**RE: 180 Wilson Place, Freeport, NY 11520**  
**Zoning District: Residence AA Sec. 54 Blk. 491 Lot. 1**  
**Building Permit Application #20233513**  
**Description: – Maintain existing gazebo (290.25 SF)**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,



Sergio A. Mauras  
Superintendent of Buildings  
/al

c: Village Clerk

VILLAGE OF FREEPORT, NY  
CLERK'S OFFICE

2024 MAR - 1 A 4 55

RECEIVED

ZBA Approval Needed: Yes\_\_ No\_X\_

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

     The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20233513

Location: 180 Wilson Place, Freeport NY 11520

Applicant: Miguel Hernandez

Description : Maintain existing gazebo (290.25 SF)

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_  
\_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: February 26, 2024

*Sergio A. Mauras*  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

RECEIVED

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: <i>Miguel A. Hernandez.</i>			
Project Location (describe, and attach a location map): <i>180 Wilson Ave. <sup>PL</sup> Freepcit, SEC 54, Block 491, Lot 1</i>			
Brief Description of Proposed Action: <i>MAINTAIN EXISTING GAZEBO (13.5' x 21.5')</i>			
Name of Applicant or Sponsor: <i>Miguel A. Hernandez.</i>		Telephone: <i>(516) 287-2538</i>	E-Mail:
Address: <i>180 Wilson <del>Ave</del> PLACE</i>			
City/PO: <i>Freepcit</i>	State: <i>NY</i>	Zip Code: <i>11520</i>	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
<i>Village of Freepcit</i>			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<i>.264</i> acres	
b. Total acreage to be physically disturbed?		<i>.264</i> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<i>.264</i> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?  b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	YES
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels?  b. Are public transportation service(s) available at or near the site of the proposed action?  c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	YES
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	YES
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	YES
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	YES
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?  b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	YES
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	YES
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	YES
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	YES
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES  b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <i>Drywells + catch basins</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	YES

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Miguel A. Hernandez.</u> Date: <u>9/25/23</u>		
Signature: <u>X Miguel A. Hernandez</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>



FRONT  
VIEW

180 Wilson PLACE



CORNER  
Wilson PL.  
+ Oakfield  
Ave.

2024 MAR -1 A 9 56  
CLERK OFFICE  
VILLAGE OF HIGHLAND NY

RECEIVED 301 WILSON PLACE



SIDE  
VIEW

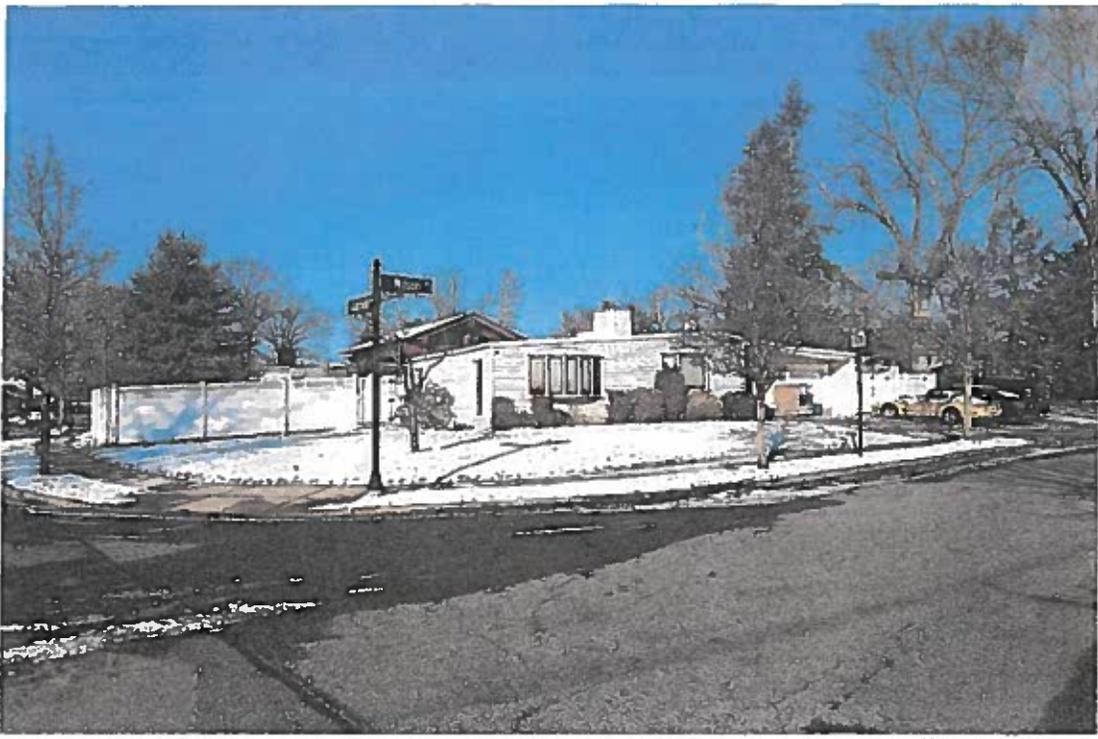
180 Wilson Pl.



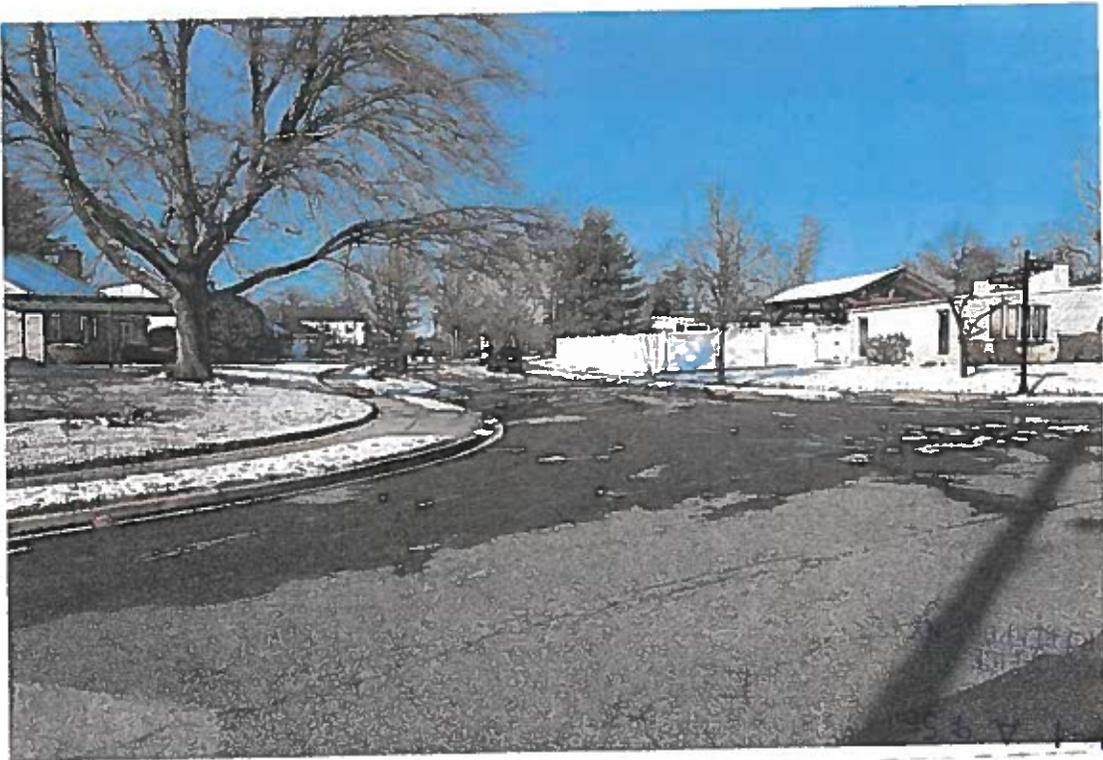
SIDE  
VIEW

180 Wilson Pl.

RECEIVED  
2024 MAR -1 A # 56  
CLERK'S OFFICE  
VILLAGE OF FREEDPORT, NY

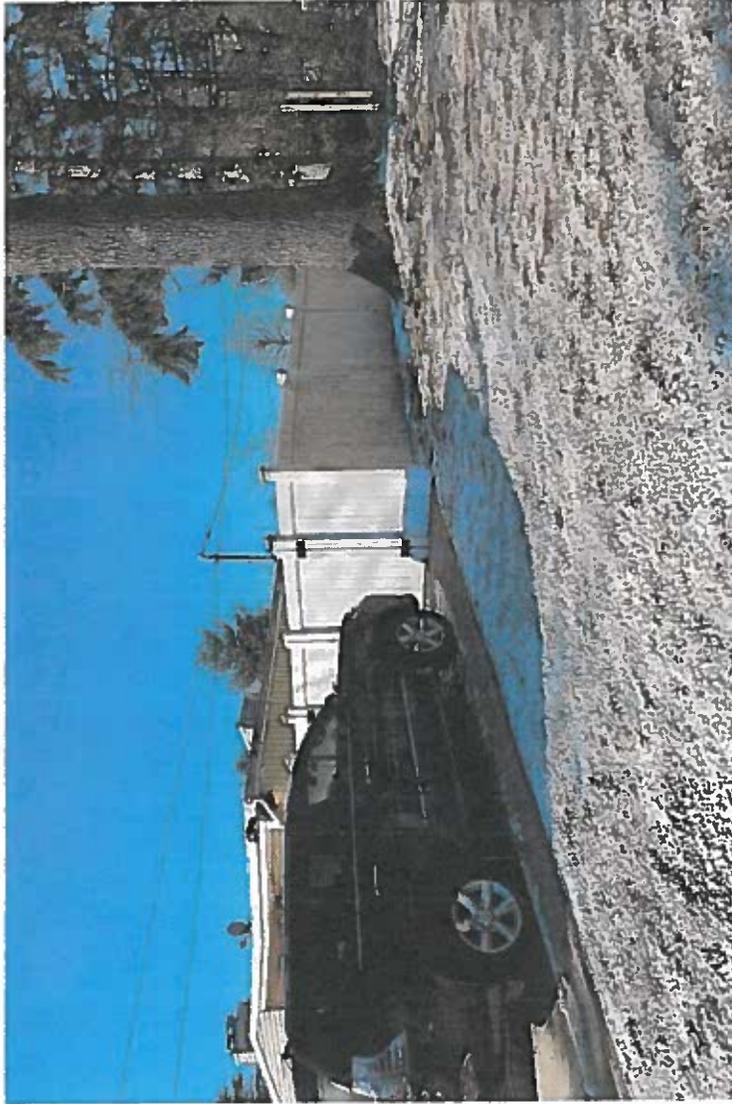


180 Wilson PLACE



CORNER Wilson  
AND Oakfield DVE .

RECEIVED  
2025 MAR 14 10:54 AM  
CLEVELAND  
VILLAGE

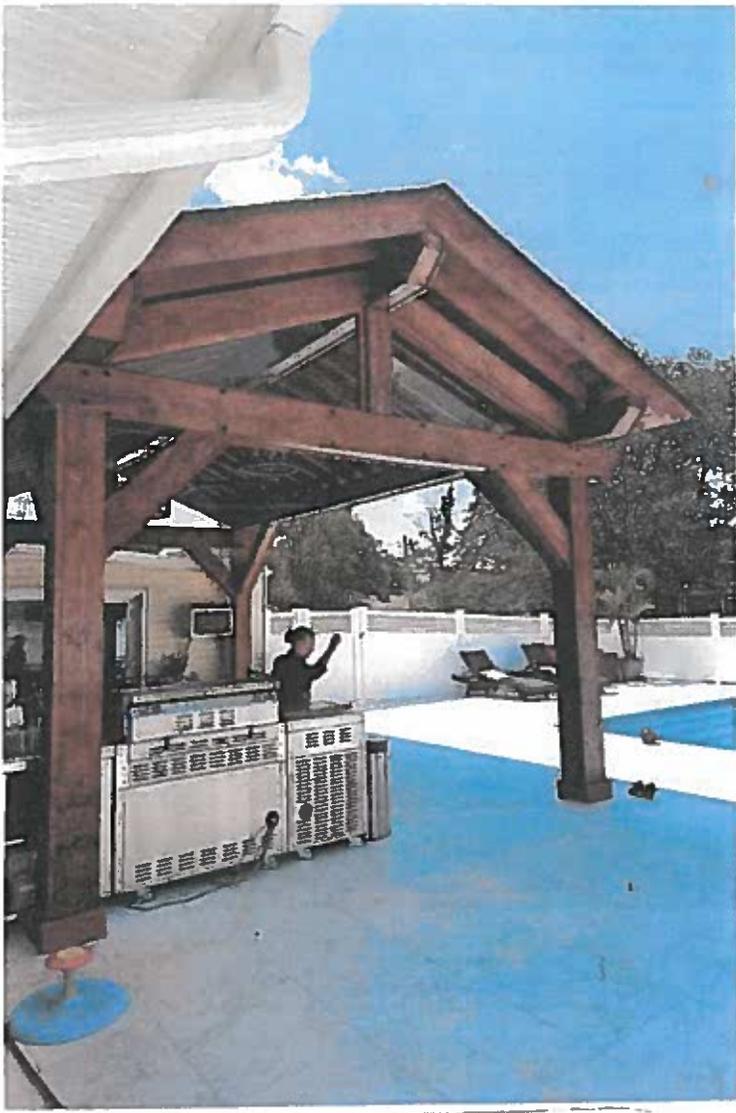


180 Wilson Place  
East Side Property

RECEIVED

2025 MAR -1 A 9 56

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



RECEIVED

2024 MAR -1 A 9 56

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

*Photo of  
Gazebo*

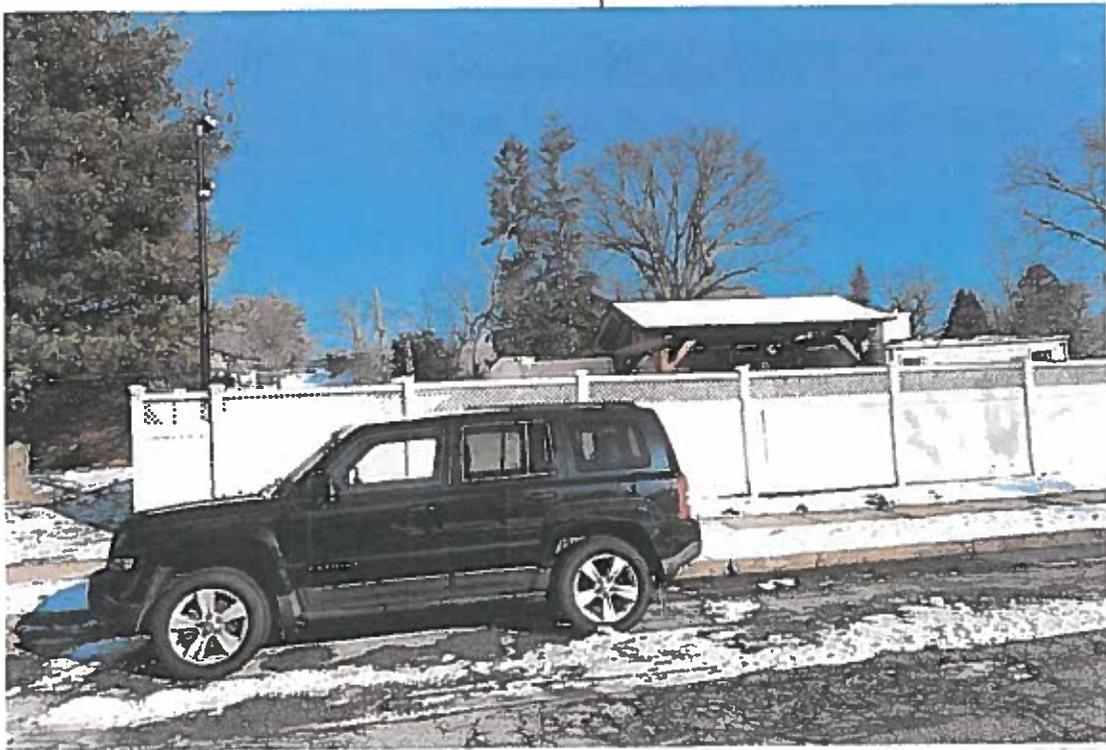


*Photo of  
Gazebo*



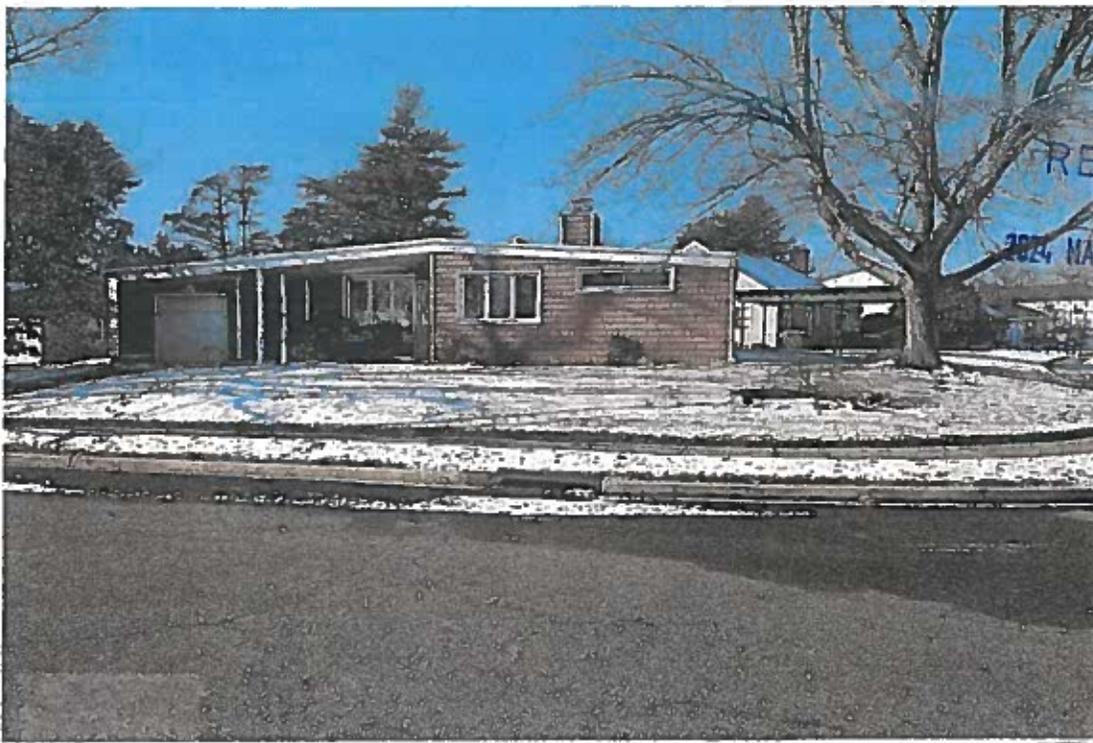
RECEIVED  
2024 MAR -1 A 9:56  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

SIDE  
VIEW  
CADOZBO



SIDE VIEW  
FROM STREET  
OAKFIELD  
AVE.

180 Wilson Pl.



RECEIVED

2024 MAR -11 A 9:56

CLERK'S OFFICE  
TOWN OF FREEDOM

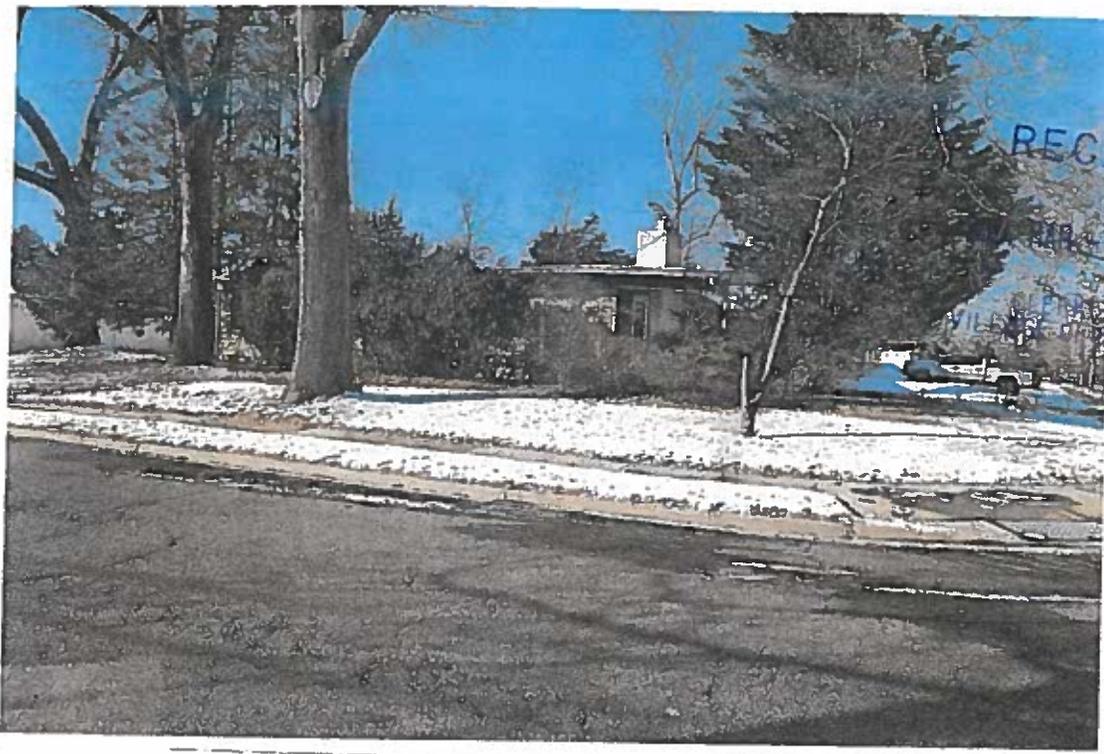
192

Wilson PLACE



ADJACENT  
PROPERTY  
OWNER.

10 OAKFIELD AVE.



RECEIVED

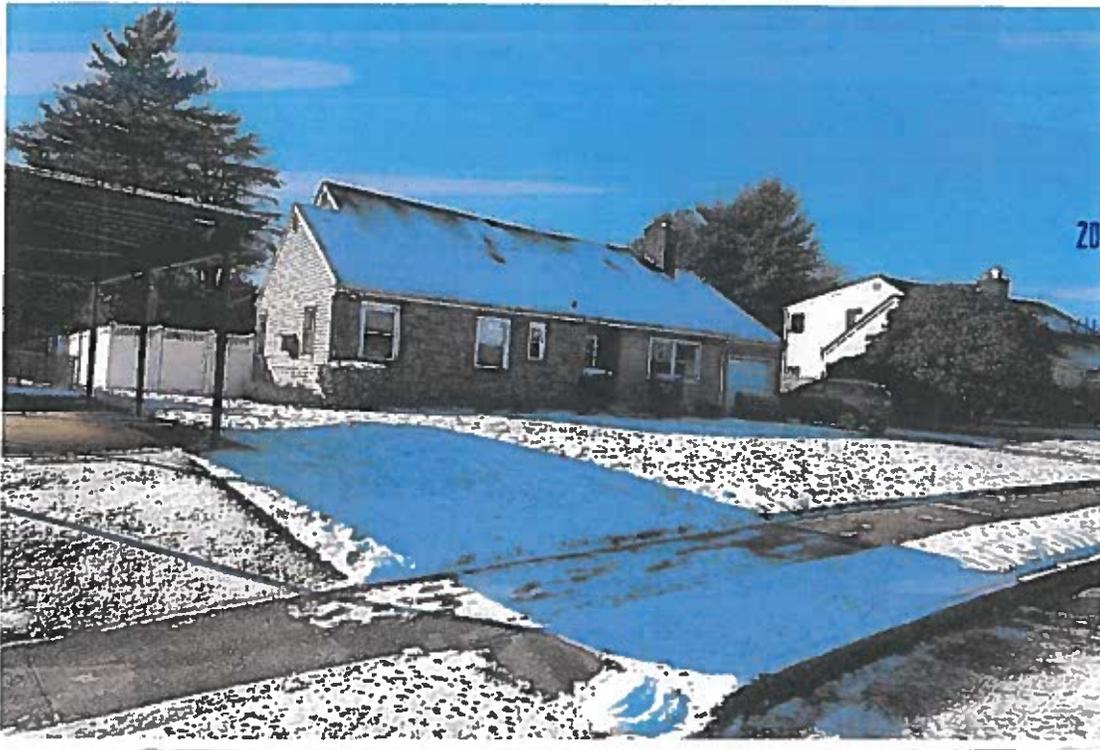
MAR 11 A 9 56

ADJACENT  
OFFICE  
REPORT NY  
PROPERTY  
OWNER.

56 VIRGINIA AVE.



VIEW  
FACING  
North  
VIRGINIA  
AVE.



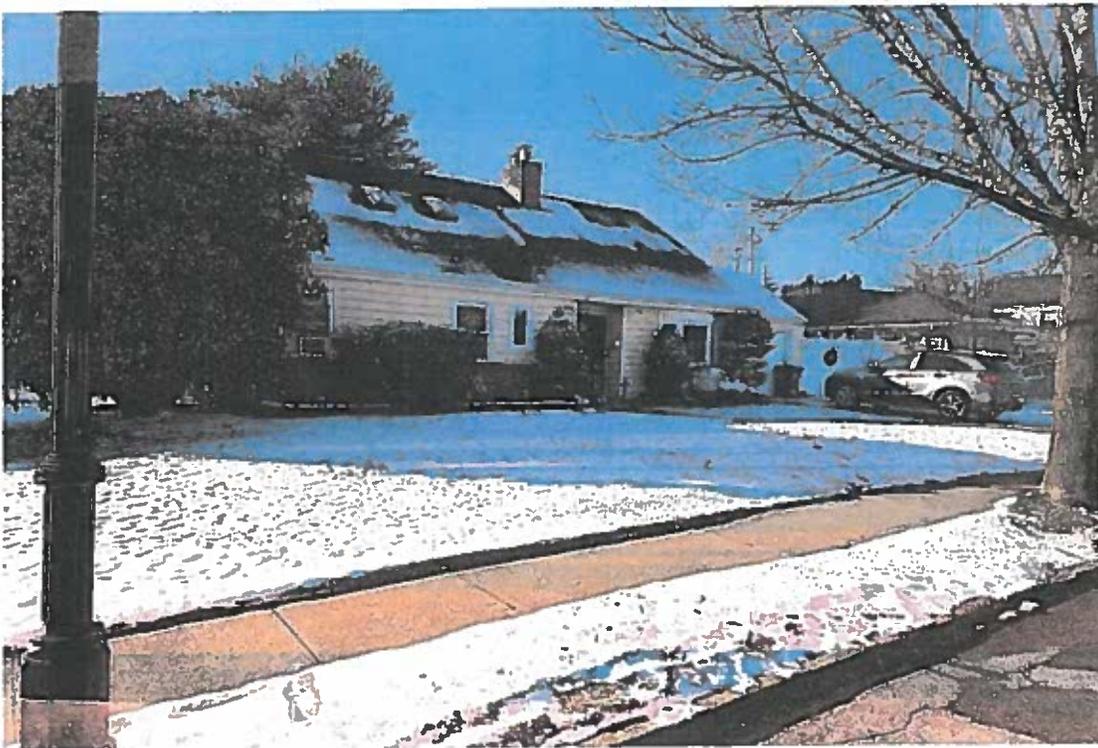
RECEIVED

2024 MAR -11 A 9:57

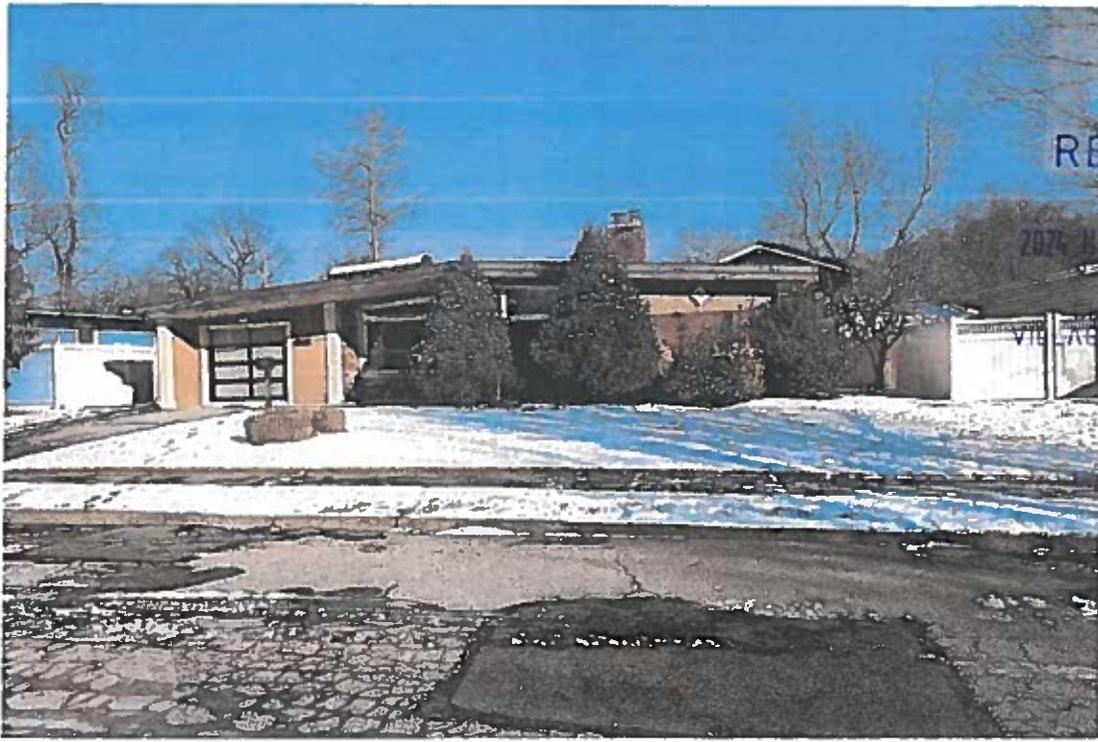
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

#7 Oakfield Ave.

Properties  
Across  
Subject  
Site on  
Oakfield  
Ave.



#11 Oakfield.

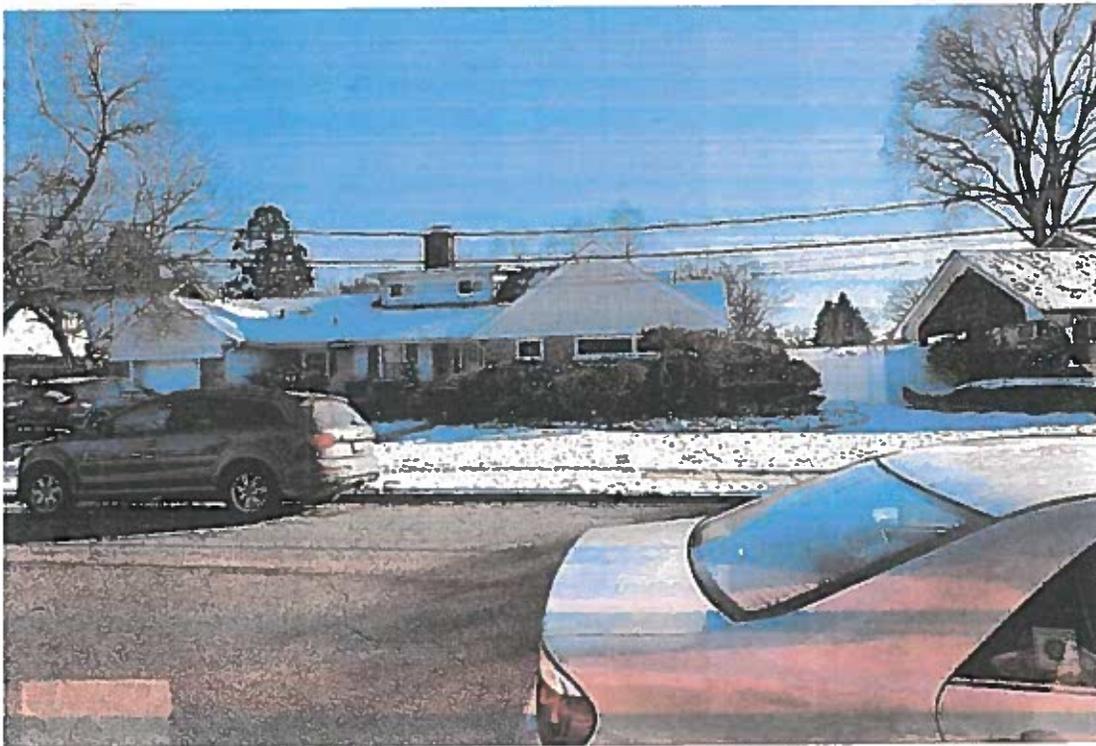


RECEIVED

2024 MAR -1 A 9:57

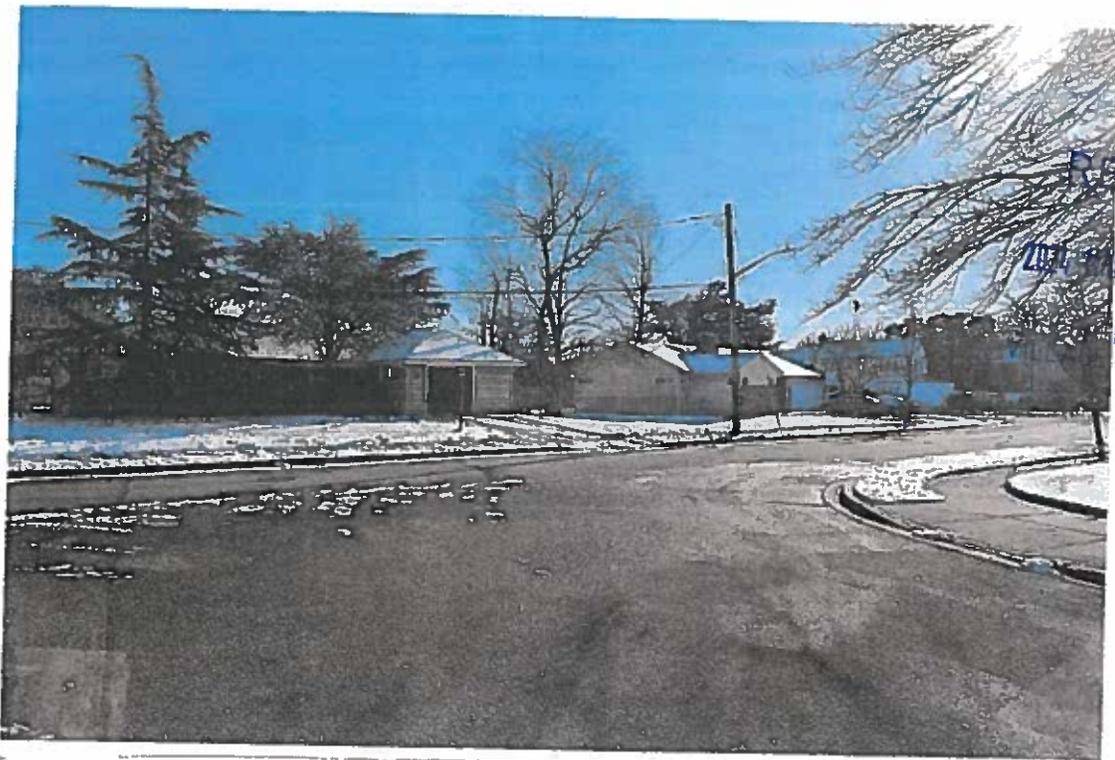
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

14 Oakfield Ave.



ACROSS  
SUBJECT  
SITE  
Wilson PL.

187 Wilson PLACE



RECEIVED

700 PAR-11A 957

MARK'S OFFICE ACROSS  
OF FREEPORT, NY

SUBJECT

Site.

191 Wilson PL.



NORTHEAST  
CORNER  
Wilson PL +  
Virginia  
Ave.

**MATERIAL LIST:**

**180 Wilson Place  
Freeport, N.Y.**

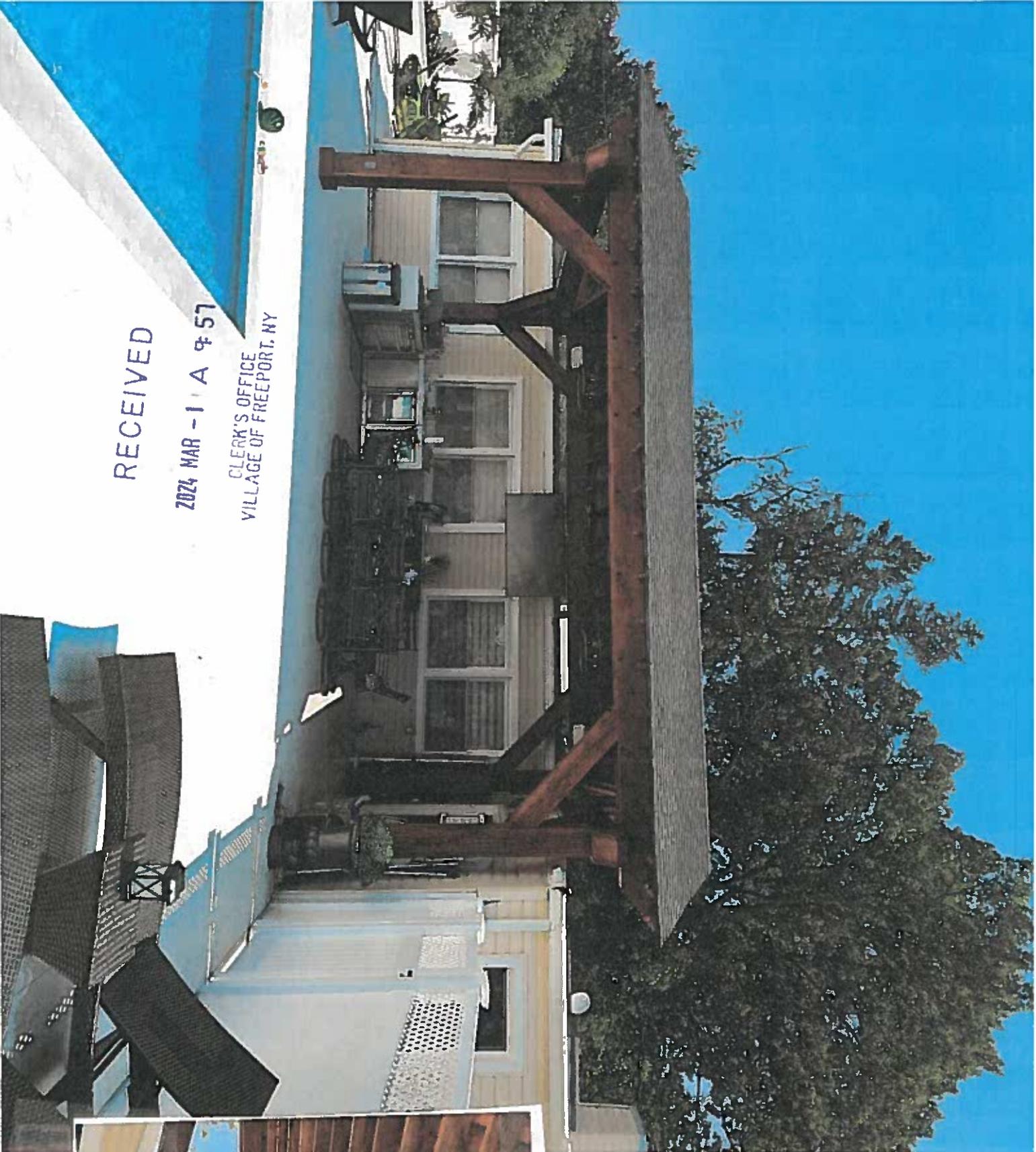
**Maintain Existing Gi**

**Columns: 8 x 8 Ced**

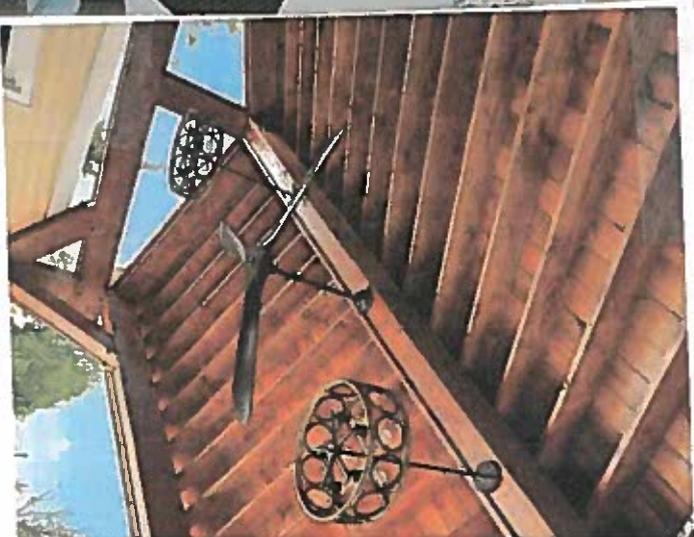
**All Exterior Framing**

**Roof: Royal Sovere  
Charcoal Gray**

**Window Inserts At f  
Clear Glass Fixed**

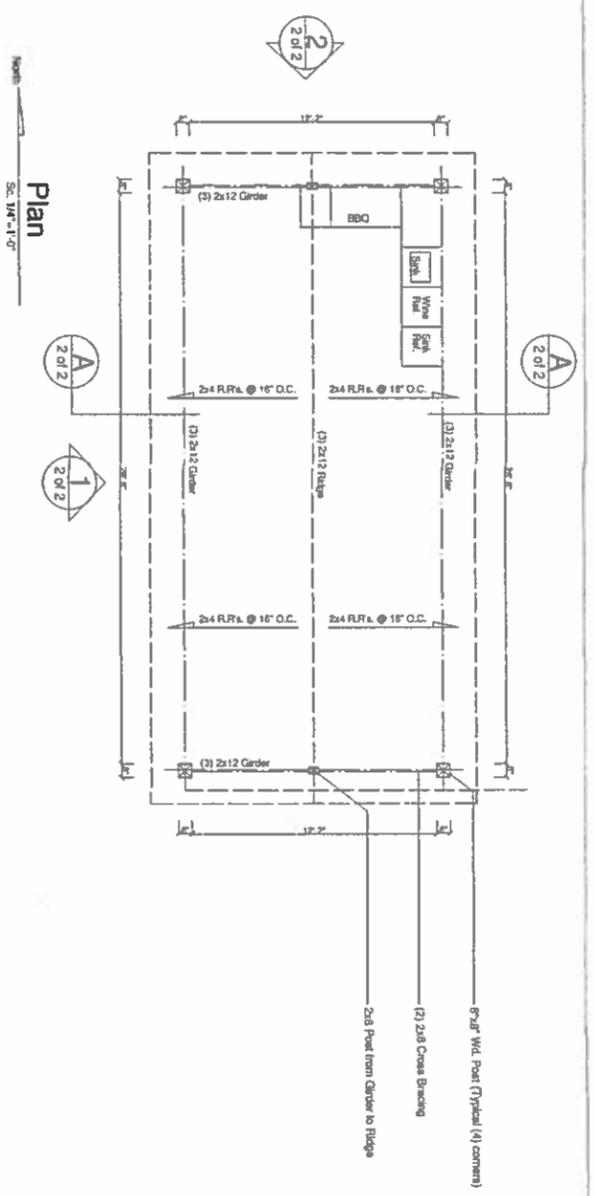


RECEIVED  
2024 MAR - 11 A 9 57  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

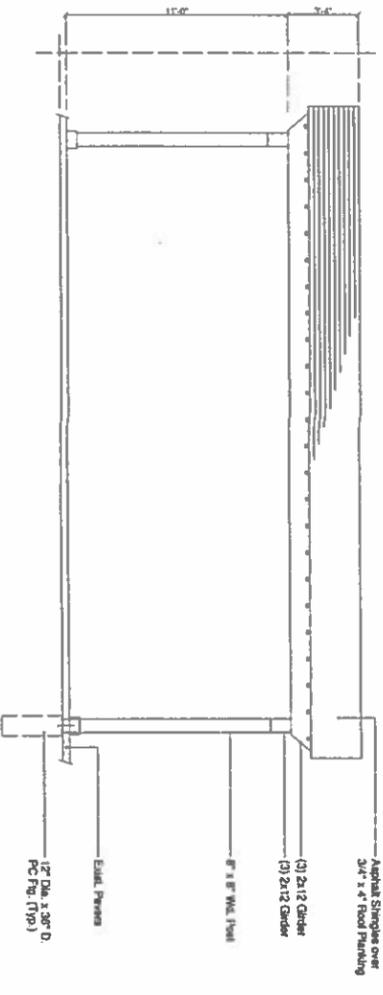


*INSIDE ROOF*

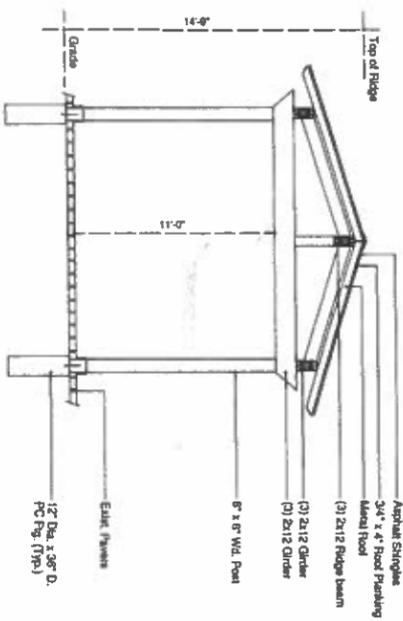




**Plan**  
 Scale: 1/4" = 1'-0"



**1 Elevation**  
 Scale: 1/4" = 1'-0"



**2 Elevation**  
 Section A-A  
 Scale: 1/4" = 1'-0"

85 & A 1 - MAR 7 2012  
 CLERK'S OFFICE  
 VILLAGE OF FREEPORT, NY

RECEIVED

Residence @  
 180 Wilson Place  
 Freeport, New York

Maintain Gazebo on Exist. Paver Patio



James Lerner, Architect  
 424 Madison Street, Westbury, N.Y. 11590  
 Tel. 516-676-6821  
 Email: jmlerner@yahoo.com

Maria J. Miro Design and Drafting  
 1002 Maricopa Ave.  
 N. Merrick, New York 11566  
 Tel. (516) 547-5251 Email: kandi@mjmd.com

Project	Maintain Gazebo on Exist. Paver Patio
Scale	as noted
Date	9/28/11
Drawn by	MMJ
Checked by	JL
Sheet No.	2 of 2

Application Date: 3/1/24  
Fees Paid: \$225

SP# 3711

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 428 Roosevelt Ave, Freeport ZONING DISTRICT RES A  
SECTION 62 BLOCK 156 LOT 756-757 LOT SIZE: 6500 SF

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Robert Bennett</u>	Name: <u>Jenny/Harry Randas</u>
Address: <u>8 West Merrick Rd</u> <u>Freeport, NY 11520</u>	Address: <u>428 Roosevelt Avenue</u> <u>Freeport, NY 11552</u>
Telephone #: <u>516-867-2036</u>	Telephone #: <u>646-823-4712</u>

Attorney Name: \_\_\_\_\_ Address: 428 Roosevelt Ave  
(optional) Phone #: \_\_\_\_\_ Freeport, NY 11520

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: Reconstruct rear decks C south end  
and middle portion house.

I request a preliminary meeting:  YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  
 YES  NO

[Signature]  
APPLICANT'S SIGNATURE  
Sworn to before me this 26<sup>th</sup>  
day of February, 2024  
[Signature]  
Notary Public

MIRIAM C PENA 2-26-24  
NOTARY PUBLIC, STATE OF NEW YORK DATE  
Registration No. 01PE4966944  
Qualified in Nassau County  
My Commission Expires: May 21, 2024

Property Owner's Consent:  
I, Jenny Randas am (are) the owner(s) of the subject property and consent to the filing of this application.

Jenny Randas 2-27-2024  
PROPERTY OWNER'S SIGNATURE DATE  
Sworn to before me this 27<sup>th</sup>  
day of February, 2024  
[Signature]  
Notary Public

[Signature]  
NOTARY PUBLIC - State of New York  
No. 01W0016538  
My Commission Expires November 2, 2024

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved <input type="checkbox"/> Denied <input type="checkbox"/> Date: _____
Planning Board Signature: _____	Date: _____

RECEIVED





**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**AMENDED SITE PLAN LETTER**  
**February 27, 2024**

Harry Ramdas  
428 Roosevelt Ave  
Freeport , NY 11520

**RE: 428 Roosevelt Ave, Freeport, NY**  
**Zoning District: Res A Sec 62 Blk 156 Lot 756**  
**Building Permit Application #20180686**

**Description- Construct rear deck after removal of south porch, reconstruct existing upper level rear deck in mid portion and rebuild rear deck at grade. Maintain existing 200.1 sf 2<sup>nd</sup> story addition and 37' x 6' stainless steel fence with brick piers.**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

*Sergio A. Mauras*

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

VILLAGE OF FREEPORT, NY  
CLERK'S OFFICE

2024 MAR - 1 - A 11:38

RECEIVED

c: Village Clerk  
ZBA Approval Needed: Yes  No

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20180686

Location: 428 Roosevelt Ave, Freeport, NY

Applicant: Harry Ramdas

Description: Construct rear deck after removal of south porch, reconstruct existing upper level rear deck in mid portion and rebuild rear deck at grade. Maintain existing 200.1 sf 2<sup>nd</sup> story addition and 37' x 6' stainless steel fence with brick piers.

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: February 27, 2024

VILLAGE OF FREEPORT, NY  
CLERK'S OFFICE  
8E : 11 A - 1 - 1787  
*Sergio A. Mauras*  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

**Part 1 - Project and Sponsor Information**

Name of Action or Project:

**KAMIDAS RESIDENCE**

Project Location (describe, and attach a location map):

**428 ROOSEVELT AVE FREEPORT NY 11520**

Brief Description of Proposed Action:

**ENCLOSED POOP OVER REAR DECK, ENCLOSED PORCH  
LEGALIZE FENCE, PIERS, 2ND STORY UNHEATED PORCH ENCL.**

Name of Applicant or Sponsor:

**James A Prisco AIA**

Telephone:

E-Mail:

Address:

**1100 Franklin Ave**

City/PO:

**Garden City, NY 11530**

**516-747-8200**

State:

Zip Code:

1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?

NO	YES
✓	

If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.

2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:

NO	YES
✓	

3.a. Total acreage of the site of the proposed action?

1.15 acres

b. Total acreage to be physically disturbed?

1.15 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?

1.15 acres

4. Check all land uses that occur on, adjoining and near the proposed action.

- Urban     Rural (non-agriculture)     Industrial     Commercial     Residential (suburban)  
 Forest     Agriculture     Aquatic     Other (specify):  
 Parkland

RECEIVED  
 DEC 11 2018  
 FREEPORT, NY  
 CLERK'S OFFICE  
 VILLAGE OF FREEPORT, NY

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
		✓	
b. Consistent with the adopted comprehensive plan?			
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
		✓	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	✓		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	✓		
b. Are public transportation service(s) available at or near the site of the proposed action?	✓		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	✓		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
		✓	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
		✓	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
		✓	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	✓		
	✓		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes; identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
		✓	
	✓		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input checked="" type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	✓		
16. Is the project site located in the 100 year flood plain?	NO	YES	
		✓	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	✓		

RECEIVED

CLERK'S OFFICE  
 VILLAGE OF FRENCH CREEK  
 2024 MAR - 11 A 11:39  
 RECEIVED

From  
 From

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: JAMES A PERISCO ARCHITECT Date: 12/7/2018  
 Signature: [Signature]

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

RECEIVED

DEC 11 2018

Freeport Library  
Freeport, NY

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

\_\_\_\_\_  
Name of Lead Agency

\_\_\_\_\_  
Date

\_\_\_\_\_  
Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
Title of Responsible Officer

\_\_\_\_\_  
Signature of Responsible Officer in Lead Agency

\_\_\_\_\_  
Signature of Preparer (if different from Responsible Officer)

RECEIVED

**INCORPORATED VILLAGE OF FREEPORT  
ZONING BOARD OF APPEALS DECISION**

**DATE: February 15, 2024**

**APPROVAL**

Building Department Permit Application #20180686

Chairman, regarding Application #2023-30 for the premises located at 428 Roosevelt Avenue, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-43A2 and C2, and 210-41 seeking approval to construct a rear deck after removal of south porch, reconstruct existing upper level rear deck in mid portion and rebuild rear deck at grade. Maintain existing 200.1 square foot second story addition.

I, Charles Hawkins move that this Board make the following findings of fact:

A public hearing was held on January 18, 2024 wherein applicant was represented by Robert Bennett, of RABCO Engineering. He explained that the lot coverage and setbacks remain as were previously existing. Applicant had to remove portions of the decks in order to reconstruct the bulkhead. Once the bulkhead was complete, applicant sought to reconstruct what had been temporarily removed. However, variances had never been granted for the deviations from the code. The total lot coverage is 38.2% and 30% is allowed. There is 57.9% floor area ratio and 50% is allowed.

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
  - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance. This is a reconstruction of what previously existed. Nothing new is being created.
  - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;
  - c. that the requested area variance is insubstantial;
  - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
  - e. that the alleged difficulty was not self-created. Applicant had to remove the deck to reconstruct the bulkhead and wish to rebuild what was existing.

RECEIVED

2. The Board, as lead agency, as determined that this action is a Type II action and under SEQRA and no further review is required.

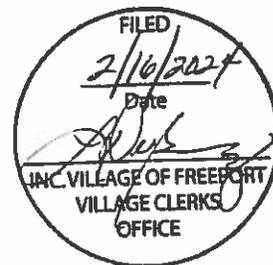
I further move that this application be granted subject to the following conditions:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.
3. This application for variance(s) is being granted on the basis of the specific use proposed. If anything in this application is to change, the applicant must return to the Board for further review.

Second by: Anthony Mineo

The Clerk polled the Board:

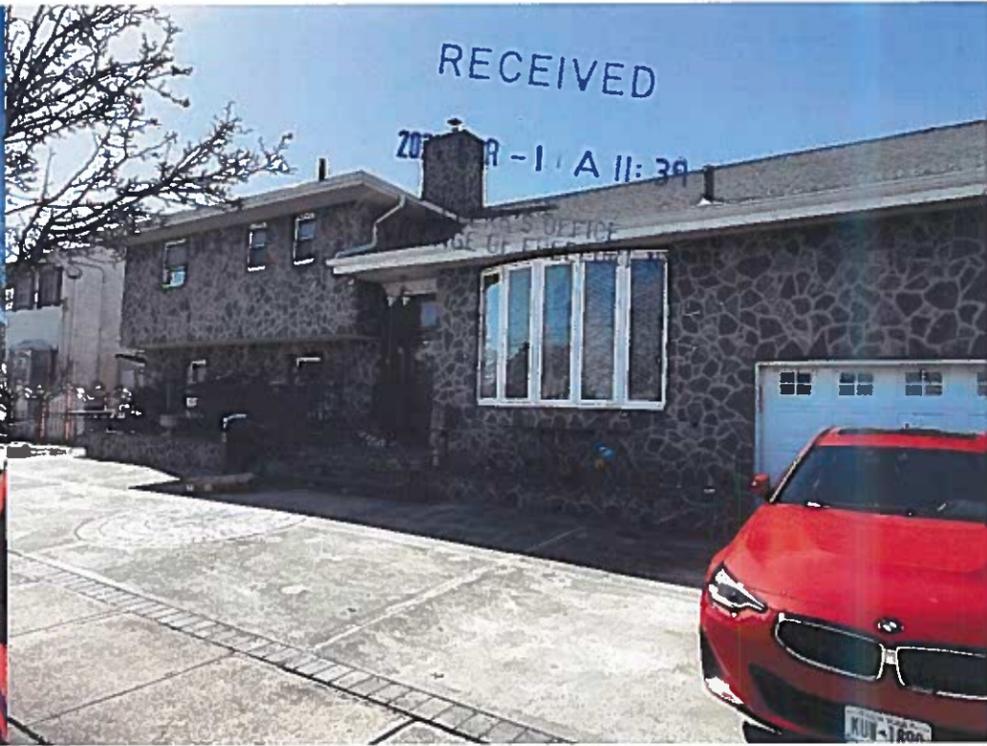
Deputy Carey	In Favor
Member Mineo	In Favor
Member Jackson	In Favor
Member Hawkins	In Favor



VILLAGE OF FREEPORT, NY  
CLERK'S OFFICE

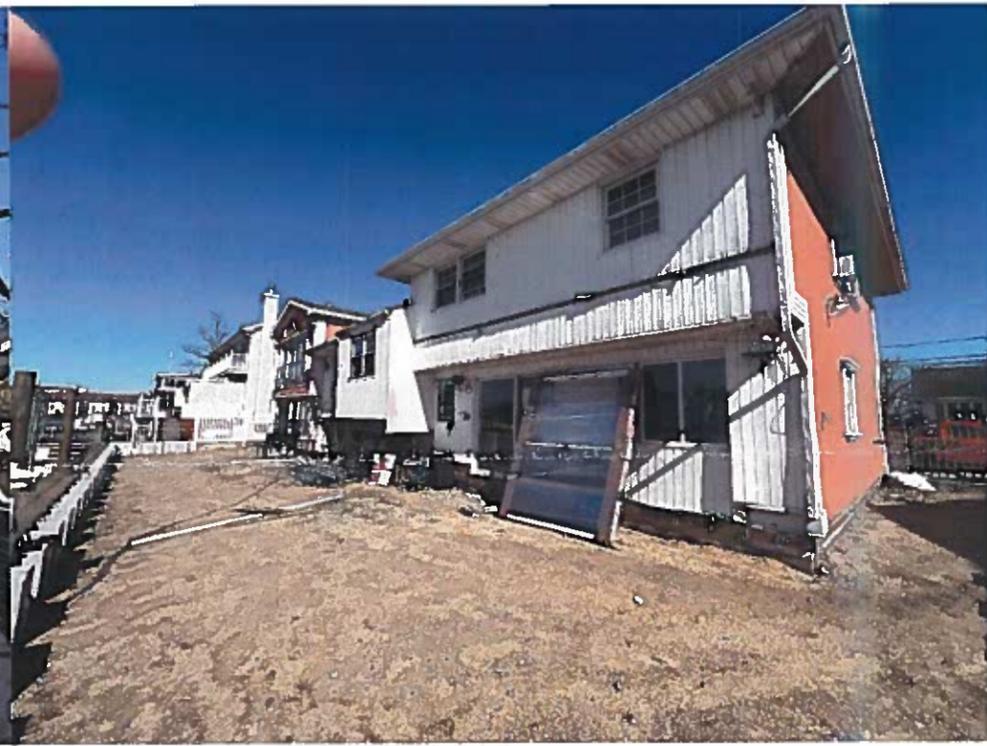
2024 MAR - 11 A 11:30

RECEIVED



Ramdas Residence/ (Subject home); 428 Roosevelt Avenue; Freeport, New York; Feburary 25, 2024; Front east face facade, looking northwest

Ramdas Residence/ (Subject home); 428 Roosevelt Avenue; Freeport, New York; Feburary 25, 2024; Front east face facade, looking west



Ramdas Residence/ (Subject home); 428 Roosevelt Avenue; Freeport, New York; Feburary 25, 2024; South side facade, looking north

Ramdas Residence/ (Subject home); 428 Roosevelt Avenue; Freeport, New York; Feburary 25, 2024; rear yard and new bulkhead looking north



Ramdas Residence/ (Subject home); 428 Roosevelt Avenue; Freeport, New York; Feburary 25, 2024; rear yard and new bulkhead looking south

Ramdas Residence/ (Subject home); 428 Roosevelt Avenue; Freeport, New York; Feburary 25, 2024; rear yard and west face facade looking southeast



Residence south of subject home at same side of street; 448 Roosevelt Avenue; Freeport, New York; February 25, 2024; Front east face facade, looking west

Residence immediately south of subject home at same side of street; 436 Roosevelt Avenue; Freeport, New York; February 25, 2024; Front east face facade, looking west



Residence immediately north of subject home at same side of street; 422 Roosevelt Avenue; Freeport, New York; February 25, 2024; Front east face facade, looking west

Residence north of subject home at opposite side of street; 409 Roosevelt Avenue; Freeport, New York; February 25, 2024; Front west face facade, looking east



Residence north of subject home at opposite side of street; 415 Roosevelt Avenue; Freeport, New York; February 25, 2024; Front west face facade, looking east

Residence south of subject home at opposite side of street; 427 Roosevelt Avenue; Freeport, New York; February 25, 2024; Front west face facade, looking east















To:

Village of Freeport  
Site Plan Review Planning Board

**RAMDAS Residence SITE PLAN review**

428 Roosevelt Avenue  
Freeport, New York

**Other Freeport Residences with Stainless Steel Railings**

**39 Harding Place**

**33 Overton Street**

**357 Miller Avenue**

**414 Miller Avenue**

RECEIVED  
2024 MAR 28 A 9:28  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY  
RAB 8-28-24

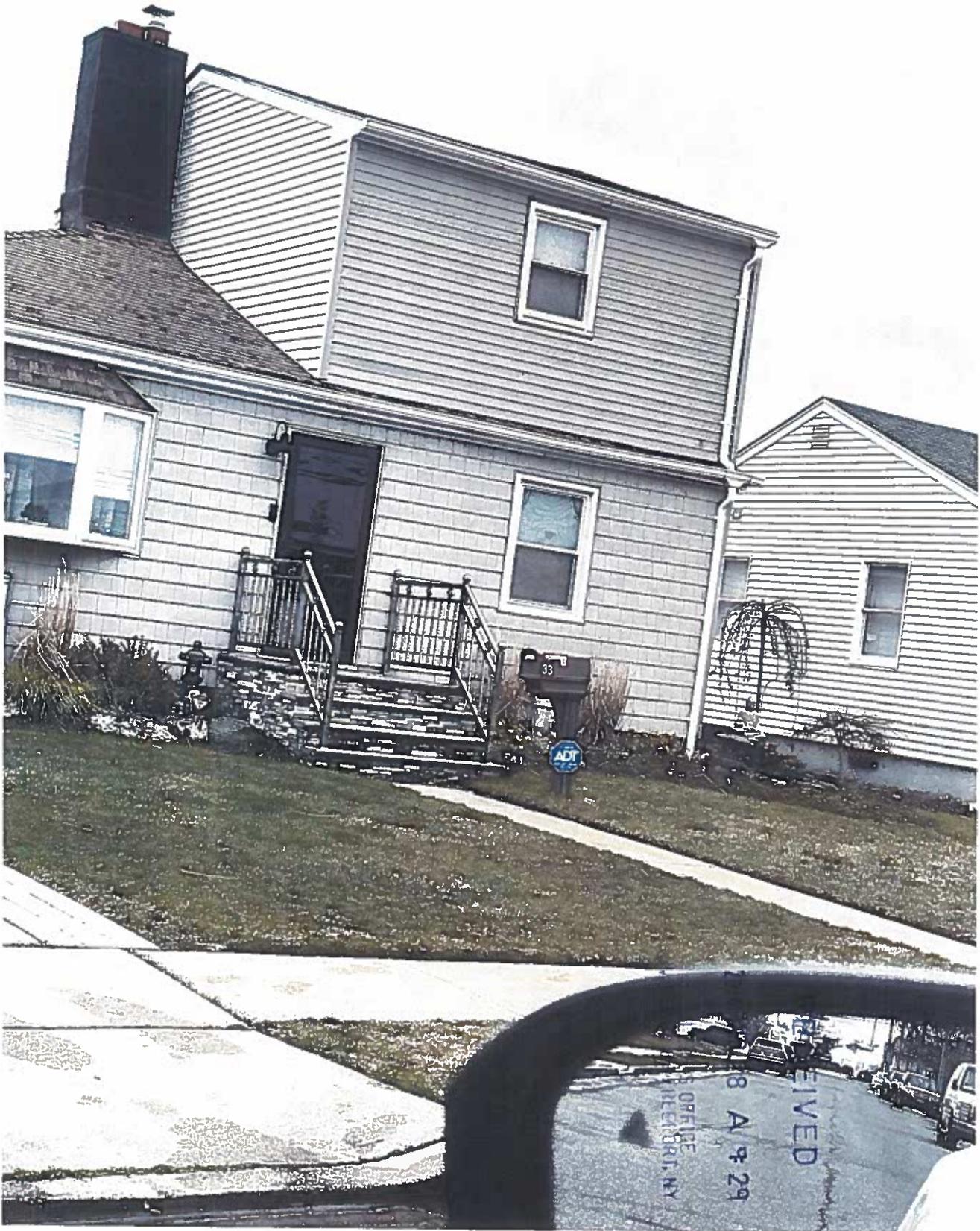
cc: Mrs. Jenny Ramdas; 428 Roosevelt Avenue; Freeport, New York



414 MILLER AVENUE  
FREEPORT



39 HARDING PLACE  
1-REPORT



33 Overton Street  
FREEPORT



RECEIVED  
CLARENCE ELLIOTT  
VILLAS OF FREEPORT, NJ  
2024 MAR 28 11:44:29

357 KILLER AVENUE  
FREEPORT



RECEIVED  
MAY 28 1978  
FBI - NEW YORK

39

HARDING PLACE  
- REPORT



RECEIVED  
MAR 28 A 9 28  
POLICE OFFICE  
FREEPORT, NY

33 Overton Street  
FREEPORT



2024 APR 28 A 4 28

RECEIVED 357 MILLER AVENUE  
FREEPORT



RECEIVED

414 MILLER AVENUE  
FREEPORT

Application Date: 3/6/2024  
 Fees Paid: 0725.00

SP# 3714

**INCORPORATED VILLAGE OF FREEPORT  
 SITE PLAN REVIEW APPLICATION  
 PLANNING BOARD**

**NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION**

PROPERTY ADDRESS: 338 Westside Ave ZONING DISTRICT Residence A  
 SECTION 62 BLOCK 066 LOT 251 LOT SIZE: \_\_\_\_\_

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	<u>PROPERTY OWNER</u>
Name: <u>Bharat Ganesh H</u>	Name: <u>BHARAT GANESH</u>
Address: <u>338 Westside Ave Freeport NY 11520</u>	Address: <u>338 Westside Ave Freeport NY 11520</u>
Telephone #: <u>347-757-2994</u>	Telephone #: <u>347-757-2994</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
 (optional) Phone #: \_\_\_\_\_

Present Land Use: residential Proposed Land Use: residential

Description of Proposed Work: Maintain Backyard as Asphalt and expanded driveway. Driveway 23x75

I request a preliminary meeting: \_\_\_\_\_ YES  NO

I request a waiver of the public hearing and hereby certify the following:  
 A. The subject property is zoned Residence A or Residence AA.  
 B. The proposed construction is not a new building or dwelling.  
 C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

\_\_\_\_\_  
 APPLICANT'S SIGNATURE PEGGY M. LESTER YES  NO \_\_\_\_\_  
 Sworn to before me this 20<sup>TH</sup> day of SEPTEMBER 2023 Notary Public, State of New York  
Peggy M. Lester No. 01LE6293122  
 Notary Public Commission Expires Nov. 25, 2025 DATE 09/20/23

**Property Owner's Consent:**  
 I, BHARAT GANESH am (are) the owner(s) of the subject property and consent to the filing of this application.

\_\_\_\_\_  
 PROPERTY OWNER'S SIGNATURE PEGGY M. LESTER DATE 09/20/23  
 Sworn to before me this 20<sup>TH</sup> day of SEPTEMBER 2023 Notary Public, State of New York  
Peggy M. Lester No. 01LE6293122  
 Notary Public Commission Expires Nov. 25, 2025

RECEIVED  
 2024 MAR - 11 A 11 26  
 CLERK'S OFFICE  
 VILLAGE OF FREEPORT, NY

**FOR VILLAGE USE ONLY**

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**UPDATED SITE PLAN LETTER**  
**March 6, 2024**

**Bharat Ganesh**  
338 Westside Ave  
Freeport, NY 11520

**RE: 338 Westside Avenue, Freeport, NY 11520**  
**Zoning District: Residence A Sec 62, Blk 066, Lot 251**  
**Building Permit Application #20233397**  
**Description: Maintain backyard as asphalt (Blacktop) (1,125sqft) and expanded driveway (1,725)**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes\_\_ No\_x

VILLAGE OF FREEPORT, NY  
CLERK'S OFFICE  
2024 MAR -6 11:29  
RECEIVED

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20233397

Location: 338 Westside Ave, Freeport NY 11520

Applicant: Bharat Gasesh

Description : Maintain backyard as asphalt (Blacktop) and expanded

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: March 6, 2024

*Sergio A. Murras*

Sergio A. Murras  
Superintendent of Buildings

RECEIVED

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form

RECEIVED

JUL 21 2023

FREEPORT BUILDING DEPT.

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: Bharat Ganesh Asphalt (Black Top)							
Project Location (describe, and attach a location map): Backyard & Driveway As Asphalt							
Brief Description of Proposed Action: <div style="text-align: right; margin-right: 20px;">75x23</div> MAINTAIN BACKYARD ASPHALT → 1,125 sqft <div style="text-align: right; margin-right: 20px;">45x25</div> AND EXPANDED DRIVEWAY → 1,725 sqft							
Name of Applicant or Sponsor: BHARAT GANESH		Telephone: 347-757-2994					
Address: 33B Westside Ave		E-Mail: Bharatganesh94@gmail.com					
City/PO: Freeport		State: NY	Zip Code: 11520				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="font-size: 2em;">X</td> <td></td> </tr> </table>	NO	YES	X	
NO	YES						
X							
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="font-size: 2em;">X</td> <td></td> </tr> </table>	NO	YES	X	
NO	YES						
X							
3.a. Total acreage of the site of the proposed action?		_____ acres					
b. Total acreage to be physically disturbed?		_____ acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

RECEIVED

		NO	YES	N/A
5. Is the proposed action,				
a. A permitted use under the zoning regulations?				X
b. Consistent with the adopted comprehensive plan?				X
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?			NO	YES
		X		X
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____			NO	YES
		X		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?			NO	YES
		X		
b. Are public transportation service(s) available at or near the site of the proposed action?				
		X		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?				
		X		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____			NO	YES
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? If No, describe method for providing potable water: _____] <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES			NO	YES
		X		
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? If No, describe method for providing wastewater treatment: _____] <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES			NO	YES
		X		
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?			NO	YES
		X		
b. Is the proposed action located in an archeological sensitive area?				
		X		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?			NO	YES
		X		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____				
		X		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:				
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?			NO	YES
		X		
16. Is the project site located in the 100 year flood plain?			NO	YES
		X		X
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,			NO	YES
a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES				
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____				

RECEIVED  
JUL 21 2023  
FREEPORT BUILDING

RECEIVED

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input type="checkbox"/>	<input type="checkbox"/>
_____		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Bhoroj Ganesh</u>	Date: <u>7/20/23</u>	
Signature: <u>[Signature]</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

RECEIVED  
 JUL 7 1 2023  
 FREEPORT BUILDING DEPT.

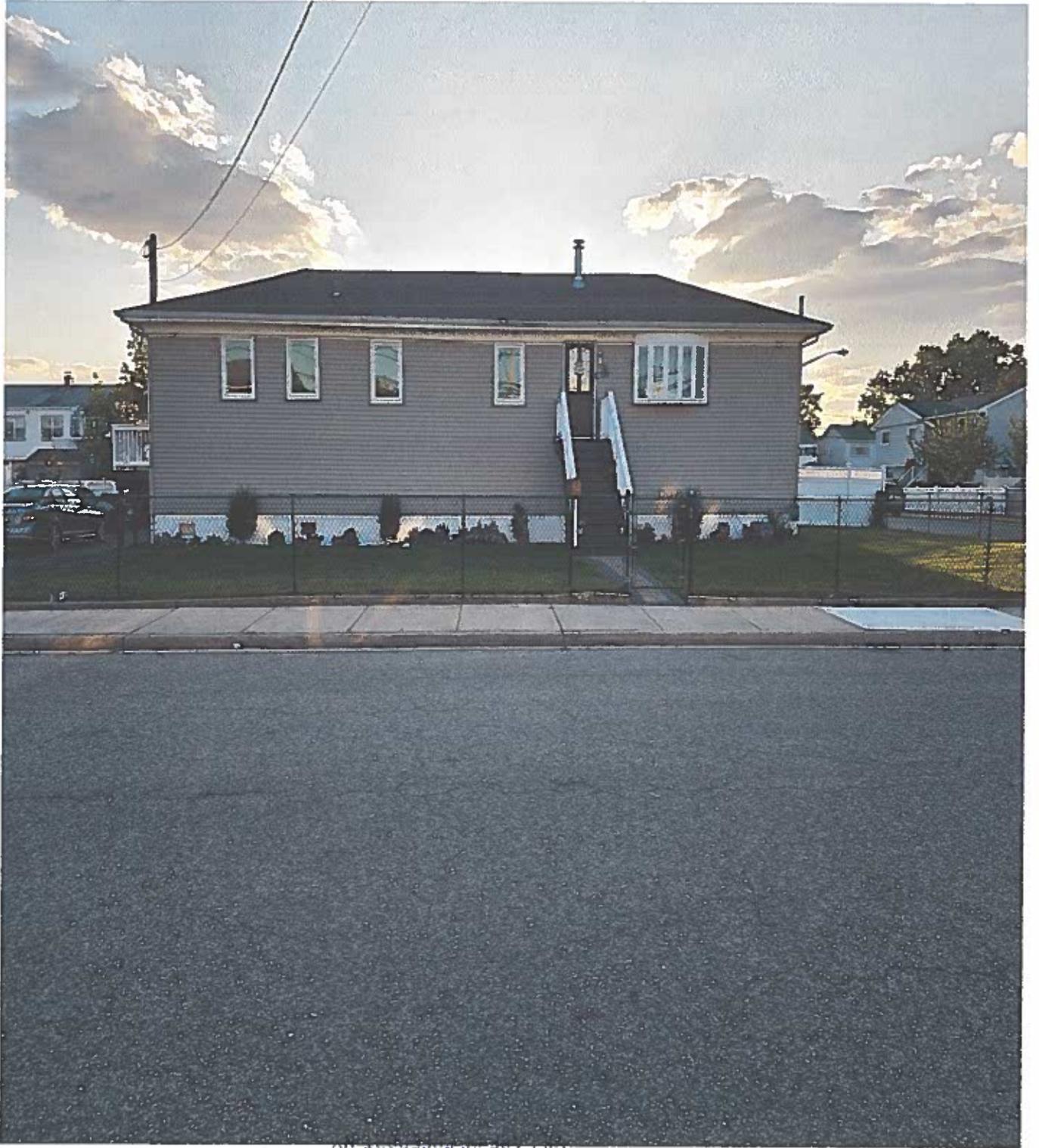
	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
<u>Bhorat Gunesht</u>	<u>7/20/2023</u>
Name of Lead Agency	Date
<u></u>	<u></u>
Print or Type Name of Responsible Officer in Lead Agency	Clerk's Office Village of Freeport, NY
<u></u>	2023 MAR - 6 11: 27
Signature of Responsible Officer in Lead Agency	Title of Responsible Officer
<u></u>	Signature of Preparer (if different from Responsible Officer)

RECEIVED

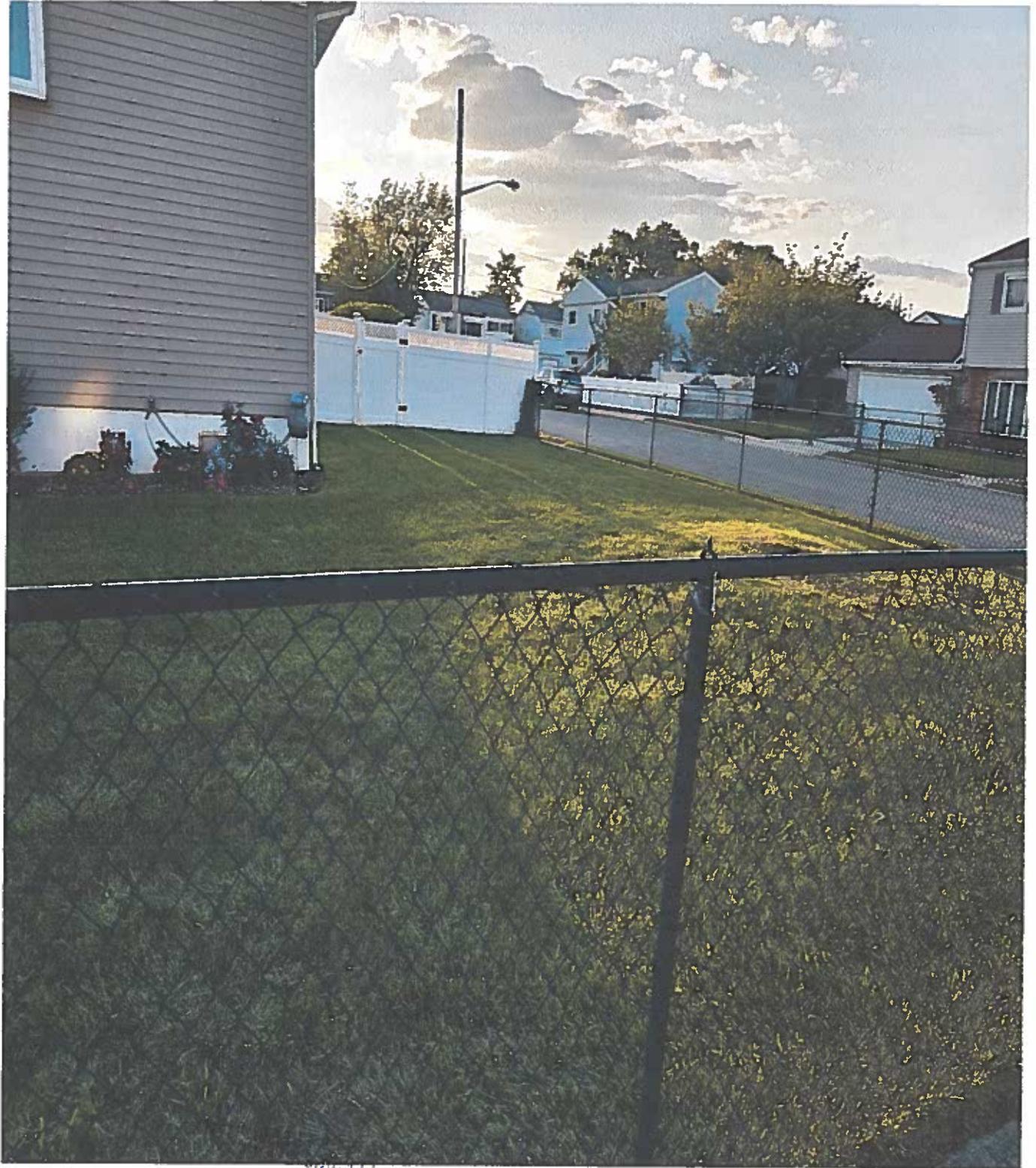




CLERK'S OFFICE

2024 MAR -6 11: 27

RECEIVED



2024 MAR -6 A 11: 27

RECEIVED

RECEIVED

2024 MAR -6 A 11: 21

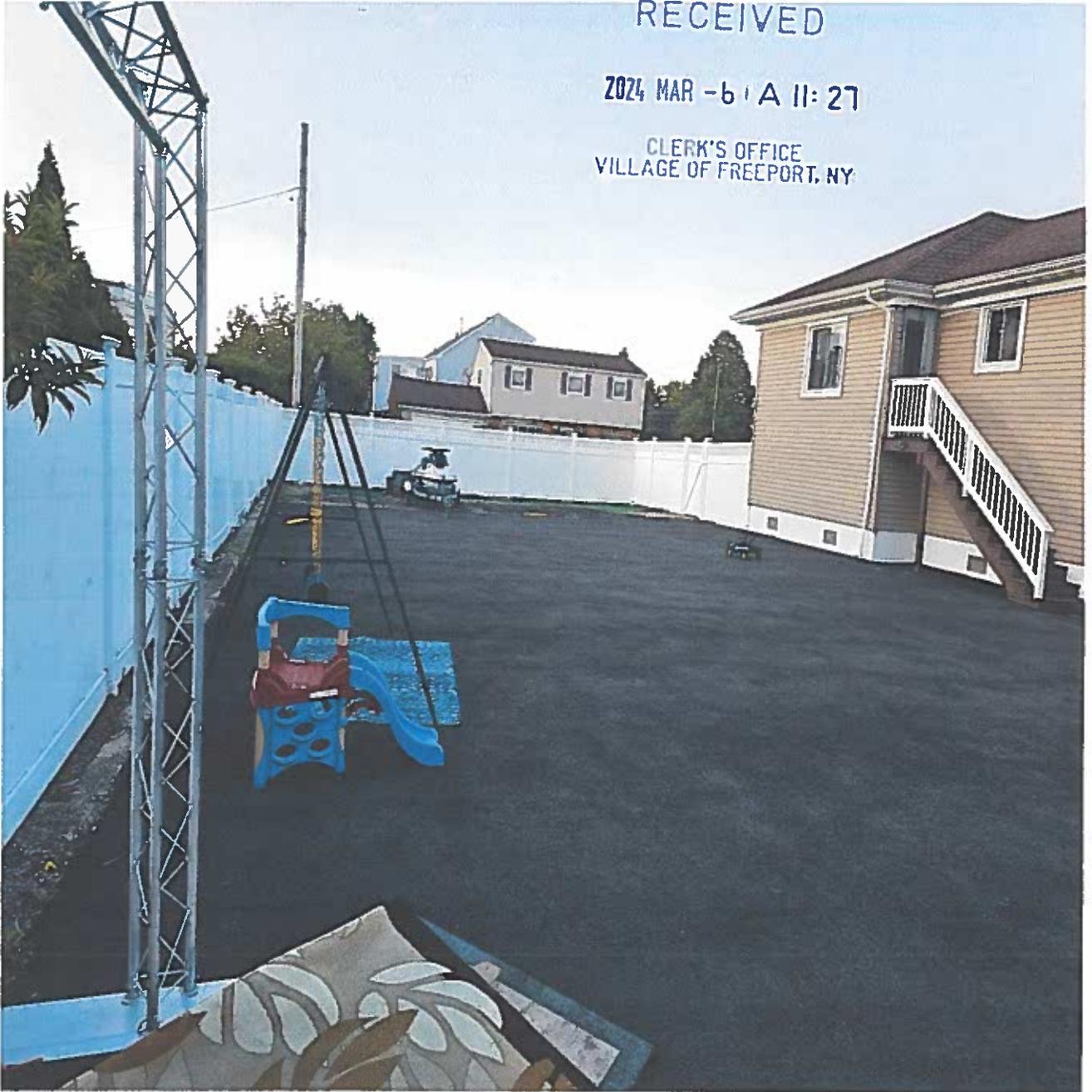
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

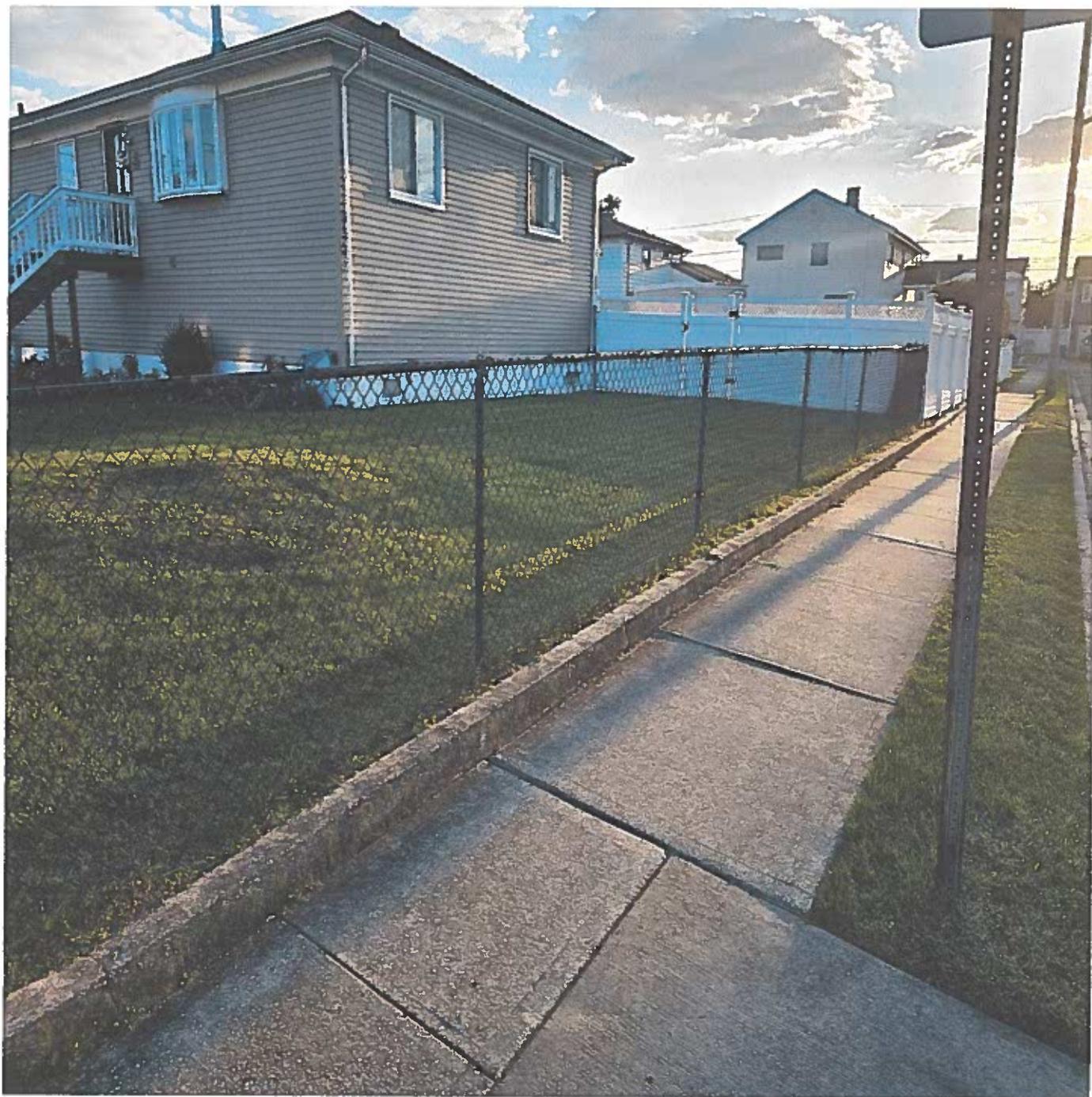


RECEIVED

2024 MAR -6 | A 11:27

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

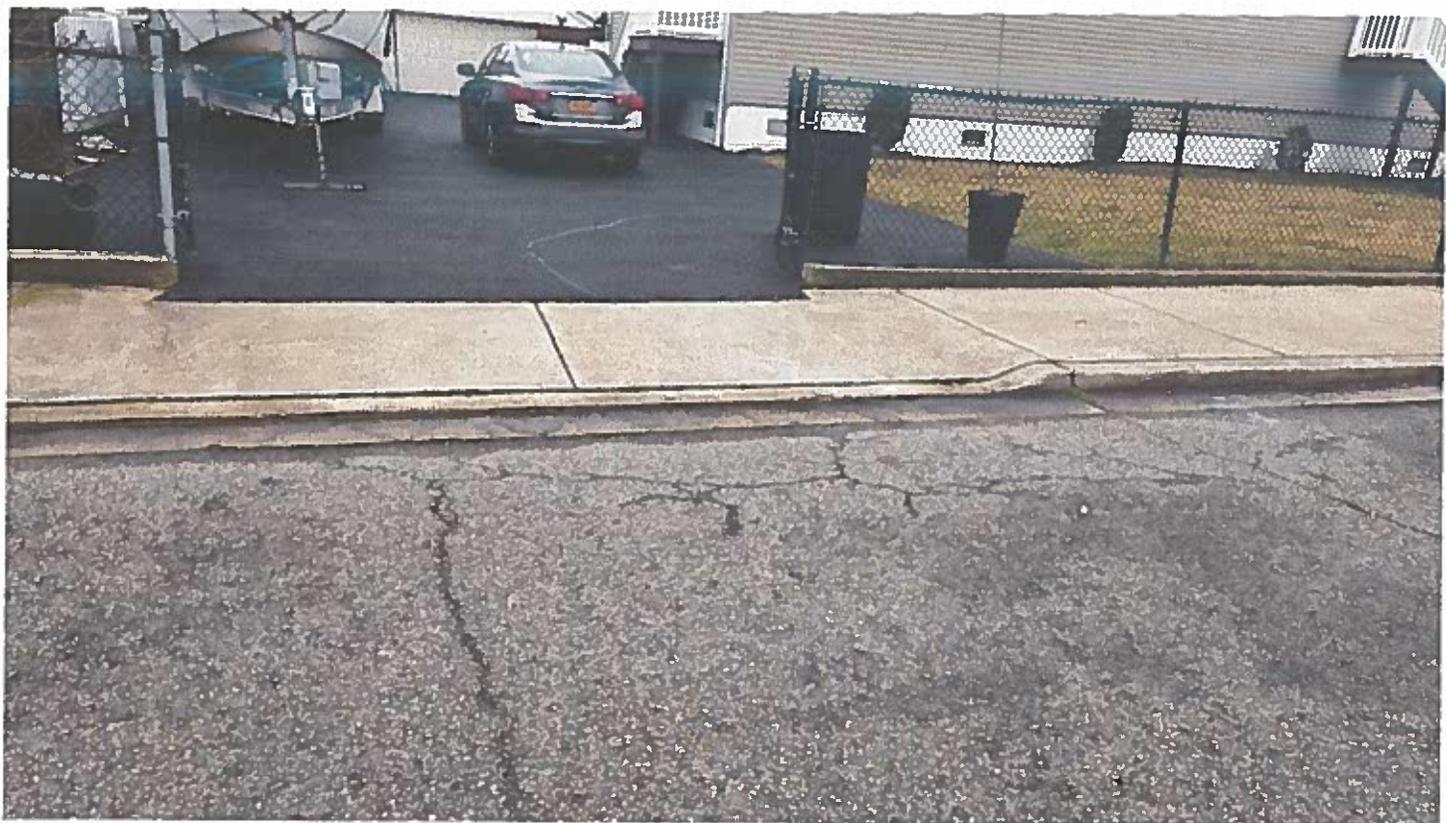




VILLAGE OF FREEPORT, NY  
CLERK'S OFFICE

2024 MAR -6 A 11: 27

RECEIVED



VILLAGE OF FREEPORT, NY  
CLERK'S OFFICE

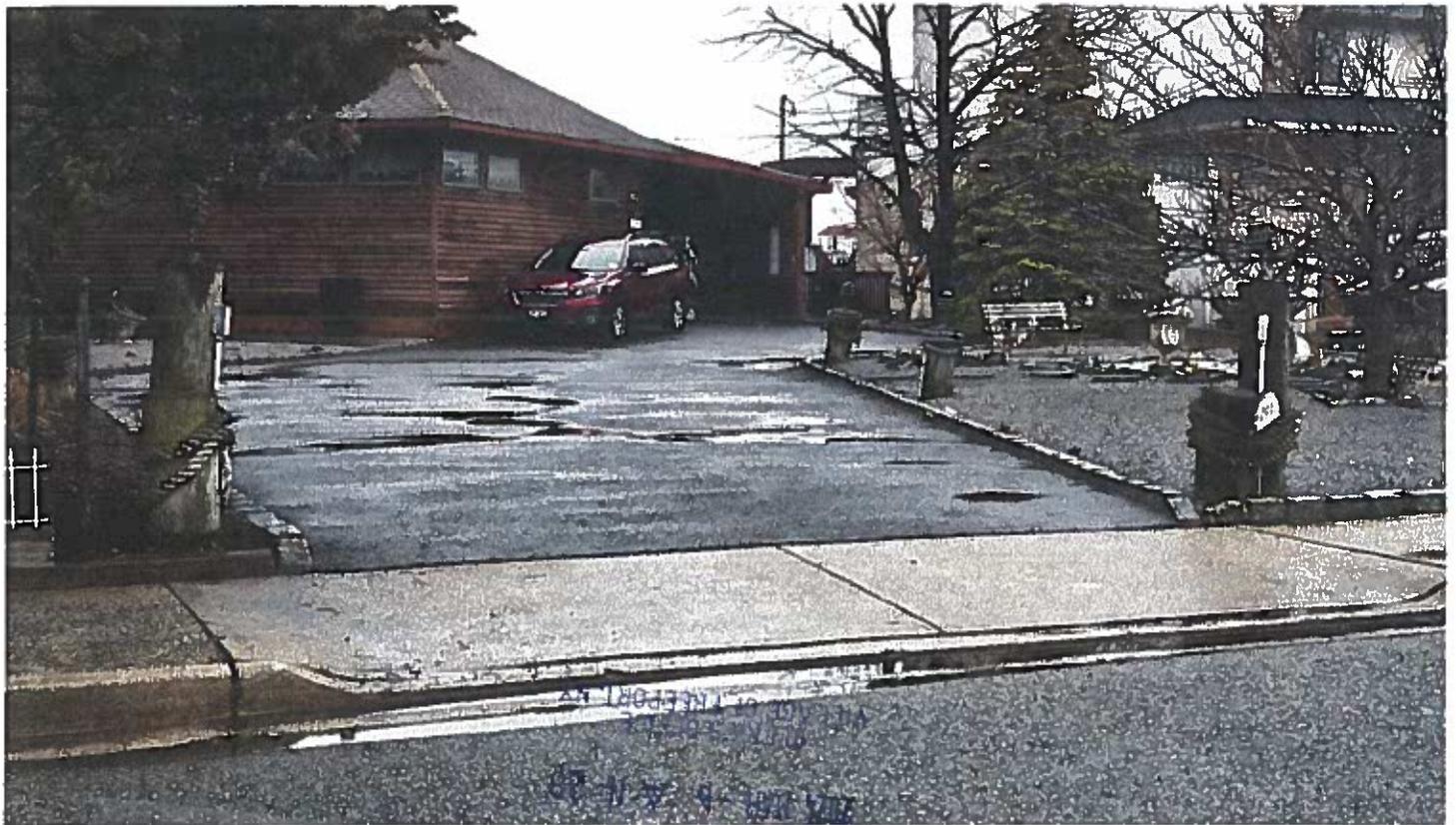
2025 MAR -6 A 11: 28

RECEIVED





RECEIVED



RECEIVED



RECEIVED

Application Date: 3/19/24  
 Fees Paid: \$ 225.00

SP# 3717

**INCORPORATED VILLAGE OF FREEPORT  
 SITE PLAN REVIEW APPLICATION  
 PLANNING BOARD**

**NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION**

PROPERTY ADDRESS: 328 Archer St Freeport ZONING DISTRICT RES AA  
 SECTION U2 BLOCK 134 LOT 213 LOT SIZE: 11,373 s.f.

<input checked="" type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER	
Name: <u>MARK ANTHONI MUNISTERI</u>			Name: <u>DR RAUCHER</u>	
Address: <u>1563 Bellmore Avenue</u> <u>Bellmore, NY 11710</u>			Address: <u>328 Archer St</u> <u>Freeport, NY 11520</u>	
Telephone #: <u>516 4091900</u>			Telephone #: <u>747-363-8626</u>	

N/A

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
 (optional) Phone #: \_\_\_\_\_

Present Land Use: existing 1 1/2 story frame dwelling 1-family Proposed Land Use: existing dwelling for one family

Description of Proposed Work: proposed partial 2nd story addition proposed 1st floor interior alterations - proposed attached garage

I request a preliminary meeting: ~~YES~~  NO

I request a waiver of the public hearing and hereby certify the following:  
 A. The subject property is zoned Residence A or Residence AA.  
 B. The proposed construction is not a new building or dwelling.  
 C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  YES \_\_\_\_\_ NO

[Signature]  
 APPLICANT'S SIGNATURE  
 Sworn to before me this 16 day of FEB, 2024  
Ashley Rachel Lowe  
 Notary Public

ASHLEY RACHEL LOWE  
 Notary Public - State of New York  
 No. 01LO8429111  
 Qualified in Nassau County  
 My Commission Expires 02/07/2026

VILLAGE CLERK'S OFFICE  
 INCORPORATED VILLAGE OF FREEPORT, NY  
 2024 MAR 19 PM 3:10  
 RECEIVED

Property Owner's Consent: I, DR RAUCHER am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]  
 PROPERTY OWNER'S SIGNATURE 2/16/2024 DATE  
 Sworn to before me this 16 day of February, 2024  
Ashley Rachel Lowe  
 Notary Public

ASHLEY RACHEL LOWE  
 Notary Public - State of New York  
 No. 01LO8429111  
 Qualified in Nassau County  
 My Commission Expires 02/07/2026

**FOR VILLAGE USE ONLY**

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
Planning Board Signature: _____	Date: _____

## SUBMISSION CHECKLIST

YES      NO      N/A

\_\_\_\_\_    \_\_\_\_\_   

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_   

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_   

\_\_\_\_\_    \_\_\_\_\_   

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_   

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_   

\_\_\_\_\_    \_\_\_\_\_   

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_     \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_   

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_   

\_\_\_\_\_    \_\_\_\_\_   

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_   

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_   

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_   

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_   

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_   

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

\_\_\_\_\_    \_\_\_\_\_   

\_\_\_\_\_    \_\_\_\_\_    \_\_\_\_\_

1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only).
2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.
3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:
  - a. Title of drawing, including name and address of applicant.
  - b. North point, scale, and date.
  - c. Boundaries of the project.
  - d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
  - e. Floodplain boundaries as determined by the Federal Emergency Management Agency.
  - f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.
  - g. Location of outdoor storage and description of materials to be stored.
  - h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
  - i. Location and description of all proposed waterfront public access/recreation provisions.
  - j. Description of sewage disposal and water supply systems and locations of such facilities.
  - k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
  - l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
  - m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
  - n. Location, design and size of all signs and lighting facilities.
  - o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
  - p. Building orientation and site design for energy efficiency and visual quality.
  - q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
  - r. Description and location of erosion control measures including proposed location of sediment sink/setting pond and interceptor swales, etc..
  - s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
  - t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.
  - u. Estimated project construction schedule.
  - v. Record of application for approval status of all necessary permits from federal, state and county officials.
  - w. Identification of any federal, state or county permits required for project execution.
  - x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.



RECEIVED

2024 MAR 19 P 3:10

**INC. VILLAGE OF FREEPORT**

**Department of Buildings**  
46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**  
February 8, 2024

Or Raucher  
328 Archer St  
Freeport, NY 11520

**RE: 328 Archer St Freeport, NY 11520**  
**Zoning District – Residence AA Sec. 62 Blk. 134, Lot 213**  
**Building Permit Application #20243626**  
**Description– Proposed partial 2<sup>nd</sup> floor story addition (701 Sq Ft) proposed 1<sup>st</sup> floor interior alterations, proposed attached garage.**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes\_\_ No\_X\_

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

RECEIVED

2024 MAR 19 P 3: 10

Notice

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY  
Positive Declaration

X Negative Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project : Building Permit App. 20243626

Location: 328 Archer St Freeport, NY 11520

Applicant: Or Raucher

Description: Proposed partial 2<sup>nd</sup> floor story addition (701 Sq Ft) proposed 1<sup>st</sup> floor interior alterations, proposed attached garage.

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

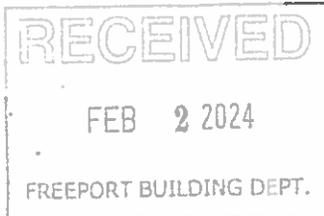
B) Possible environment effects identified:  
(only if positive determination)

Dated: February 8, 2024

Sergio A. Mauras

Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.



617.20 Appendix B Short Environmental Assessment Form

RECEIVED

2024 MAR 19 P 3:10

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: Raucher Residence			
Project Location (describe, and attach a location map): 328 Archer Ave, Freeport, NY, 11520 - North of Archer street - 204' West of Roosevelt Ave			
Brief Description of Proposed Action: proposed partial 2nd story addition proposed 1st floor interior alterations			
Name of Applicant or Sponsor: MARK ANTHONY MUNISTERI		Telephone: 516 409 1100	
Address: 328 Archer street, Freeport, NY, 11520		E-Mail: info@markitex.com	
City/PO: Freeport		State: NY	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES
3.a. Total acreage of the site of the proposed action?		11,373 acres	
b. Total acreage to be physically disturbed?		1,8 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		11,373 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input type="checkbox"/> Commercial
<input type="checkbox"/> Forest	<input type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input checked="" type="checkbox"/> Residential (suburban)
<input type="checkbox"/> Parkland	<input type="checkbox"/> Other (specify): _____		

		NO	YES	N/A
5. Is the proposed action,				
a. A permitted use under the zoning regulations?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:				
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor name: Mark Anthony Munisteri Date: 1/25/24

Signature: \_\_\_\_\_

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"**

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

RECEIVED  
 MAR 19 10 30 AM  
 CLERK'S OFFICE  
 VILLAGE OF FREDERICK

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.**

RECEIVED  
 2024 MAR 19 P 3:10  
 CLERK'S OFFICE  
 VILLAGE OF FREEPORT, NY

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
<hr/>	
Name of Lead Agency	Date
<hr/>	
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
<hr/>	
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

328 Archer St



RECEIVED

2024 MAR 19 P 3:11

CLERK'S OFFICE  
VILLAGE OF TREFORT, NY



RECEIVED

2024 MAR 19 P 3:11

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

RECEIVED

2024 MAR 19 P 3:11

CLERK'S OFFICE  
VILLAGE OF FREETORT, NY





RECEIVED

2021, MAR 19 P 3: 11

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



RECEIVED

2021 MAR 19 P 3:11

CLERK'S OFFICE  
VILLAGE OF FINEPORT, NY



RECEIVED

2024 MAR 19 P 3:11

CLERK'S OFFICE  
VILLAGE OF FREEDPORT, NY



RECEIVED

2025, MAR 19 P 3:11

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



RECEIVED

2024 MAR 19 P 3:11

CLERK'S OFFICE  
VILLAGE OF FREEFORD, NY



RECEIVED

2024 MAR 19 P 3:11

CLERK'S OFFICE  
VILLAGE OF FREETPORT, NY



322 Archer Street Freeport, NY 11520

RECEIVED

2024 MAR 19 P 3:11

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



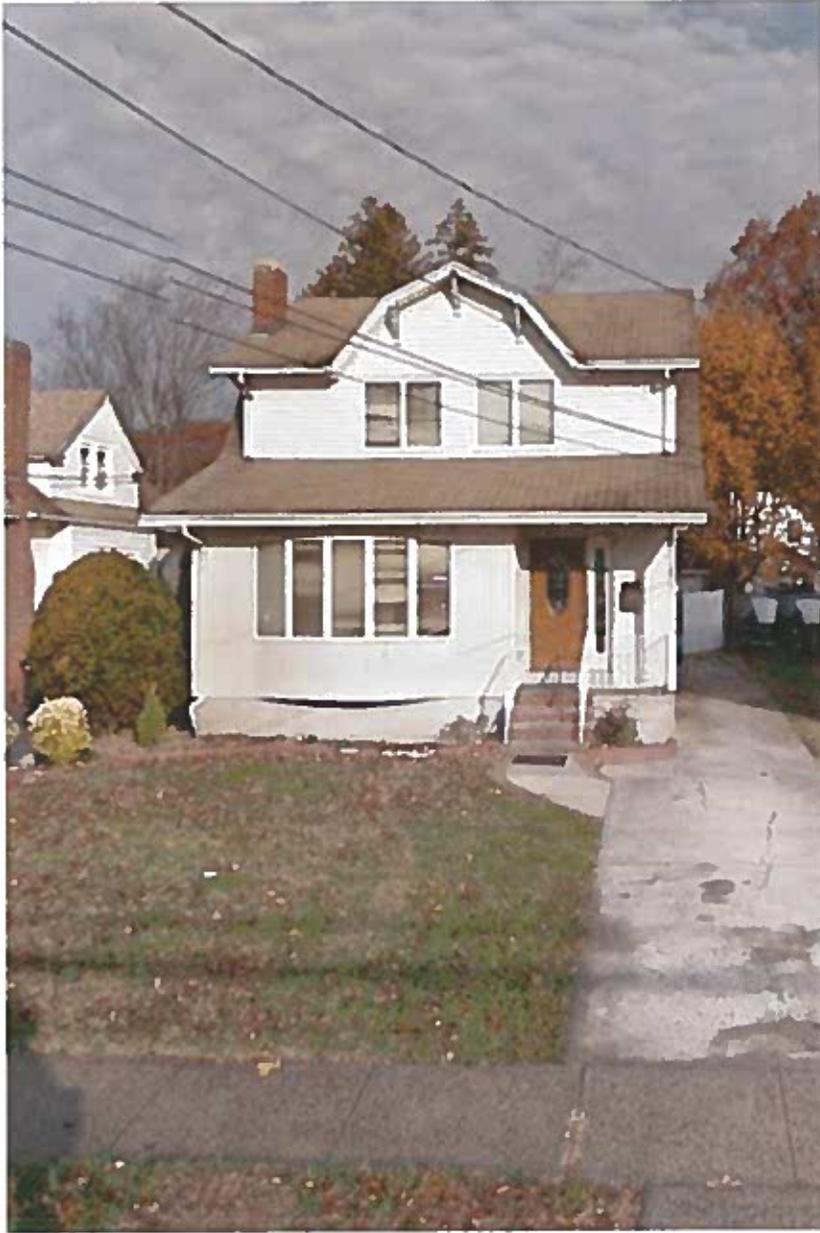
348 Archer Street Freeport, NY 11520

RECEIVED

2024 MAR 19 P 3:11

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

white sidina



172 Whaley Street Freeport, NY 11520

RECEIVED

2024 MAR 19 P 3:11

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

white siding



329 Archer Street Freeport, NY 11520

RECEIVED

2024 MAR 19 P 3: 12

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

garage door



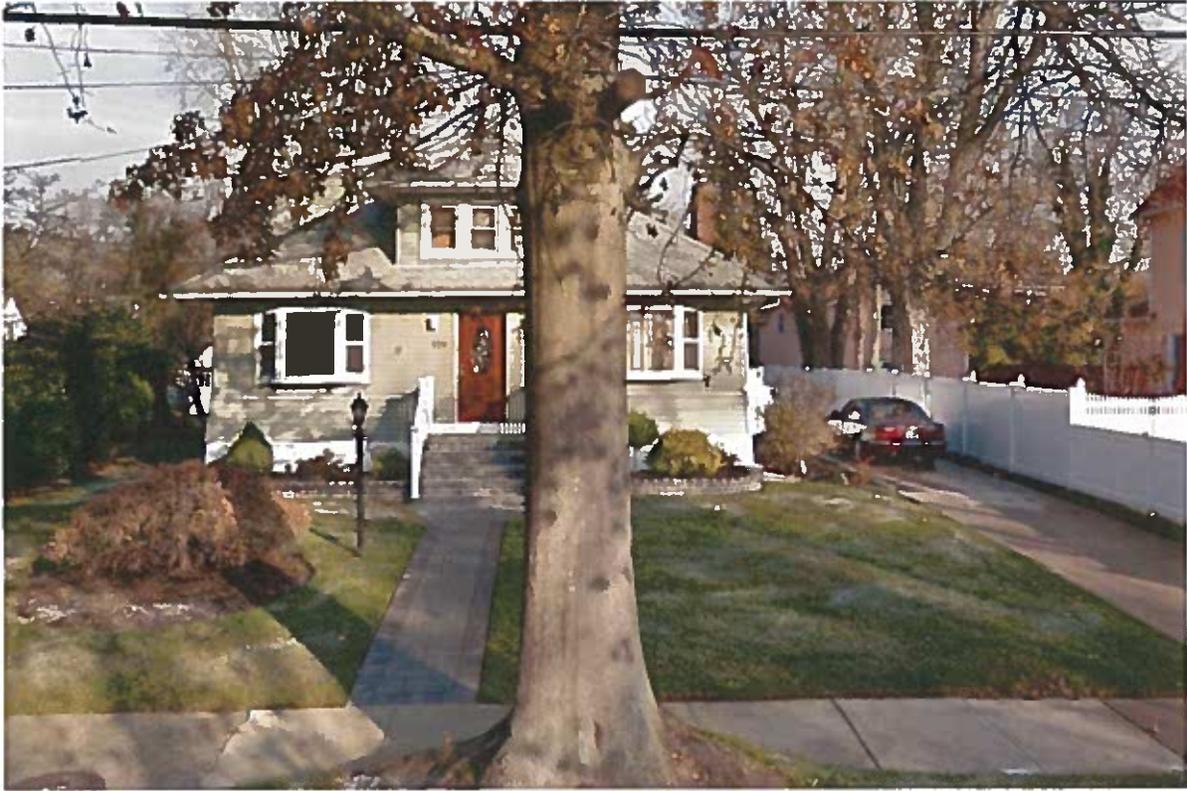
312 Archer Street Freeport, NY 11520

RECEIVED

2021 MAR 19 P 3: 12

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

White siding



320 Archer Street Freeport, NY 11520

RECEIVED

2024 MAR 19 P 3:12

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

white trim



175 Whaley Street Freeport, NY 11520

RECEIVED

2024 MAR 19 P 3:12  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



321 Archer Street Freeport, NY 11520

RECEIVED

2024 MAR 19 P 3:12

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



315 Archer Street Freeport, NY 11520

RECEIVED

2024 MAR 19 P 3:12

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



333 Archer Street Freeport, NY 11520

RECEIVED

2021 MAR 19 P 3:12  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

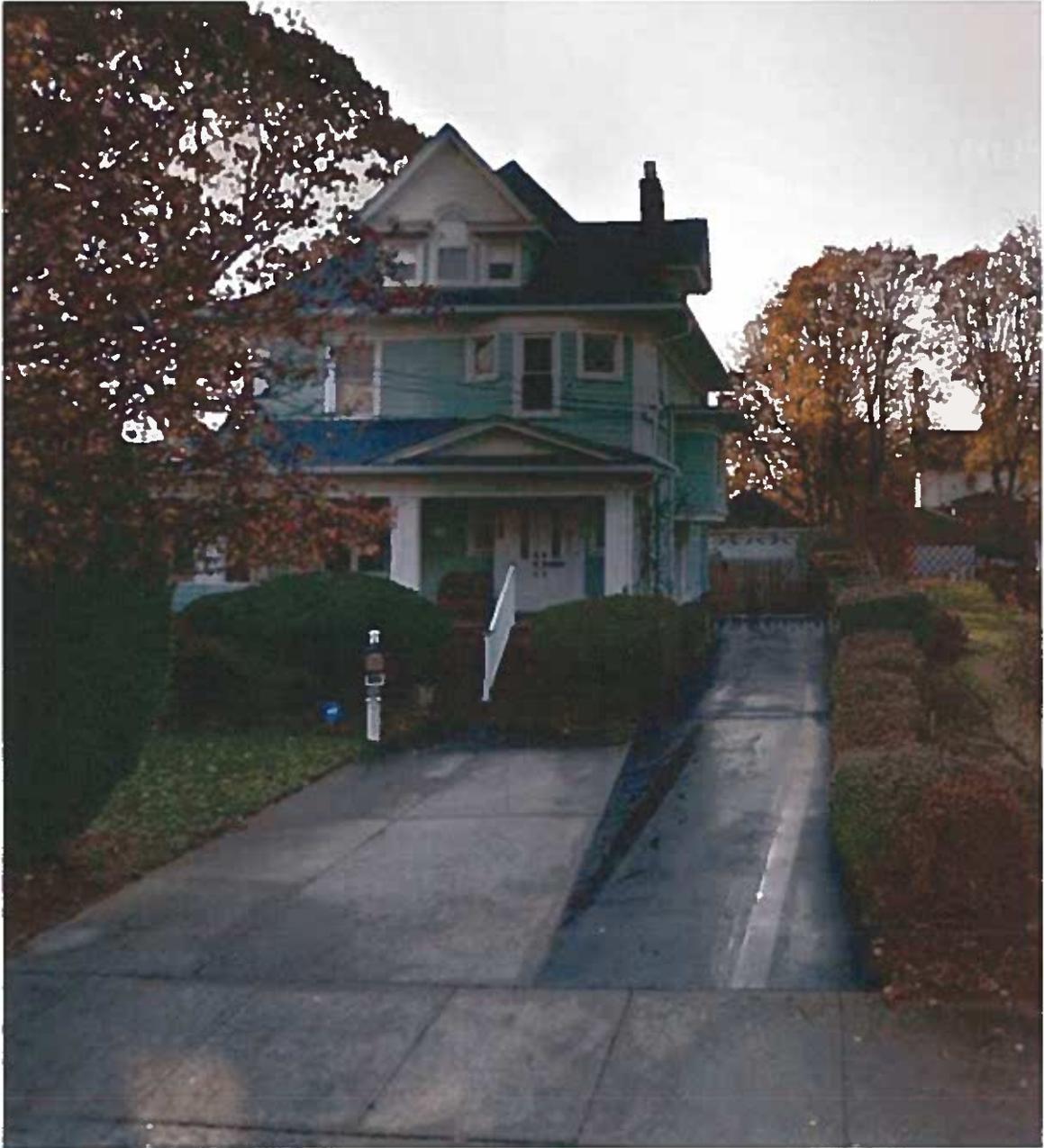


339 Archer Street Freeport, NY 11520

RECEIVED

2024 MAR 19 P 3:12

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



343 Archer Street Freeport, NY 11520

RECEIVED  
2024 MAR 19 P 3:12  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



72 Roosevelt Avenue Freeport, NY 11520

RECEIVED

2024 MAR 19 1 P 3: 12

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



78 Roosevelt Avenue, Freeport, NY 11520

RECEIVED

2024 MAR 19 P 3: 12  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



153 Whaley Street Freeport, NY 11520

RECEIVED  
2021 MAR 19 P 3: 12  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



151 Whaley Street Freeport, NY 11520

RECEIVED  
2024 MAR 19 P 3: 12  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



157 Whaley Street Freeport, NY 11520

CLEK'S OFFICE  
VILLAGE OF FREEPORT, NY

2024 MAR 19 P 3: 12

RECEIVED

169 Whaley Street Freeport, NY 11520



RECEIVED

2024 MAR 19 P 3:12

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



165 Whaley Street Freeport, NY 11520

RECEIVED

2024 MAR 19 P 3: 12

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



344 Archer Street Freeport, NY 11520

RECEIVED

2024 MAR 19 P 3: 12

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



338 Archer Street Freeport, NY 11520

RECEIVED

2024 MAR 19 P 3:13

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



334 Archer Street Freeport, NY 11520

RECEIVED

2021 MAR 19 P 3:13

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



106 Roosevelt Avenue Freeport, NY 11520

RECEIVED

2024 MAR 19 P 3:13

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

Or Raucher  
328 Archer Street  
Freeport, NY 11520

**List of Materials and Projects:**

**Color of the Window:** Windows are white

**Color of the Window Trim:** Trim will be black

**Roofing Color:** GAF Timberline HDZ Charcoal Laminated Architectural  
Roof Shingles

**Siding Color:** Glacier White (White) by Alside. Vinyl Siding (4.5")

**Garage Door-** Wayne Dalton Classic Steel Model 9100 9-ft x 7 ft insulated White  
Single Garage Door

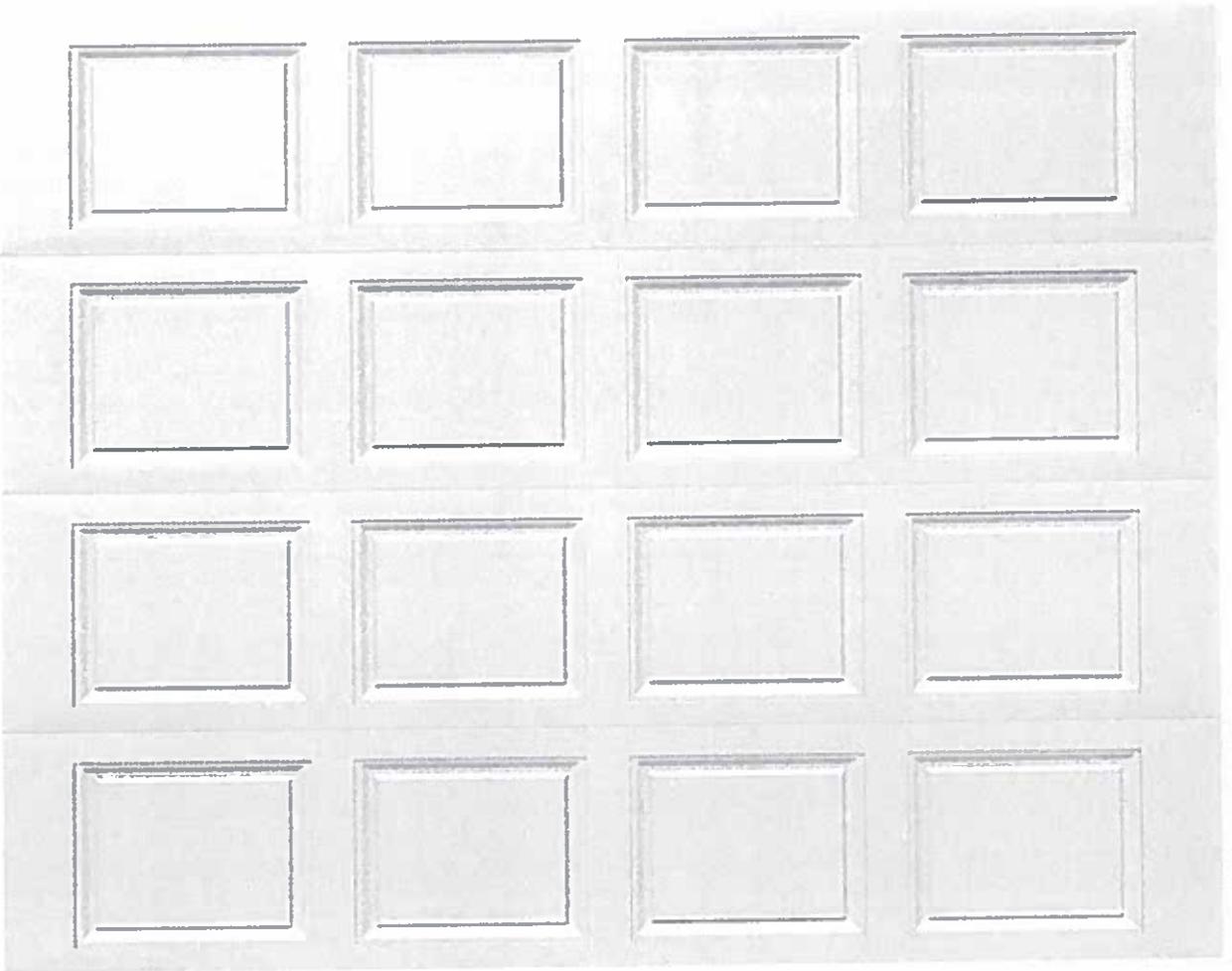
**Front Door-** Therma Tru Benchmarkk Doors Shaker 36 in x 80 in Fiberglass  
Craftsman Right-Hand Inswing Ready to Paint Prehung Single Front Door with  
Brickmould Insulating Core- White Door

**Fascia-** White

**Lights Shown in Front of House on Elevation Page:** See attached Photo:

**Foundation-** Will be remaining White in Color

RECEIVED  
2024 MAR 19 P 3:13  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



RECEIVED

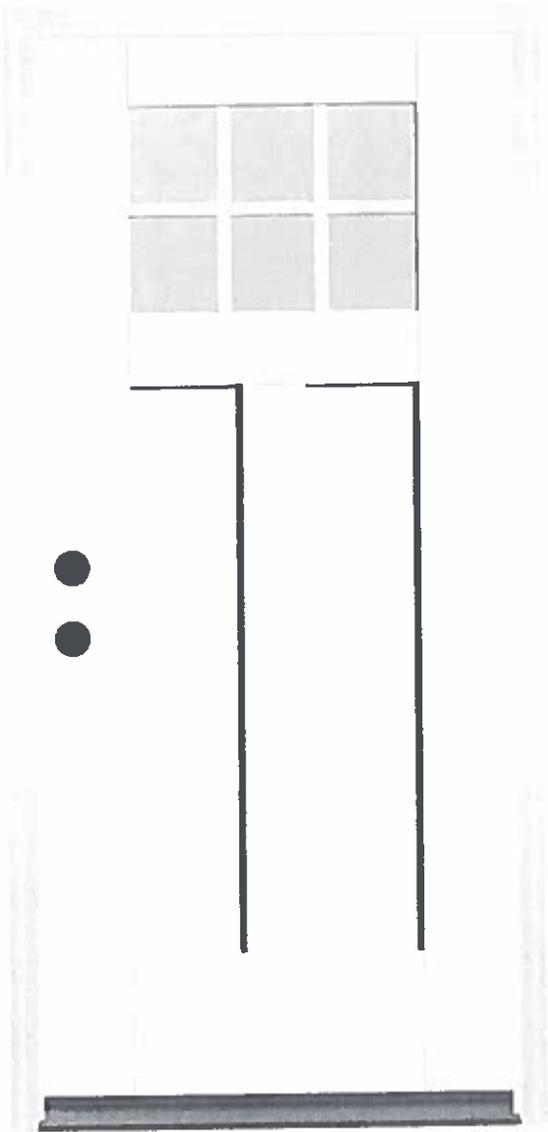
2024 MAR 19 P 3:13

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

RECEIVED

2024 MAR 19 P 3:13

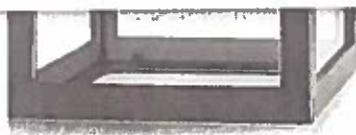
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



VIDEOS 360° VIEW IMAGES



RECEIVED  
2024 MAR 19 P 3:13  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



Roll over image to zoom in

Eligible for Return, Refund or Replacement within 30 days of receipt

Add a gift receipt for easy returns

Color Black



Add to List



\$39.9

New & Used (7) from \$13

Brand MAXvolador  
Color Black  
Material Aluminum, Glass  
Style Vintage, Classic  
Light Sconce  
fixture form

About this item

- ☆ **[Weather Resistant]** : With high quality material and weather-resistant design, this outdoor wall sconce light fixture is rust-proof and can be used durable for years, which is suitable for any weather conditions like cloudy, heavy rain, snowy, icing, hot weather, etc.

Sponsored





RECEIVED  
2024 MAR 19 P 3:14  
CLERK'S OFFICE  
FREEDOM, N.Y.

ALL DIMENSIONS ARE TO BE FIELD VERIFIED

Mark Anthony Architects & Planners  
1164 49th Street  
Brooklyn, NY 11219  
Tel: 718.761.1111  
Fax: 718.761.1112  
www.markanthony.com

PROJECT NO. 20230209  
DATE: 01.22.24  
SCALE: AS NOTED  
DRAWN BY: S.A.A.W.Z.

ISSUED FOR:  
PRELIMINARY DRAWING FOR OWNER'S REVIEW  
FOR BIDDING PURPOSES  
FOR BUILDING DEPT.  
FOR STRUCTURAL AS BUILT DRAWINGS

REVISIONS:  
NO. DATE DESCRIPTION

PROJECT: RAUCHER RESIDENCE  
325 ARCHER STREET  
FREEPORT, NY 11520

PROJECT: ECCCNYS NOTES

DRAWING NO. T2.0

All Drawings, Specifications and the design of the building are the property of Mark Anthony Architects & Planners. No part of this drawing shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Mark Anthony Architects & Planners. It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an architectural drawing, specification, or contract document in any way. The architect's seal and signature shall be followed by the signature and the date of such alteration, and a specific description of the alteration.

Mark Anthony Architects & Planners  
1164 49th Street  
Brooklyn, NY 11219  
Tel: 718.761.1111  
Fax: 718.761.1112  
www.markanthony.com

PROJECT NO. 20230209  
DATE: 01.22.24  
SCALE: AS NOTED  
DRAWN BY: S.A.A.W.Z.

ISSUED FOR:  
PRELIMINARY DRAWING FOR OWNER'S REVIEW  
FOR BIDDING PURPOSES  
FOR BUILDING DEPT.  
FOR STRUCTURAL AS BUILT DRAWINGS

REVISIONS:  
NO. DATE DESCRIPTION

PROJECT: RAUCHER RESIDENCE  
325 ARCHER STREET  
FREEPORT, NY 11520

PROJECT: ECCCNYS NOTES

DRAWING NO. T2.0

Mark Anthony Architects & Planners  
1164 49th Street  
Brooklyn, NY 11219  
Tel: 718.761.1111  
Fax: 718.761.1112  
www.markanthony.com

PROJECT NO. 20230209  
DATE: 01.22.24  
SCALE: AS NOTED  
DRAWN BY: S.A.A.W.Z.

ISSUED FOR:  
PRELIMINARY DRAWING FOR OWNER'S REVIEW  
FOR BIDDING PURPOSES  
FOR BUILDING DEPT.  
FOR STRUCTURAL AS BUILT DRAWINGS

REVISIONS:  
NO. DATE DESCRIPTION

Mark Anthony Architects & Planners  
1164 49th Street  
Brooklyn, NY 11219  
Tel: 718.761.1111  
Fax: 718.761.1112  
www.markanthony.com

PROJECT NO. 20230209  
DATE: 01.22.24  
SCALE: AS NOTED  
DRAWN BY: S.A.A.W.Z.

ISSUED FOR:  
PRELIMINARY DRAWING FOR OWNER'S REVIEW  
FOR BIDDING PURPOSES  
FOR BUILDING DEPT.  
FOR STRUCTURAL AS BUILT DRAWINGS

REVISIONS:  
NO. DATE DESCRIPTION

PROJECT: RAUCHER RESIDENCE  
325 ARCHER STREET  
FREEPORT, NY 11520

PROJECT: ECCCNYS NOTES

DRAWING NO. T2.0

Mark Anthony Architects & Planners  
1164 49th Street  
Brooklyn, NY 11219  
Tel: 718.761.1111  
Fax: 718.761.1112  
www.markanthony.com

PROJECT NO. 20230209  
DATE: 01.22.24  
SCALE: AS NOTED  
DRAWN BY: S.A.A.W.Z.

ISSUED FOR:  
PRELIMINARY DRAWING FOR OWNER'S REVIEW  
FOR BIDDING PURPOSES  
FOR BUILDING DEPT.  
FOR STRUCTURAL AS BUILT DRAWINGS

REVISIONS:  
NO. DATE DESCRIPTION

Mark Anthony Architects & Planners  
1164 49th Street  
Brooklyn, NY 11219  
Tel: 718.761.1111  
Fax: 718.761.1112  
www.markanthony.com

Mark Anthony Architects & Planners  
1164 49th Street  
Brooklyn, NY 11219  
Tel: 718.761.1111  
Fax: 718.761.1112  
www.markanthony.com

PROJECT NO. 20230209  
DATE: 01.22.24  
SCALE: AS NOTED  
DRAWN BY: S.A.A.W.Z.

ISSUED FOR:  
PRELIMINARY DRAWING FOR OWNER'S REVIEW  
FOR BIDDING PURPOSES  
FOR BUILDING DEPT.  
FOR STRUCTURAL AS BUILT DRAWINGS

REVISIONS:  
NO. DATE DESCRIPTION

PROJECT: RAUCHER RESIDENCE  
325 ARCHER STREET  
FREEPORT, NY 11520

PROJECT: ECCCNYS NOTES

DRAWING NO. T2.0

Mark Anthony Architects & Planners  
1164 49th Street  
Brooklyn, NY 11219  
Tel: 718.761.1111  
Fax: 718.761.1112  
www.markanthony.com

PROJECT NO. 20230209  
DATE: 01.22.24  
SCALE: AS NOTED  
DRAWN BY: S.A.A.W.Z.

ISSUED FOR:  
PRELIMINARY DRAWING FOR OWNER'S REVIEW  
FOR BIDDING PURPOSES  
FOR BUILDING DEPT.  
FOR STRUCTURAL AS BUILT DRAWINGS

REVISIONS:  
NO. DATE DESCRIPTION

Mark Anthony Architects & Planners  
1164 49th Street  
Brooklyn, NY 11219  
Tel: 718.761.1111  
Fax: 718.761.1112  
www.markanthony.com

Mark Anthony Architects & Planners  
1164 49th Street  
Brooklyn, NY 11219  
Tel: 718.761.1111  
Fax: 718.761.1112  
www.markanthony.com

PROJECT NO. 20230209  
DATE: 01.22.24  
SCALE: AS NOTED  
DRAWN BY: S.A.A.W.Z.

ISSUED FOR:  
PRELIMINARY DRAWING FOR OWNER'S REVIEW  
FOR BIDDING PURPOSES  
FOR BUILDING DEPT.  
FOR STRUCTURAL AS BUILT DRAWINGS

REVISIONS:  
NO. DATE DESCRIPTION

PROJECT: RAUCHER RESIDENCE  
325 ARCHER STREET  
FREEPORT, NY 11520

PROJECT: ECCCNYS NOTES

DRAWING NO. T2.0

Mark Anthony Architects & Planners  
1164 49th Street  
Brooklyn, NY 11219  
Tel: 718.761.1111  
Fax: 718.761.1112  
www.markanthony.com

PROJECT NO. 20230209  
DATE: 01.22.24  
SCALE: AS NOTED  
DRAWN BY: S.A.A.W.Z.

ISSUED FOR:  
PRELIMINARY DRAWING FOR OWNER'S REVIEW  
FOR BIDDING PURPOSES  
FOR BUILDING DEPT.  
FOR STRUCTURAL AS BUILT DRAWINGS

REVISIONS:  
NO. DATE DESCRIPTION

Mark Anthony Architects & Planners  
1164 49th Street  
Brooklyn, NY 11219  
Tel: 718.761.1111  
Fax: 718.761.1112  
www.markanthony.com

Mark Anthony Architects & Planners  
1164 49th Street  
Brooklyn, NY 11219  
Tel: 718.761.1111  
Fax: 718.761.1112  
www.markanthony.com

PROJECT NO. 20230209  
DATE: 01.22.24  
SCALE: AS NOTED  
DRAWN BY: S.A.A.W.Z.

ISSUED FOR:  
PRELIMINARY DRAWING FOR OWNER'S REVIEW  
FOR BIDDING PURPOSES  
FOR BUILDING DEPT.  
FOR STRUCTURAL AS BUILT DRAWINGS

REVISIONS:  
NO. DATE DESCRIPTION

PROJECT: RAUCHER RESIDENCE  
325 ARCHER STREET  
FREEPORT, NY 11520

PROJECT: ECCCNYS NOTES

DRAWING NO. T2.0

Mark Anthony Architects & Planners  
1164 49th Street  
Brooklyn, NY 11219  
Tel: 718.761.1111  
Fax: 718.761.1112  
www.markanthony.com

PROJECT NO. 20230209  
DATE: 01.22.24  
SCALE: AS NOTED  
DRAWN BY: S.A.A.W.Z.

ISSUED FOR:  
PRELIMINARY DRAWING FOR OWNER'S REVIEW  
FOR BIDDING PURPOSES  
FOR BUILDING DEPT.  
FOR STRUCTURAL AS BUILT DRAWINGS

REVISIONS:  
NO. DATE DESCRIPTION

Mark Anthony Architects & Planners  
1164 49th Street  
Brooklyn, NY 11219  
Tel: 718.761.1111  
Fax: 718.761.1112  
www.markanthony.com

SECTION 11103 (R403) SYSTEMS

11103.1 (R403.1) General (Mandatory)  
Not less than one thermal break shall be provided for each independent heating and cooling system.

11103.1.1 (R403.1.1) Performance (Mandatory)  
The thermostat controlling the primary heating or cooling system of the dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule to maintain different temperature set points at different times of the day. The thermostat shall maintain a minimum temperature of not less than 55°F (13°C) in no greater than 15°F (3°C) and a maximum temperature of not less than 70°F (21°C) in no greater than 15°F (3°C) and a cooling temperature setpoint of not less than 78°F (26°C).

11103.1.2 (R403.1.2) Heat pump supplementary heat (Mandatory)  
Heat pumps having supplementary electric-resistance heat shall have controls that prevent supplemental heat operation when the heat pump compressor can meet the heating load.

11103.1.3 (R403.1.3) Hot water boilers that supply heat to the building through one- or two-pipe heating systems shall have an outdoor setback control that decreases the boiler water temperature based on the outdoor temperature.

11103.1.4 (R403.1.4) Ducts and air handlers shall be installed in accordance with Sections 11103.3.1 through 11103.3.8.

11103.1.5 (R403.1.5) Insulation (Prescriptive)  
Supply and return ducts in attics shall be insulated to an R-value of not less than R-8 for ducts 3 inches (76 mm) in diameter and larger and not less than R-6 for ducts smaller than 3 inches (76 mm) in diameter. Supply and return ducts in other portions of the building shall be insulated to not less than R-6 for ducts 3 inches (76 mm) in diameter and to not less than R-4 for ducts smaller than 3 inches (76 mm) in diameter.  
Exception: Ducts or portions thereof located completely inside the building thermal envelope.

(R7) 11103.1.6 (R403.1.6) Leaking (Mandatory)  
Ducts, air handlers and their boxes shall be sealed. Joints and seams shall comply with Section M1001.4.1.  
Exceptions:  
1 Air-impervious spray foam products shall be permitted to be applied without additional joint seals.  
2 For ducts having a static pressure classification of less than 2 inches of water column (500 Pa), additional closure systems shall not be required for continuing welded joints and seams, and locking-type joints and seams of other than the snap-lock and button-lock types.  
11103.1.7 (R403.1.7) Sealed air handler.  
Air handlers shall have a manufacturer's designation for an air leakage of not greater than 2 percent of the design airflow rate when tested in accordance with ASHRAE 103.

11103.1.8 (R403.1.8) Duct leakage (Mandatory)  
Ducts shall be pressure tested to determine air leakage by one of the following methods:  
1 Rough-in test. Total leakage shall be measured with a pressure differential of 0.1 inch wg (25 Pa) across the system, including the manufacturer's air handler enclosure if installed at the time of the test. Registers shall be taped or otherwise sealed during the test.  
2 Postconstruction test. Total leakage shall be measured with a pressure differential of 0.1 inch wg (25 Pa) across the entire system, including the manufacturer's air handler enclosure. Registers shall be taped or otherwise sealed during the test.  
Exceptions:  
1 A duct air leakage test shall not be required where the ducts and air handlers are located entirely within the building thermal envelope.  
2 A duct air leakage test shall not be required for duct serving heat or energy recovery ventilators that are not integrated with ducts serving heating or cooling systems.  
A written report of the results of the test shall be signed by the party conducting the test and provided to the building official.

11103.1.9 (R403.1.9) Duct leakage (Prescriptive)  
The total leakage of the ducts, where measured in accordance with Section R403.3.3, shall be as follows:  
1 Rough-in test. The total leakage shall be less than or equal to 4 cubic feet per minute (113.3 L/min) per 100 square feet (9.29 m<sup>2</sup>) of conditioned floor area where the air handler is installed at the time of the test. Where the air handler is not installed at the time of the test, the total leakage shall be less than or equal to 3 cubic feet per minute (85 L/min) per 100 square feet (9.29 m<sup>2</sup>) of conditioned floor area.  
2 Postconstruction test. Total leakage shall be less than or equal to 4 cubic feet per minute (113.3 L/min) per 100 square feet (9.29 m<sup>2</sup>) of conditioned floor area.

11103.1.10 (R403.1.10) Building barriers (Mandatory)  
Building framing cavities shall not be used as ducts or plenums.

(R7) 11103.1.11 (R403.1.11) Ducts burned under ceiling (Mandatory)  
Where supply and return air ducts are partially or completely burned in ceiling installation, such ducts shall comply with all of the following:  
1 The supply and return duct shall have an insulation R-value not less than R-8.  
2 At all joints along each duct, the sum of the ceiling insulation R-values against and above the top of the duct, and against and below the bottom of the duct shall be not less than R-10, including the R-value of the duct insulation.

11103.1.12 (R403.1.12) Duct leakage (Mandatory)  
Where using an unsealed energy performance analysis, sections of ducts that are installed in accordance with Section 11103.3.10, located below the ceiling, shall be sealed with a sealant that is applied to the duct, surrounded with blown-in attic insulation having an R-value of R-30 or greater and ducted such that the top of the duct is not less than 5.5 inches (140 mm) below the top of the insulation, shall be considered as having an effective duct insulation R-value of R-25.

11103.1.13 (R403.1.13) Ducts located in unconditioned space.  
For ducts to be considered as inside a conditioned space, such ducts shall comply with either of the following:  
1 The duct system is located completely within the conditioned space, such as ducts that comply with Section 11103.3.10, located above the ceiling.  
2 The ducts are burned within ceiling installation in accordance with Section 11103.3.10 and all of the following conditions exist:  
2.1 The air handler is located completely within the conditioned space and within the building thermal envelope.  
2.2 The duct leakage, as measured either by a rough-in test of the ducts or a post-construction test, shall be less than or equal to 1.5 cubic feet per minute (42.5 L/min) per 100 square feet (9.29 m<sup>2</sup>) of conditioned floor area served by the duct system.  
2.3 The ceiling insulation R-value installed against and above the insulated duct is greater than or equal to the proposed ceiling insulation R-value less the R-value of the insulation on the duct.

11103.1.14 (R403.1.14) Mechanical systems serving multiple dwellings (Mandatory)  
Mechanical systems serving multiple dwellings shall be installed in accordance with Section 11103.3.1 through 11103.3.4.

11103.1.15 (R403.1.15) Prevention of gas leakage (Mandatory)  
Piping installed in unconditioned space shall be protected from damage, including that caused by furniture, equipment, maintenance and so on, and the protection shall provide secondary containment from their location that can cause degradation of the material. Adhesive tape shall be provided.

11103.1.16 (R403.1.16) Prevention of gas leakage (Mandatory)  
Energy conservation measures for services and water systems shall be in accordance with Section 11103.5.1 through 11103.5.4.

11103.1.17 (R403.1.17) Water conservation (Mandatory)  
Water conservation measures for services and water systems shall be in accordance with Section 11103.5.1 through 11103.5.4.

11103.1.18 (R403.1.18) Water conservation (Mandatory)  
Water conservation measures for services and water systems shall be in accordance with Section 11103.5.1 through 11103.5.4.

11103.1.19 (R403.1.19) Water conservation (Mandatory)  
Water conservation measures for services and water systems shall be in accordance with Section 11103.5.1 through 11103.5.4.

11103.1.20 (R403.1.20) Water conservation (Mandatory)  
Water conservation measures for services and water systems shall be in accordance with Section 11103.5.1 through 11103.5.4.

11103.1.21 (R403.1.21) Water conservation (Mandatory)  
Water conservation measures for services and water systems shall be in accordance with Section 11103.5.1 through 11103.5.4.

11103.1.22 (R403.1.22) Water conservation (Mandatory)  
Water conservation measures for services and water systems shall be in accordance with Section 11103.5.1 through 11103.5.4.

11103.1.23 (R403.1.23) Water conservation (Mandatory)  
Water conservation measures for services and water systems shall be in accordance with Section 11103.5.1 through 11103.5.4.

SECTION 11103 (R403) SYSTEMS

11103.1 (R403.1) General (Mandatory)  
Not less than one thermal break shall be provided for each independent heating and cooling system.

11103.1.1 (R403.1.1) Performance (Mandatory)  
The thermostat controlling the primary heating or cooling system of the dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule to maintain different temperature set points at different times of the day. The thermostat shall maintain a minimum temperature of not less than 55°F (13°C) in no greater than 15°F (3°C) and a maximum temperature of not less than 70°F (21°C) in no greater than 15°F (3°C) and a cooling temperature setpoint of not less than 78°F (26°C).

11103.1.2 (R403.1.2) Heat pump supplementary heat (Mandatory)  
Heat pumps having supplementary electric-resistance heat shall have controls that prevent supplemental heat operation when the heat pump compressor can meet the heating load.

11103.1.3 (R403.1.3) Hot water boilers that supply heat to the building through one- or two-pipe heating systems shall have an outdoor setback control that decreases the boiler water temperature based on the outdoor temperature.

11103.1.4 (R403.1.4) Ducts and air handlers shall be installed in accordance with Sections 11103.3.1 through 11103.3.8.

11103.1.5 (R403.1.5) Insulation (Prescriptive)  
Supply and return ducts in attics shall be insulated to an R-value of not less than R-8 for ducts 3 inches (76 mm) in diameter and larger and not less than R-6 for ducts smaller than 3 inches (76 mm) in diameter. Supply and return ducts in other portions of the building shall be insulated to not less than R-6 for ducts 3 inches (76 mm) in diameter and to not less than R-4 for ducts smaller than 3 inches (76 mm) in diameter.  
Exception: Ducts or portions thereof located completely inside the building thermal envelope.

(R7) 11103.1.6 (R403.1.6) Leaking (Mandatory)  
Ducts, air handlers and their boxes shall be sealed. Joints and seams shall comply with Section M1001.4.1.  
Exceptions:  
1 Air-impervious spray foam products shall be permitted to be applied without additional joint seals.  
2 For ducts having a static pressure classification of less than 2 inches of water column (500 Pa), additional closure systems shall not be required for continuing welded joints and seams, and locking-type joints and seams of other than the snap-lock and button-lock types.  
11103.1.7 (R403.1.7) Sealed air handler.  
Air handlers shall have a manufacturer's designation for an air leakage of not greater than 2 percent of the design airflow rate when tested in accordance with ASHRAE 103.

11103.1.8 (R403.1.8) Duct leakage (Mandatory)  
Ducts shall be pressure tested to determine air leakage by one of the following methods:  
1 Rough-in test. Total leakage shall be measured with a pressure differential of 0.1 inch wg (25 Pa) across the system, including the manufacturer's air handler enclosure if installed at the time of the test. Registers shall be taped or otherwise sealed during the test.  
2 Postconstruction test. Total leakage shall be measured with a pressure differential of 0.1 inch wg (25 Pa) across the entire system, including the manufacturer's air handler enclosure. Registers shall be taped or otherwise sealed during the test.  
Exceptions:  
1 A duct air leakage test shall not be required where the ducts and air handlers are located entirely within the building thermal envelope.  
2 A duct air leakage test shall not be required for duct serving heat or energy recovery ventilators that are not integrated with ducts serving heating or cooling systems.  
A written report of the results of the test shall be signed by the party conducting the test and provided to the building official.

11103.1.9 (R403.1.9) Duct leakage (Prescriptive)  
The total leakage of the ducts, where measured in accordance with Section R403.3.3, shall be as follows:  
1 Rough-in test. The total leakage shall be less than or equal to 4 cubic feet per minute (113.3 L/min) per 100 square feet (9.29 m<sup>2</sup>) of conditioned floor area where the air handler is installed at the time of the test. Where the air handler is not installed at the time of the test, the total leakage shall be less than or equal to 3 cubic feet per minute (85 L/min) per 100 square feet (9.29 m<sup>2</sup>) of conditioned floor area.  
2 Postconstruction test. Total leakage shall be less than or equal to 4 cubic feet per minute (113.3 L/min) per 100 square feet (9.29 m<sup>2</sup>) of conditioned floor area.

11103.1.10 (R403.1.10) Building barriers (Mandatory)  
Building framing cavities shall not be used as ducts or plenums.

(R7) 11103.1.11 (R403.1.11) Ducts burned under ceiling (Mandatory)  
Where supply and return air ducts are partially or completely burned in ceiling installation, such ducts shall comply with all of the following:  
1 The supply and return duct shall have an insulation R-value not less than R-8.  
2 At all joints along each duct, the sum of the ceiling insulation R-values against and above the top of the duct, and against and below the bottom of the duct shall be not less than R-10, including the R-value of the duct insulation.

11103.1.12 (R403.1.12) Duct leakage (Mandatory)  
Where using an unsealed energy performance analysis, sections of ducts that are installed in accordance with Section 11103.3.10, located below the ceiling, shall be sealed with a sealant that is applied to the duct, surrounded with blown-in attic insulation having an R-value of R-30 or greater and ducted such that the top of the duct is not less than 5.5 inches (140 mm) below the top of the insulation, shall be considered as having an effective duct insulation R-value of R-25.

11103.1.13 (R403.1.13) Ducts located in unconditioned space.  
For ducts to be considered as inside a conditioned space, such ducts shall comply with either of the following:  
1 The duct system is located completely within the conditioned space, such as ducts that comply with Section 11103.3.10, located above the ceiling.  
2 The ducts are burned within ceiling installation in accordance with Section 11103.3.10 and all of the following conditions exist:  
2.1 The air handler is located completely within the conditioned space and within the building thermal envelope.  
2.2 The duct leakage, as measured either by a rough-in test of the ducts or a post-construction test, shall be less than or equal to 1.5 cubic feet per minute (42.5 L/min) per 100 square feet (9.29 m<sup>2</sup>) of conditioned floor area served by the duct system.  
2.3 The ceiling insulation R-value installed against and above the insulated duct is greater than or equal to the proposed ceiling insulation R-value less the R-value of the insulation on the duct.

11103.1.14 (R403.1.14) Mechanical systems serving multiple dwellings (Mandatory)  
Mechanical systems serving multiple dwellings shall be installed in accordance with Section 11103.3.1 through 11103.3.4.

11103.1.15 (R403.1.15) Prevention of gas leakage (Mandatory)  
Piping installed in unconditioned space shall be protected from damage, including that caused by furniture, equipment, maintenance and so on, and the protection shall provide secondary containment from their location that can cause degradation of the material. Adhesive tape shall be provided.

SECTION 11103 (R403) SYSTEMS

11103.1 (R403.1) General (Mandatory)  
Not less than one thermal break shall be provided for each independent heating and cooling system.

11103.1.1 (R403.1.1) Performance (Mandatory)  
The thermostat controlling the primary heating or cooling system of the dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule to maintain different temperature set points at different times of the day. The thermostat shall maintain a minimum temperature of not less than 55°F (13°C) in no greater than 15°F (3°C) and a maximum temperature of not less than 70°F (21°C) in no greater than 15°F (3°C) and a cooling temperature setpoint of not less than 78°F (26°C).

11103.1.2 (R403.1.2) Heat pump supplementary heat (Mandatory)  
Heat pumps having supplementary electric-resistance heat shall have controls that prevent supplemental heat operation when the heat pump compressor can meet the heating load.

11103.1.3 (R403.1.3) Hot water boilers that supply heat to the building through one- or two-pipe heating systems shall have an outdoor setback control that decreases the boiler water temperature based on the outdoor temperature.

11103.1.4 (R403.1.4) Ducts and air handlers shall be installed in accordance with Sections 11103.3.1 through 11103.3.8.

11103.1.5 (R403.1.5) Insulation (Prescriptive)  
Supply and return ducts in attics shall be insulated to an R-value of not less than R-8 for ducts 3 inches (76 mm) in diameter and larger and not less than R-6 for ducts smaller than 3 inches (76 mm) in diameter. Supply and return ducts in other portions of the building shall be insulated to not less than R-6 for ducts 3 inches (76 mm) in diameter and to not less than R-4 for ducts smaller than 3 inches (76 mm) in diameter.  
Exception: Ducts or portions thereof located completely inside the building thermal envelope.

(R7) 11103.1.6 (R403.1.6) Leaking (Mandatory)  
Ducts, air handlers and their boxes shall be sealed. Joints and seams shall comply with Section M1001.4.1.  
Exceptions:  
1 Air-impervious spray foam products shall be permitted to be applied without additional joint seals.  
2 For ducts having a static pressure classification of less than 2 inches of water column (500 Pa), additional closure systems shall not be required for continuing welded joints and seams, and locking-type joints and seams of other than the snap-lock and button-lock types.  
11103.1.7 (R403.1.7) Sealed air handler.  
Air handlers shall have a manufacturer's designation for an air leakage of not greater than 2 percent of the design airflow rate when tested in accordance with ASHRAE 103.

11103.1.8 (R403.1.8) Duct leakage (Mandatory)  
Ducts shall be pressure tested to determine air leakage by one of the following methods:  
1 Rough-in test. Total leakage shall be measured with a pressure differential of 0.1 inch wg (25 Pa) across the system, including the manufacturer's air handler enclosure if installed at the time of the test. Registers shall be taped or otherwise sealed during the test.  
2 Postconstruction test. Total leakage shall be measured with a pressure differential of 0.1 inch wg (25 Pa) across the entire system, including the manufacturer's air handler enclosure. Registers shall be taped or otherwise sealed during the test.  
Exceptions:  
1 A duct air leakage test shall not be required where the ducts and air handlers are located entirely within the building thermal envelope.  
2 A duct air leakage test shall not be required for duct serving heat or energy recovery ventilators that are not integrated with ducts serving heating or cooling systems.  
A written report of the results of the test shall be signed by the party conducting the test and provided to the building official.

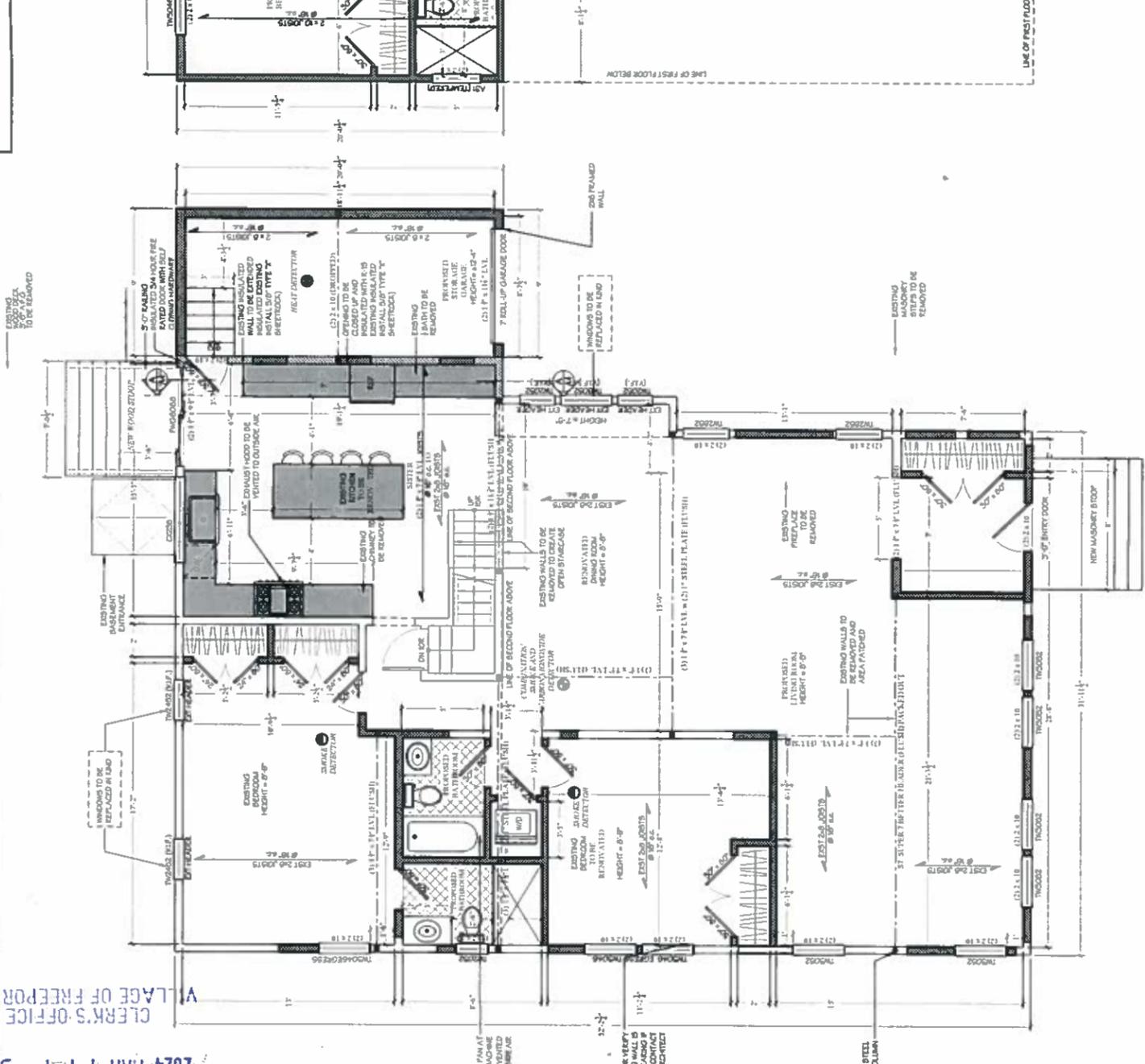
11



RECEIVED

2024 MAR 19 P 3:14  
CLERK'S OFFICE  
V. LAGE OFFICE

8211.2.6 Landings for stairways  
There shall be a floor or landing at the top and bottom of each stairway. The width perpendicular to the direction of travel shall be not less than the width of the flight served. For landings of multiple other than square or rectangular in shape, the depth at the wide end and the total area shall be not less than that of a square with a side equal to the required landing width. Where the stairway has a slight turn, the depth in the direction of travel shall be not less than 36 inches (914 mm).  
Exception: A floor or landing is not required at the top of an exterior flight of stairs, including stairs in an enclosed garage, provided that a door swings over the stairs.



FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

ICBOIS 2020) MEANS OF EGRESS  
STAIRWAYS SHALL BE NOT MORE THAN 9 INCHES (229 MM) THE TREADS OF ADJACENT STAIRWAYS SHALL BE HORIZONTALLY ALIGNED WITH THE TREADS OF THE ADJACENT STAIRWAYS. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM).

ICBOIS 2020) STAIRWAYS SHALL BE NOT MORE THAN 9 INCHES (229 MM) THE TREADS OF ADJACENT STAIRWAYS SHALL BE HORIZONTALLY ALIGNED WITH THE TREADS OF THE ADJACENT STAIRWAYS. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM).

LUMBER SPECIFICATIONS:  
• DOOR - FIVE LUMBER #2 WITH PG 015 OR EQUAL.  
• DESIGN LOADS TAKEN AS ACCORDANCE WITH ASTM STANDARDS.  
• ALL POSTS UNDER ALL FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS.  
• ALL LAMINATED JOISTS TO BE 2" X 6" LAM LVL.  
• TRIM SHALL BE 1" X 4" OR 1" X 6" LAM LVL.  
• ALL TRIM SHALL BE 1" X 4" OR 1" X 6" LAM LVL.  
• ALL TRIM SHALL BE 1" X 4" OR 1" X 6" LAM LVL.

ALL NEW WORK SHALL CONFORM TO THE REQUIREMENTS FOR AN ADDITIONAL 30 MINUTE FIRE RESISTANCE RATING (ICBOIS 2020).  
AT LEAST ONE (1) APPROVED LIGHTING FIXTURE SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF EACH OUTDOOR EGRESS (E703).  
DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.  
ALL LAMINATED JOISTS TO BE 2" X 6" LAM LVL.  
TRIM SHALL BE 1" X 4" OR 1" X 6" LAM LVL.  
ALL TRIM SHALL BE 1" X 4" OR 1" X 6" LAM LVL.

30" DIA. MECHANICAL VENT TO EXHAUST TO OUTSIDE AIR AT EACH ROOM (E703).  
CLOTHES DRESSER MUST BE INSTALLED AS PER (ICBOIS 2020) SECTION H0502.  
ORDER TO HAVE INTERFERENT VENT TO OUTSIDE AIR AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.  
3" X 6" STEEL LALLY COLUMN TO BE TREATED WITH RIGHT-INHIBITIVE PAINT ON ALL SIDES (INSIDE AND OUTSIDE).  
(2) 2" X 4" WOOD POST.  
(2) 2" X 6" WOOD POST.  
ORDER TO HAVE INTERFERENT VENT TO OUTSIDE AIR AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.  
WOOD POSTS TO SUPPORT FLOOR JOISTS TO BE ALGA TREATED LUMBER POSTED WITH (4) 2" X 4" POST.

ICBOIS 2020) EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).

ALL DIMENSIONS ARE TO BE FIELD VERIFIED

All Drawings, Specifications and the design expressed herein are the sole property of Mark Anthony Architects. They are to be used only for the project and site identified herein. Any other use, reproduction or distribution without the written permission of Mark Anthony Architects P.C. is a violation of the law. For any person, unless acting under the direction of a licensed architect, to alter in any way, or to use in any way, the drawing of an architect is altered, the drawing is not the drawing of the architect and the architect is not responsible for the design and the date of such alteration, and a specific description of the alteration.

Table with columns: ISSUED FOR, PRELIMINARY DRAWING, FOR OWNER REVIEW, FOR BUILDING PURPOSES, FOR CONSTRUCTION, AS BUILT DRAWINGS. Includes a REVISIONS table with columns: NO., DATE, DESCRIPTION.

PROJECT NO. 2023-259  
DATE 01-23-24  
SCALE AS NOTED  
DRAWN BY S.A.S. M.Z.



SEAL  
LIC. # 081273-1  
MARK ANTHONY HAINSTER, P.E.  
1583 BELLEME AVE. BELLEME, NY, 11710

FLOOR PLANS

PROJECT  
RAUCHER RESIDENCE  
328 ARCHER STREET  
FREEPORT, NY 11520

DRAWING NO.  
A2.0

SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

ICBOIS 2020) EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).

ICBOIS 2020) EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).

ICBOIS 2020) EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).

ICBOIS 2020) EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).

ICBOIS 2020) EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).

ICBOIS 2020) EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).

ICBOIS 2020) EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).

ICBOIS 2020) EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).  
EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE CLEAR HEIGHT SHALL BE NOT LESS THAN 66 INCHES (1676 MM) (EXCEPTION: SEE CODE SECTION E703.2.2).

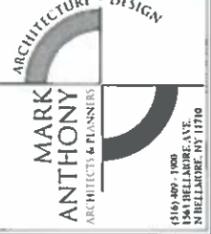
ALL DIMENSIONS ARE TO BE FIELD VERIFIED

All Drawings, Specifications and the design expressed herein are the sole property of Mark Anthony Architects. They are to be used only with respect to this Project and are not to be copied or reproduced without written permission of Mark Anthony Architects. The architect shall be held harmless for any damages, including under the direction of a licensed architect, to alter in any way, if an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

ISSUED FOR:  
 PRELIMINARY DRAWING FOR OWNER'S REVIEW  
 FOR BIDDING PURPOSES  
 FOR BUILDING DEPT.  
 FOR CONSTRUCTION  
 AS BUILT DRAWINGS

NO.	DATE	DESCRIPTION

PROJECT NO. 20230259  
 DATE 01/23/24  
 SCALE AS NOTED  
 DRAWN BY S.A.S.M.Z.



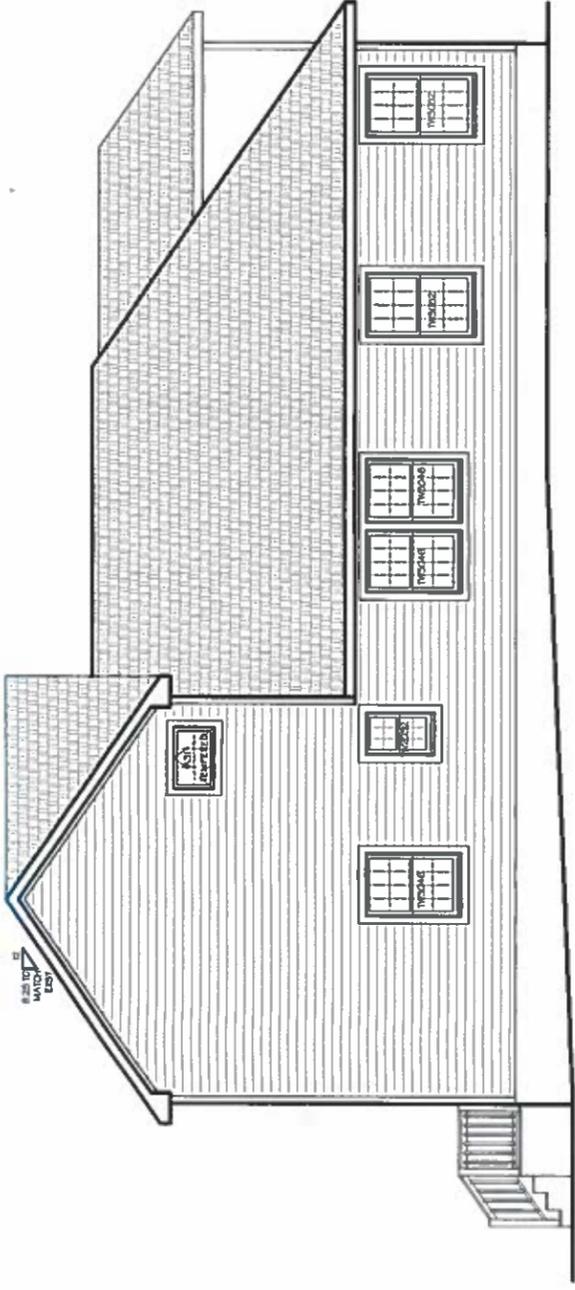
SEAL:  
 LIC # 007277-A  
 MARK ANTHONY ARCHITECTS & PLANNERS  
 1341 BELLMORE AVE. BELLMORE, NY 11710

DRAWING:  
**ELEVATIONS**

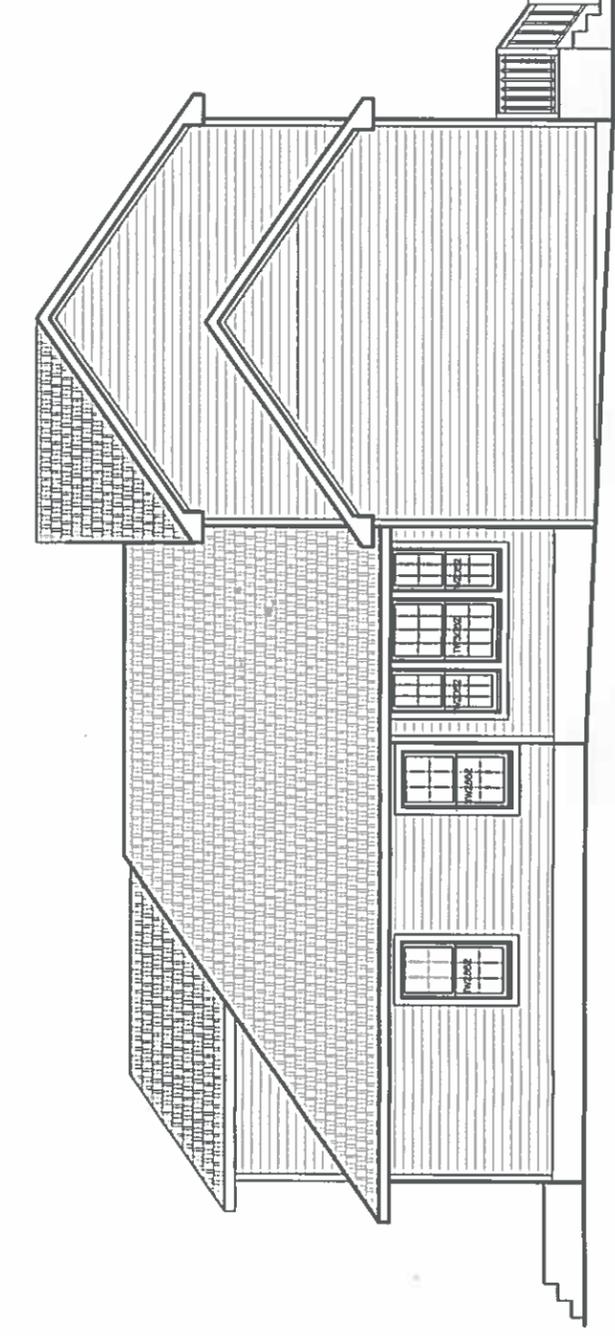
PROJECT:  
**RAUCHER RESIDENCE**  
 32B ARCHER STREET  
 FREEPORT, NY 11520

D.O.B. I.D.#  
 DRAWING NO.

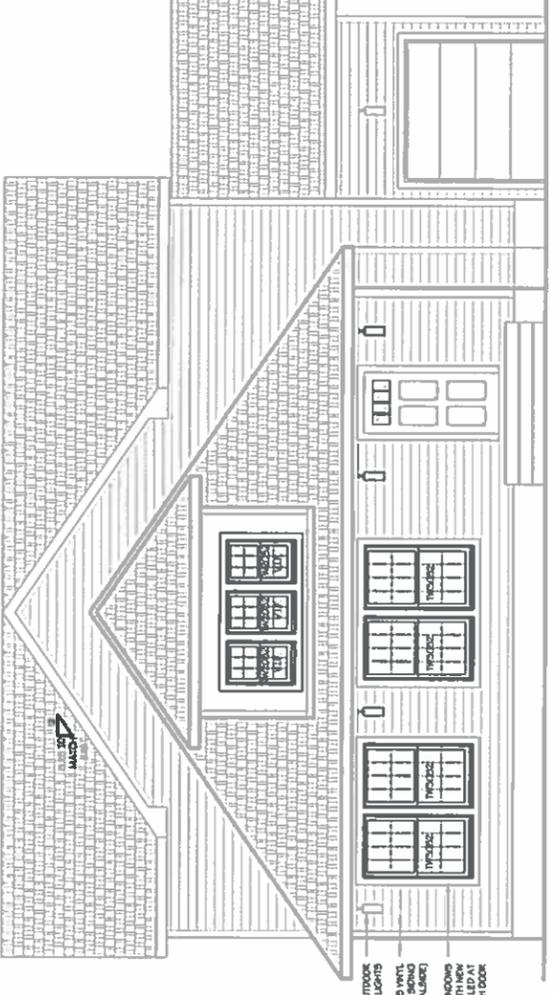
**A3.0**



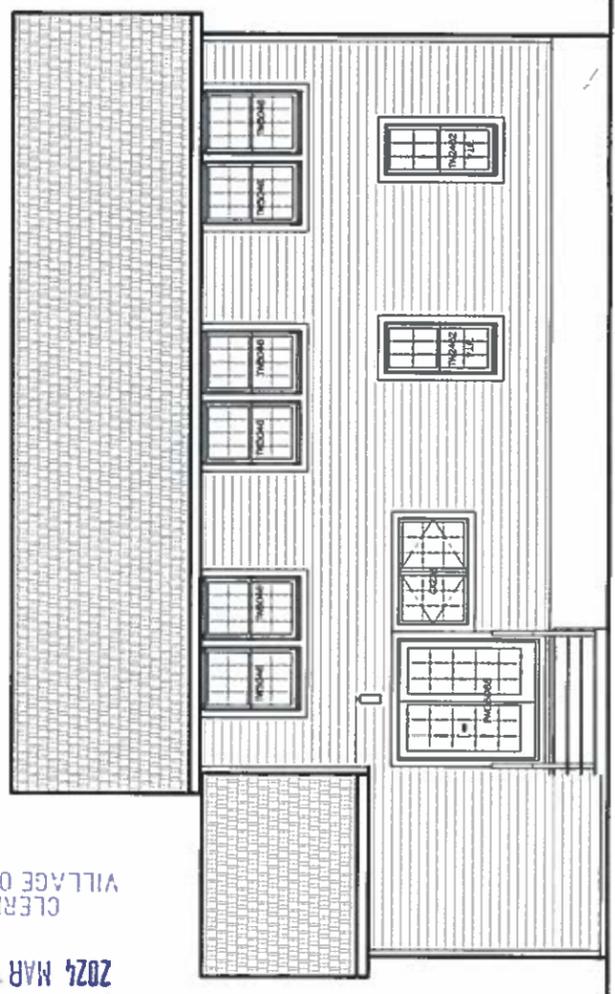
**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



**SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"



**SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"

HAND-PAINTED OUTDOOR SCENE LIGHTS  
 GLAZER WHITE 45 WHTL. SOND  
 (MARK ACTURES / LOGIC)  
 FRONT EXISTING WINDOWS TO BE REPLACED WITH NEW 6'-8" TO MATCH DOOR

RECEIVED  
 2024 MAR 19 P 3:14  
 CLERK'S OFFICE  
 VILLAGE OF FREEPORT, NY









Application Date: 3/20/24  
Fees Paid: \$205.00

SP# 3718

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 10 Norton St Freeport ZONING DISTRICT Residence A  
SECTION 62 BLOCK 96 LOT 204 LOT SIZE: 204

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> <b>APPLICANT</b>	<input type="checkbox"/> LESSEE	<b>PROPERTY OWNER</b>
Name: <u>SAME as owner</u>		Name: <u>Francisco Leger</u>	
Address:		Address: <u>10 Norton St</u> <u>Freeport, NY 11520</u>	
Telephone #:		Telephone #: <u>347-284-2437</u>	

Attorney Name: \_\_\_\_\_ Address: 10 Norton St  
(optional) Phone #: \_\_\_\_\_ Freeport, NY 11520

Present Land Use: \_\_\_\_\_ Proposed Land Use: Residential

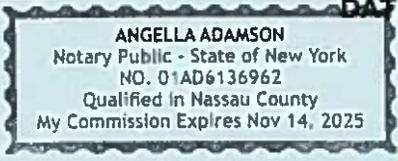
Description of Proposed Work: Repair fire damage change windows

I request a preliminary meeting: \_\_\_ YES \_\_\_  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  
\_\_\_\_\_  YES \_\_\_\_\_ NO

[Signature] \_\_\_\_\_ 03-14-2024  
APPLICANT'S SIGNATURE DATE

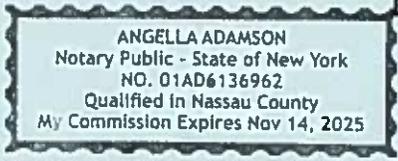
Sworn to before me this 14  
day of March, 2024  
[Signature]  
Notary Public



Property Owner's Consent: \_\_\_\_\_ am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature] \_\_\_\_\_ 03-14-2024  
PROPERTY OWNER'S SIGNATURE DATE

Sworn to before me this 14  
day of March, 2024  
[Signature]  
Notary Public



FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: ___ YES ___ NO	Date of Hearing: _____
Village Clerk's Signature: _____	Date of Decision: _____
Planning Board Signature: _____	Approved _____ Denied _____
	Date: _____
	Date: _____



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**  
March 12, 2024

Francisco Leger  
10 Norton St  
Freeport , NY 11520

**RE: 10 Norton St Freeport, NY 11520**  
**Zoning District – Residence A Sec. 62 Blk. 96 , Lot 204**  
**Building Permit Application #20233275**  
**Description– Fire damage repair. Change of windows.**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

VILLAGE OF FREEPORT, NY  
CLERK'S OFFICE

2024 MAR 20 1 P 3:06

RECEIVED

c: Village Clerk

ZBA Approval Needed: Yes\_\_ No\_X\_\_

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20233275

Location: 10 Norton St Freeport, NY 11520

Applicant: Francisco Leger

Description: Fire damage repair. Change of windows.

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: March 12, 2024

*Sergio A. Mauras*

VILLAGE OF FREEPORT, NY  
CLERK'S OFFICE

Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

RECEIVED

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: REPAIR FIRE DAMAGE							
Project Location (describe, and attach a location map): 10 NORTON ST FREEPORT NY 11520							
Brief Description of Proposed Action: REPAIR FIRE DAMAGE.		<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: auto;"> <p style="margin: 0;">RECEIVED</p> <p style="margin: 0;">MAY 05 2023</p> <p style="margin: 0;">FREEPORT BUILDING DEPT.</p> </div>					
Name of Applicant or Sponsor: MIKE NATA (CAPTAIN PERMIT)		Telephone: (516) 513-8838.					
		E-Mail: info@captainpermit.com					
Address: 245 RT 109							
City/PO: WEST BABYLON		State: NY	Zip Code: 11704				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">NO</td> <td style="width: 50%; text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Village of Freeport Building Department			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">NO</td> <td style="width: 50%; text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3.a. Total acreage of the site of the proposed action? _____ acres							
b. Total acreage to be physically disturbed? _____ acres							
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres							
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?  b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?  b. Are public transportation service(s) available at or near the site of the proposed action?  c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?  b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?  AE-8'	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

RECEIVED  
MAY 2007  
FREEPORT BUILDING DEPT.

VILLAGE OF FREEPORT NY  
ENGINEERING OFFICE  
2007 MAR 20 10 3 07

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> Applicant/sponsor name: <u>MICHAEL CAPTAIN DEWITT</u> Date: <u>4/24/23</u> Signature: <u>[Signature]</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

N/A

	VILLAGE OF FREEPORT, NY	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	01	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	03	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	01	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

RECEIVED  
 2024 MAR 20 1 P 3: 07  
 CLERK'S OFFICE  
 VILLAGE OF FREEPORT, NY

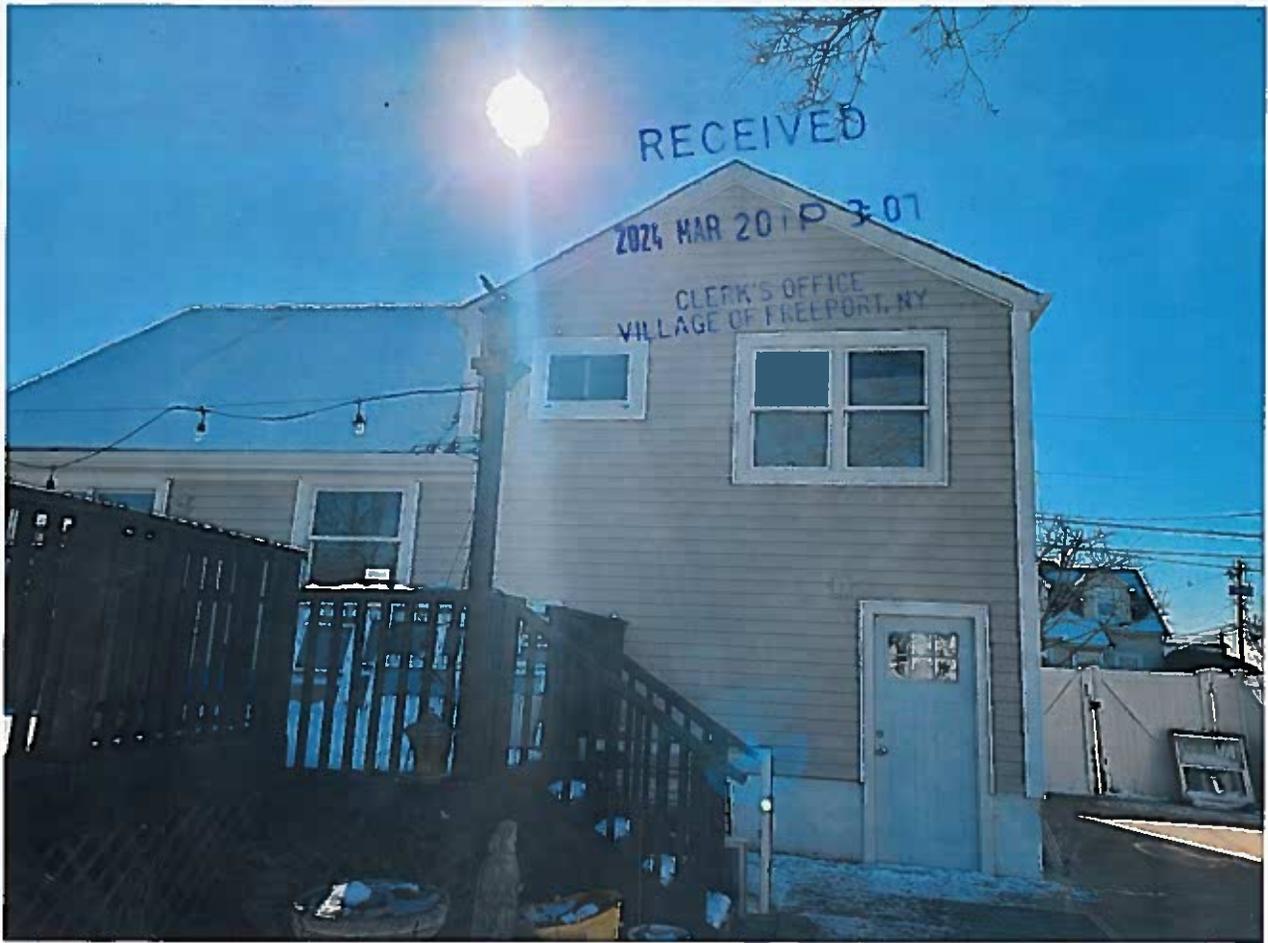
RECEIVED  
 MAY 05 2023  
 FREEPORT BUILDING DEPT.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
<hr/>	
Name of Lead Agency	Date
<hr/>	
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
<hr/>	
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

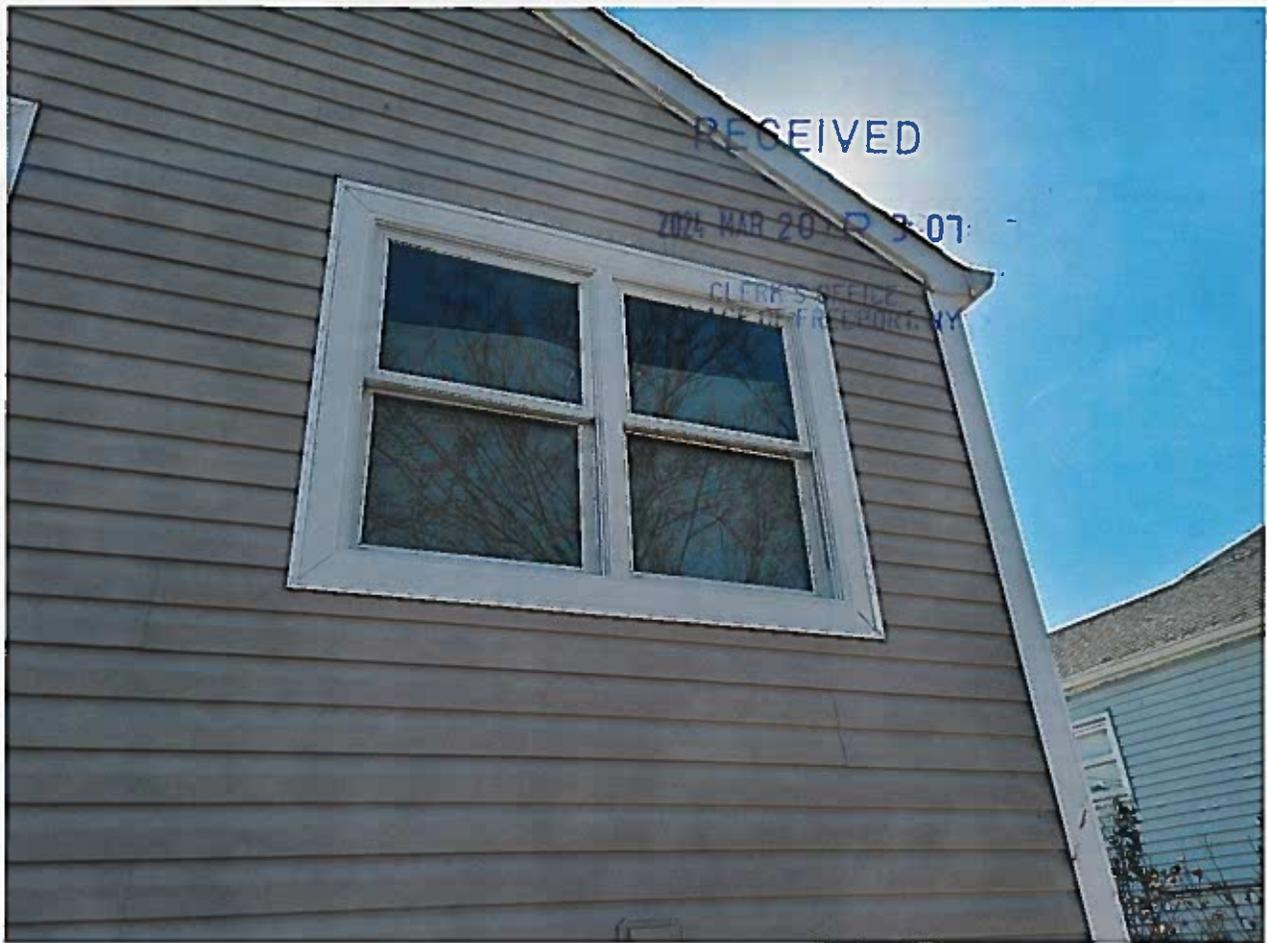


10 NOKATON 25



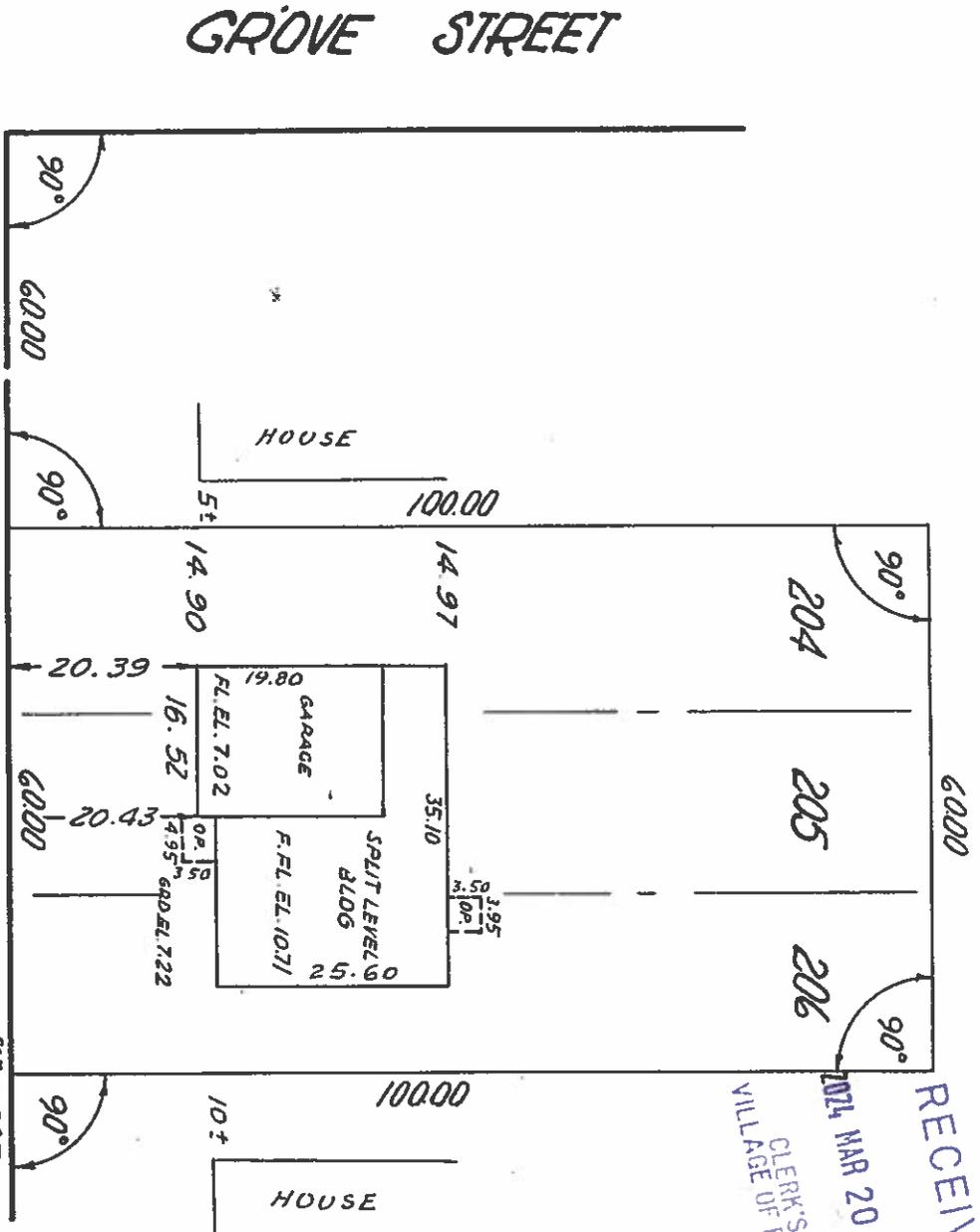






DRAWN	CHECKED	DATE	SEC.
R.H.B	J.D.C	8-18-54	BLK.
M.W.	J.D.C	9-16-54	FILE NO.
			JOB NO.
			26952

RECEIVED  
 2021 MAR 20 1 P 3 07  
 CLERK'S OFFICE  
 VILLAGE OF FREEPORT, N.Y.



EST. EL. 5.70  
 ACT. EL. 5.76

EST. EL. 5.53  
 ACT. EL. 5.32

EST. EL. 5.85  
 ACT. EL. 5.88

EST. EL. 5.68  
 ACT. EL. 5.73

EST. EL. 5.53 +  
 ACT. EL. 5.69

EST. EL. 5.68  
 ACT. EL. 5.71

CONC. CURB

4' CONC. WALK

# 10 NORTON STREET

GUARANTEED TO:  
 TITLE GUARANTEE & TRUST CO.  
 DIME SAVINGS BANK OF  
 BROOKLYN  
 VETERANS ADMINISTRATION  
*Baldwin & Cornelli Co*  
*By John D. Prueck*

NOTE:  
 WATER, GAS, ELEC., SEWER IN ST.  
 NO HOUSE No  
 LOCATIONS TO FOUND.  
 ST. UNDER CONST.

RE-DATED: DEC. 30, 1954  
 RE-DATED: SEPT. 15, 1954  
 LOTS NO. 204-206 INCL.  
 MAP OF  
 FREEPORT GABLES  
 FREEPORT,  
 N.Y.

SURVEYED AUGUST 14, 1954  
 BALDWIN & CORNELIUS CO.  
 CIVIL ENGINEERS & SURVEYORS  
 LICENSE NO. 793 & 527  
 FREEPORT, L.I., N.Y.  
 SCALE 1" = 20' N.Y. STATE STANDARD

GROVE STREET

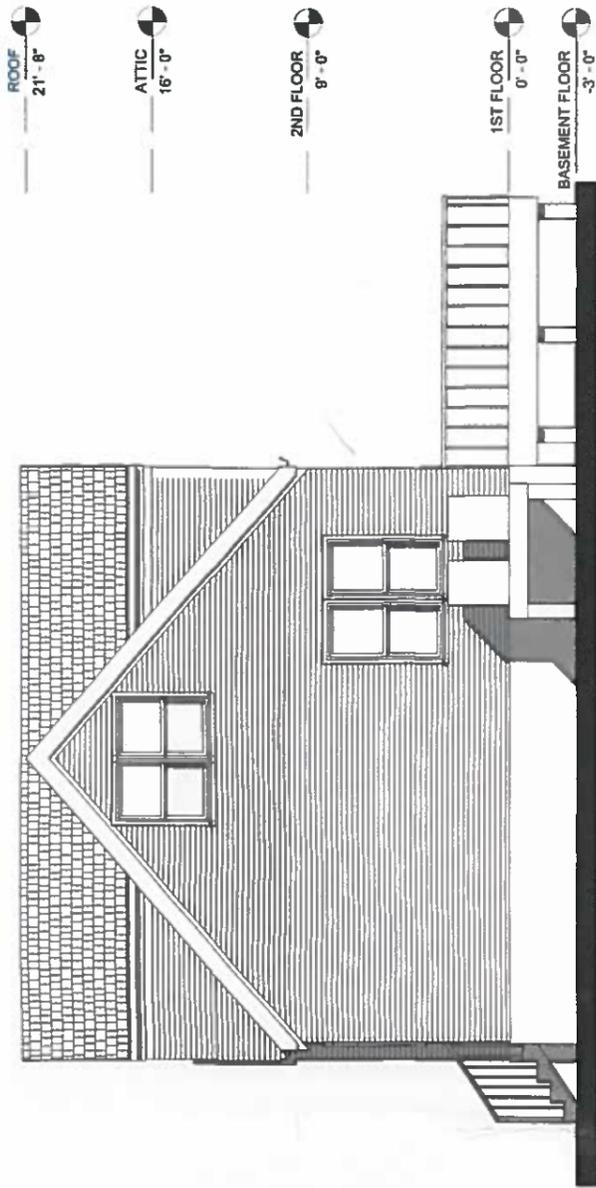
51-B

Company:

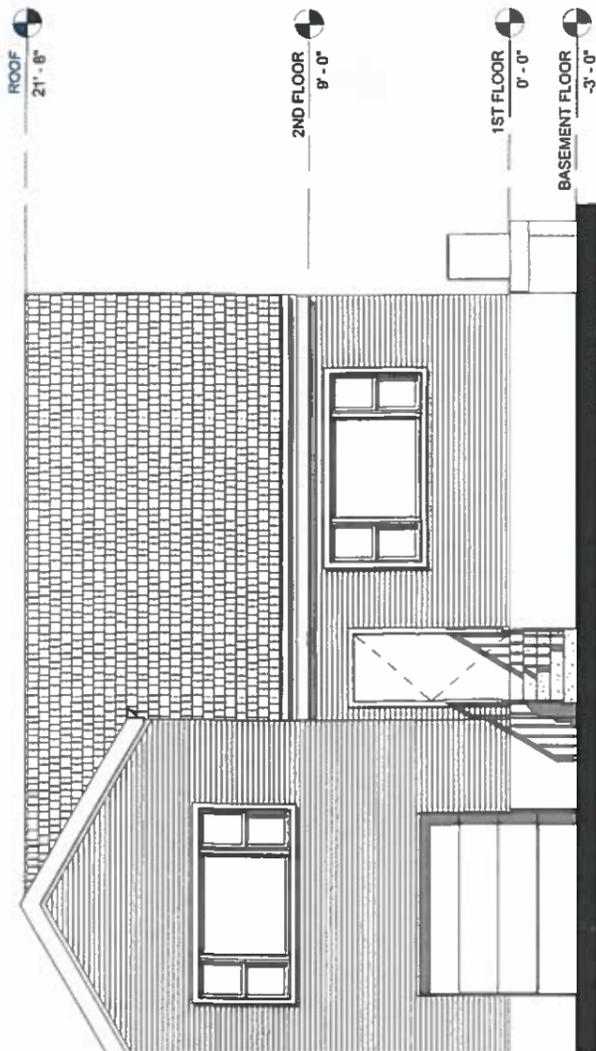
Blackstone Construction Builders LLC  
358 Rocky Rapids Rd  
Stamford CT 06903  
T 914-713-5217

Architect:

Urban Office Architecture  
34 Sprain Rd  
Hartsdale NY 10530  
Carlo Frugiuele, RA  
T: 917-287-8594  
W: www.carlozoarchitecture.com  
E: urbanoofficearchitecture.com

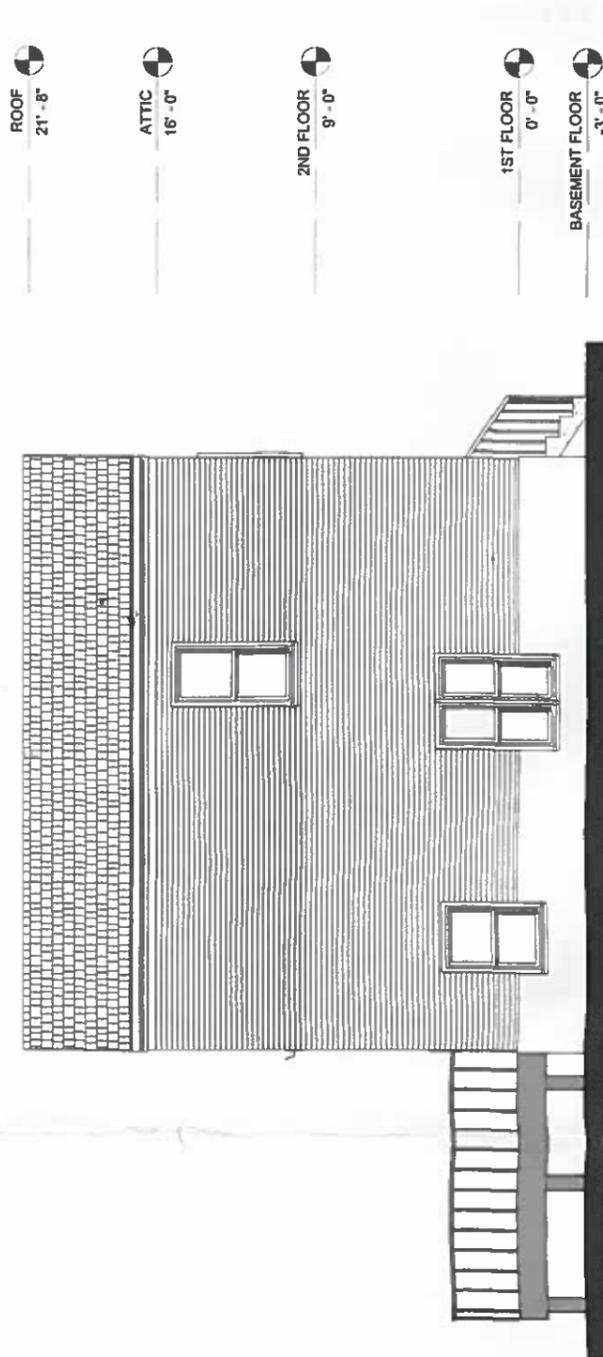


2 East Elevation  
1/4" = 1'-0"



South Elevation  
1/4" = 1'-0"

10 NORTON ST.



3 West Elevation  
1/4" = 1'-0"



North Elevation  
1/4" = 1'-0"

AMENDMENTS	DATE
AMENDMENTS	02/15/2024
AMENDMENTS	04/26/2023
DC08 SET	12/12/2022

Notes:  
1. All work shall be verified by the Architect prior to construction.  
2. All Change Orders and Construction Change Orders shall be approved by the Architect prior to construction.  
3. General Contract to submit (3) sets of drawings to the Architect for approval at all specified times and dates.

10 NORTON STREET  
FREEPORT, NY 11520

ELEVATIONS



RECEIVED  
2024 MAR 20 1 P 3 07  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



Application Date: 3/21/2024  
 Fees Paid: \$225.00

SP# 3719

**INCORPORATED VILLAGE OF FREEPORT  
 SITE PLAN REVIEW APPLICATION  
 PLANNING BOARD**

**NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION**

PROPERTY ADDRESS: 138 WOODSIDE AVE ZONING DISTRICT RESIDENCE-A  
 SECTION 55 BLOCK 362 LOT 465 LOT SIZE: 6250

<input type="checkbox"/> TENANT	<u>APPLICANT</u>	<input type="checkbox"/> LESSEE	<u>PROPERTY OWNER</u>
Name: <u>VINCENT LEMMA</u>			Name: <u>DAVID SANTOS</u>
Address: <u>2135 NEWADWELLS Bellmore, NY 11710</u>			Address: <u>138 WOODSIDE AVE FREEPORT NY 11520</u>
Telephone #: <u>516-805-7644</u>			Telephone #: <u>516-669-2305</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
 (optional) Phone #: \_\_\_\_\_

Present Land Use: RESIDENTIAL Proposed Land Use: RESIDENTIAL

Description of Proposed Work: SECOND FLOOR ADDITION

RECEIVED  
 2024 MAR 21 P 12:19  
 VILLAGE CLERK'S OFFICE  
 FREEPORT, NY

I request a preliminary meeting: \_\_\_ YES X NO

I request a waiver of the public hearing and hereby certify the following:  
 A. The subject property is zoned Residence A or Residence AA.  
 B. The proposed construction is not a new building or dwelling.  
 C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES  NO  
 DATE 3/5/2024

[Signature]  
 APPLICANT'S SIGNATURE  
 Sworn to before me this 5th  
 day of MARCH, 2024  
Rita A. Lemma  
 Notary Public

[Signature]  
 RITA A. LEMMA  
 NOTARY PUBLIC, STATE OF NEW YORK  
 NO. 30-4800812  
 QUALIFIED IN KASSAU COUNTY  
 MY COMMISSION EXPIRES 12/31/25

**Property Owner's Consent:**  
 I, David Santos am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]  
 PROPERTY OWNER'S SIGNATURE  
 Sworn to before me this 5  
 day of March, 2024  
Heather P. Cathersall  
 Notary Public

3/5/2024  
 HEATHER P. CATHERSALL  
 NOTARY PUBLIC-STATE OF NEW YORK  
 No. 01CA6319814  
 Qualified in Queens County  
 My Commission Expires 08-29-2027

**FOR VILLAGE USE ONLY**

Site Plan Public Hearing Required: ___ YES ___ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



RECEIVED

2024 MAR 21 P 12:19

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

ROBERT T. KENNEDY  
MAYOR

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**

**February 22, 2024**

David Santos  
138 Woodside Ave  
Freeport, NY 11520

**RE: 138 Woodside Ave, Freeport, NY 11520**

**Zoning District: Residence A Sec 55, Blk 362, Lot 465**

**Building Permit Application #20243620**

**Description: Second floor addition (745 Sq. Ft) and new portico (56.02 Sq. Ft)**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

  
Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

cc: Village Clerk

ZBA Approval Needed: Yes \_ No\_X\_

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

RECEIVED

Notice

2024 MAR 21 P 12: 17

X Negative Declaration

CLERK'S OFFICE  
Positive Declaration  
VILLAGE OF FREEPORT, NY

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20243620

Location : 138 Woodside Ave , Freeport, NY 11520

Applicant: David Santos

Description : Second floor addition (745 Sq. Ft) and new portico (56.02 Sq. Ft)

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_  
\_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

\_\_\_\_\_  
\_\_\_\_\_

Dated: February 22, 2024

*Sergio A. Mauras*

\_\_\_\_\_  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

RECEIVED

2024 MAR 21 P 12:19

617.20  
Appendix B

Short Environmental Assessment Form

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: SANTOS RESIDENCE - SECOND FLOOR ADDITION			
Project Location (describe, and attach a location map): 136 WOODSIDE AVE FREEPORT NY 11520			
Brief Description of Proposed Action: SECOND FLOOR ADDITION WITH (1) BATH			
Name of Applicant or Sponsor: DAVID SANTOS		Telephone:	
		E-Mail: DS2191218@GMAIL.COM	
Address: 136 WOODSIDE AVE			
City/PO: FREEPORT		State: NY	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO X YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO X YES
3.a. Total acreage of the site of the proposed action?		.14 acres	
b. Total acreage to be physically disturbed?		.07 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.14 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

RECEIVED

2024 MAR 21 P 12:19

<p>5. Is the proposed action,  a. A permitted use under the zoning regulations?  b. Consistent with the adopted comprehensive plan?</p>	<p>NO  <input type="checkbox"/>  <input type="checkbox"/></p>	<p>YES  <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/></p>	<p>N/A  <input type="checkbox"/>  <input type="checkbox"/></p>
<p>6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?  VILLAGE OF FREEPORT, NY</p>	<p>NO  <input type="checkbox"/></p>	<p>YES  <input checked="" type="checkbox"/></p>	
<p>7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?  If Yes, identify: _____</p>	<p>NO  <input checked="" type="checkbox"/></p>	<p>YES  <input type="checkbox"/></p>	
<p>8. a. Will the proposed action result in a substantial increase in traffic above present levels?  b. Are public transportation service(s) available at or near the site of the proposed action?  c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?</p>	<p>NO  <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/></p>	<p>YES  <input type="checkbox"/>  <input type="checkbox"/>  <input type="checkbox"/></p>	
<p>9. Does the proposed action meet or exceed the state energy code requirements?  If the proposed action will exceed requirements, describe design features and technologies:  _____</p>	<p>NO  <input type="checkbox"/></p>	<p>YES  <input checked="" type="checkbox"/></p>	
<p>10. Will the proposed action connect to an existing public/private water supply?  [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES]  If No, describe method for providing potable water: _____</p>	<p>NO  <input type="checkbox"/></p>	<p>YES  <input checked="" type="checkbox"/></p>	
<p>11. Will the proposed action connect to existing wastewater utilities?  [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES]  If No, describe method for providing wastewater treatment: _____</p>	<p>NO  <input type="checkbox"/></p>	<p>YES  <input checked="" type="checkbox"/></p>	
<p>12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?  b. Is the proposed action located in an archeological sensitive area?</p>	<p>NO  <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/></p>	<p>YES  <input type="checkbox"/>  <input type="checkbox"/></p>	
<p>13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?  If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____</p>	<p>NO  <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/></p>	<p>YES  <input type="checkbox"/>  <input type="checkbox"/></p>	
<p>14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:  <input type="checkbox"/> Shoreline    <input type="checkbox"/> Forest    <input type="checkbox"/> Agricultural/grasslands    <input type="checkbox"/> Early mid-successional  <input type="checkbox"/> Wetland    <input type="checkbox"/> Urban    <input checked="" type="checkbox"/> Suburban</p>			
<p>15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?</p>	<p>NO  <input checked="" type="checkbox"/></p>	<p>YES  <input type="checkbox"/></p>	
<p>16. Is the project site located in the 100 year flood plain?</p>	<p>NO  <input checked="" type="checkbox"/></p>	<p>YES  <input type="checkbox"/></p>	
<p>17. Will the proposed action create storm water discharge, either from point or non-point sources?  If Yes,  a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES  b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?  If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</p>	<p>NO  <input checked="" type="checkbox"/></p>	<p>YES  <input type="checkbox"/></p>	

AS SWORN TO before  
me this 5th day of March  
2024

NOTARY PUBLIC-STATE OF NEW YORK  
No. 01CA6319814  
Qualified in Queens County  
My Commission Expires 08-29-2027

*Matthew P. Cathrall*

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: DAVID SAMOJ Date: 12/11/23  
Signature: [Signature] 3/5/2024

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

RECEIVED

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

RECEIVED  
 2024 MAR 21 P 12: 20  
 CLERK'S OFFICE  
 VILLAGE OF FREEPORT, NY

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

RECEIVED

2024 MAR 21 P 12:20

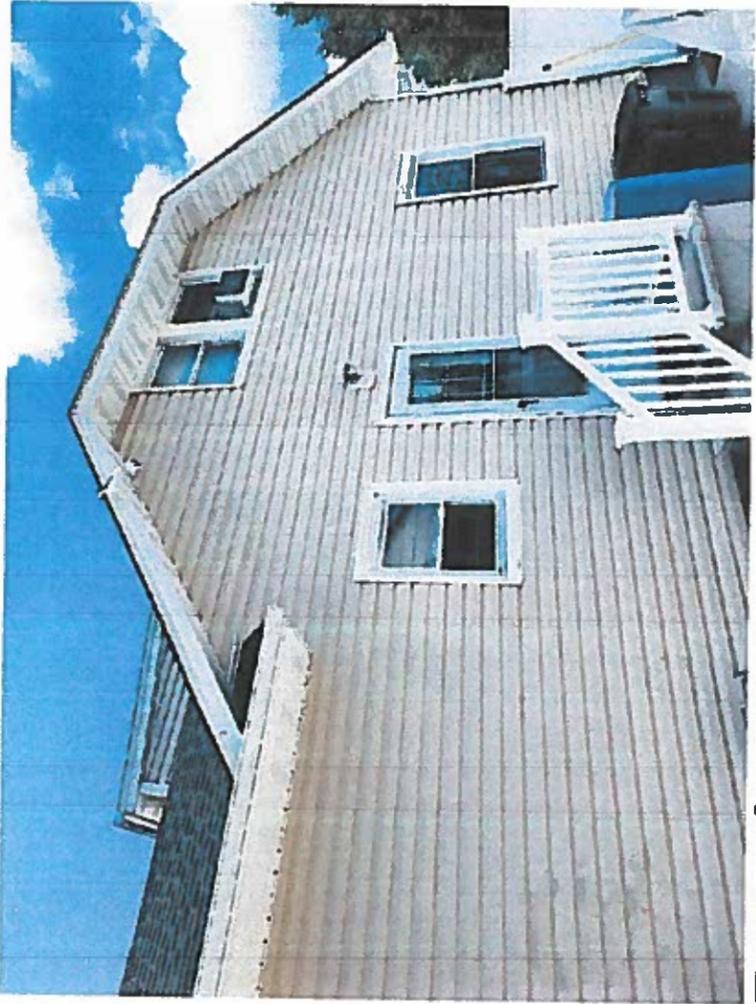
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



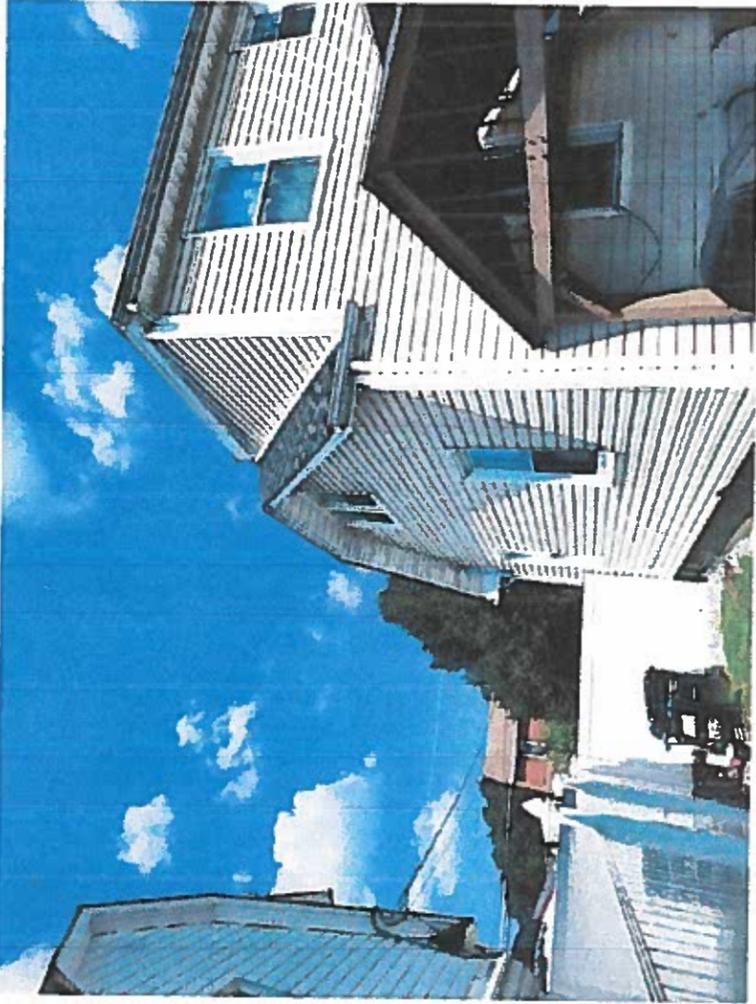
RECEIVED

2024 MAR 21 P 12:20

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



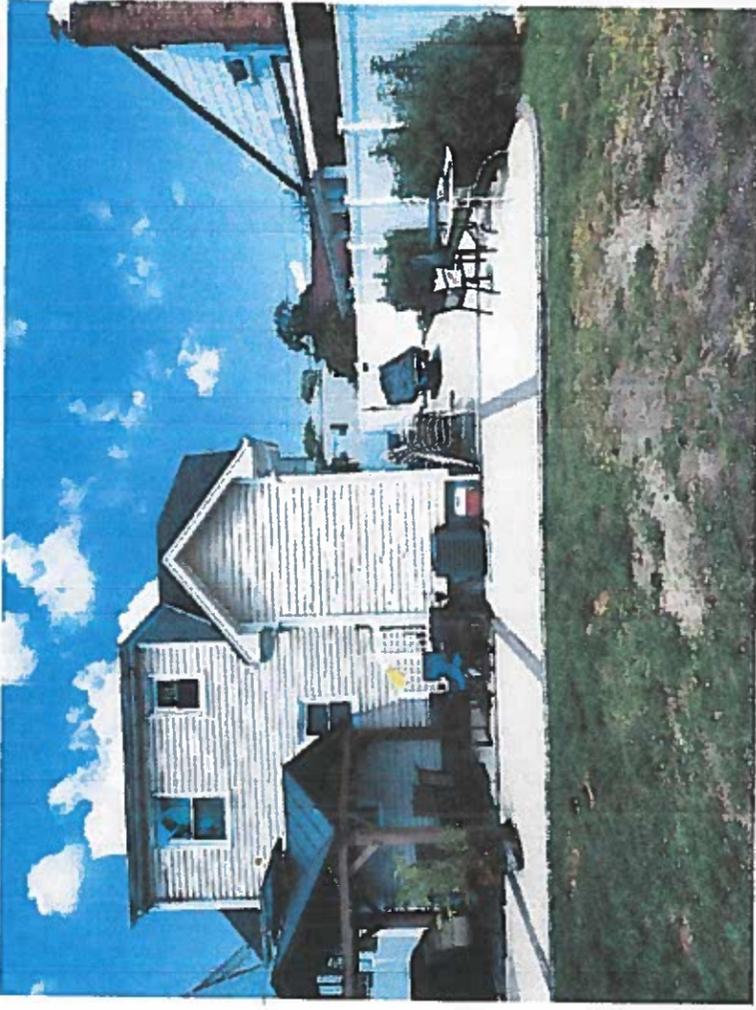
**East Elevation**



**West Elevation**



**North Elevation**



**South Elevation**

138 Woodside Ave Freeport NY 11520



146 Woodside Ave, Freeport, NY 11520



136 Woodside Ave, Freeport, NY 11520



137 Woodside Ave, Freeport, NY 11520



133 Woodside Ave, Freeport, NY 11520

2024 MAR 21 P 12: 20

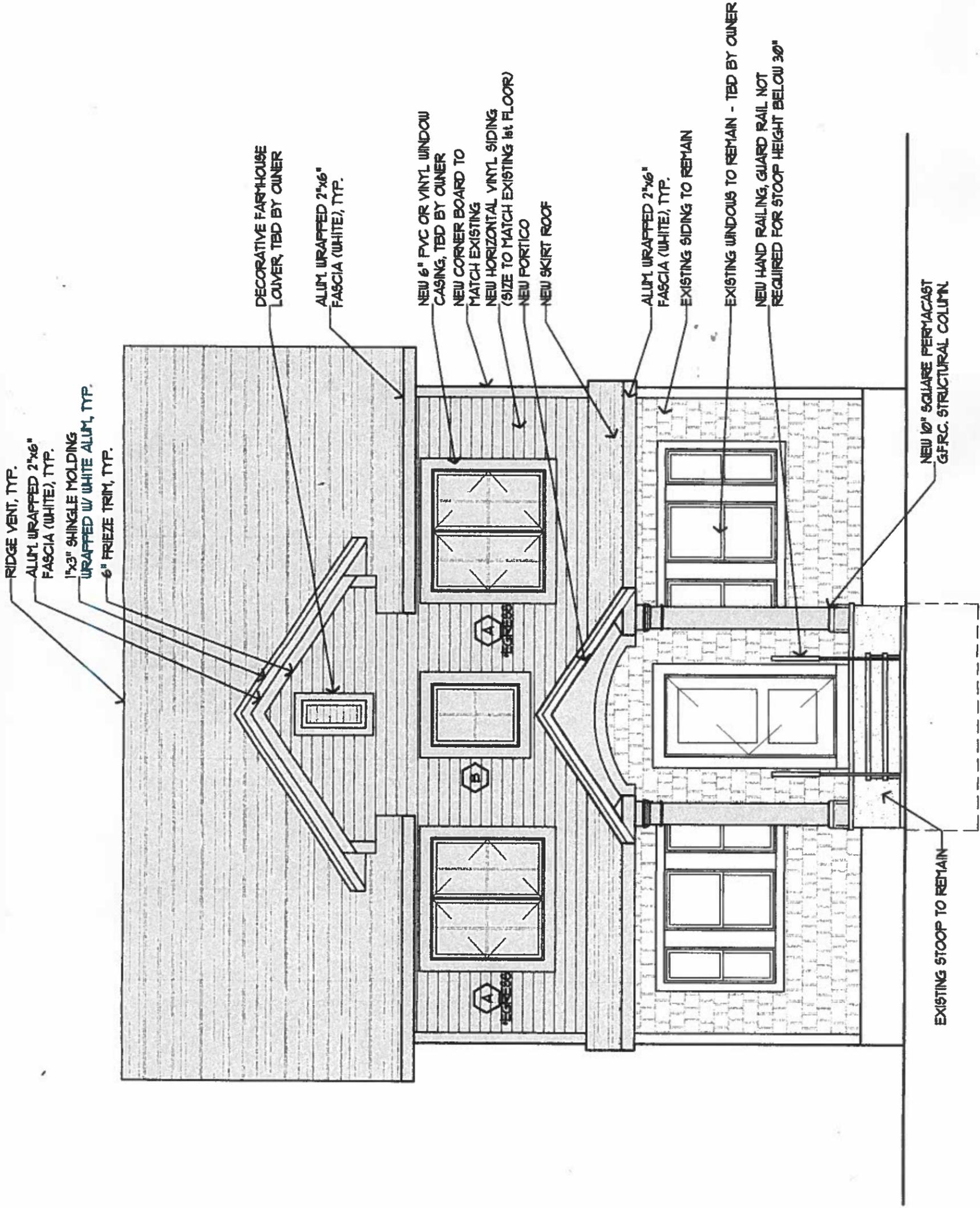
RECEIVED



RECEIVED

2024 MAR 21 P 12:21

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



**2 PROPOSED NORTH ELEVATION**

A2.00 SCALE: 1/4" = 1'-0"

RECEIVED

2024 MAR 21 P 12:21  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

RIDGE VENT, TYP.  
ALUM. WRAPPED 2"x6" FASCIA (WHITE), TYP.  
1"x3" SHINGLE MOLDING WRAPPED W/ WHITE ALUM., TYP.  
6" FRIEZE TRIM, TYP.

NEW 1"x8" BAND TRIM PVC OR ALUM. WRAPPED TBO BY CONTRACTOR

NEW 1"x8" BELLY BAND TRIM PVC OR ALUM. WRAPPED TBO BY CONTRACTOR

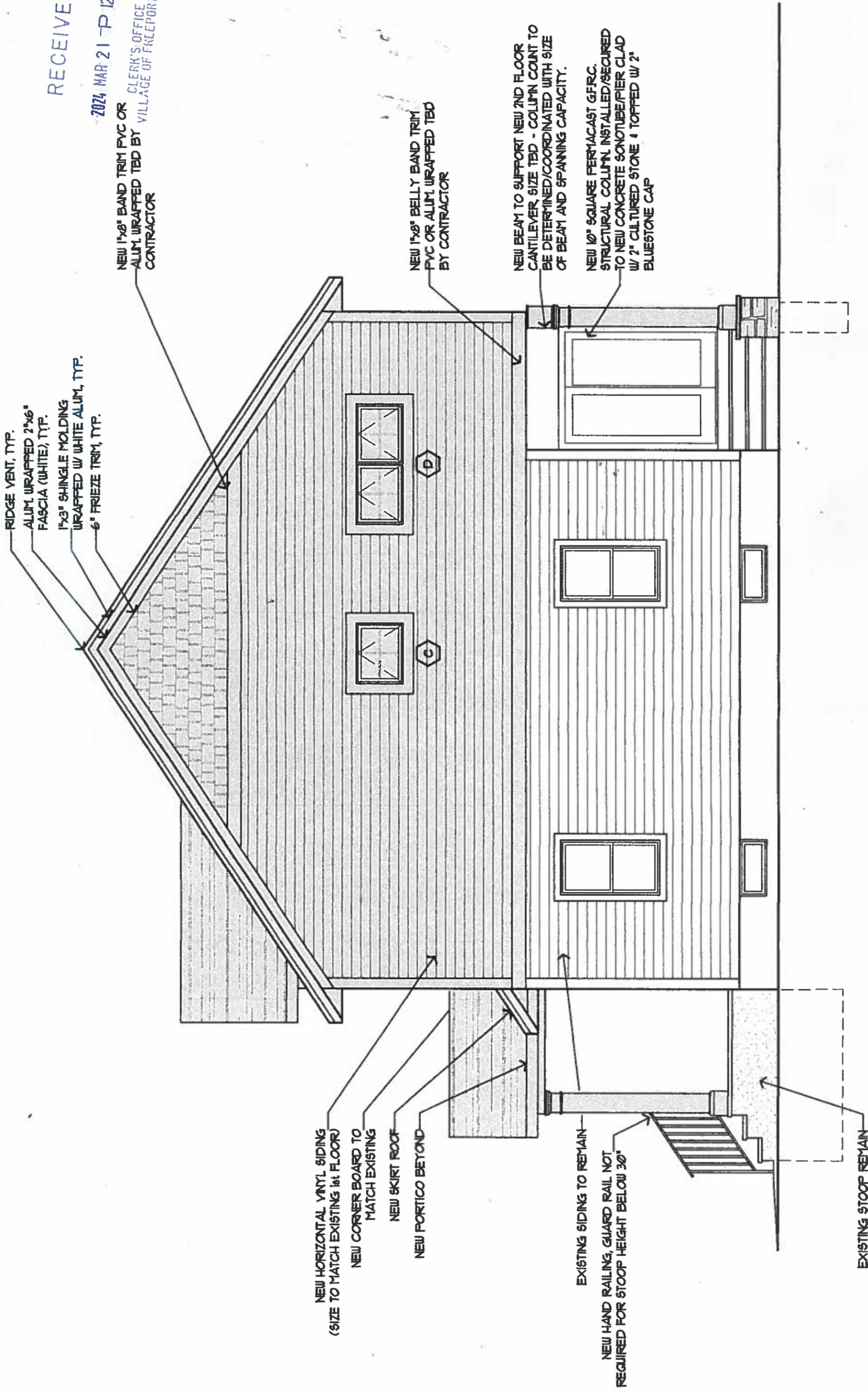
NEW BEAM TO SUPPORT NEW 2ND FLOOR CANTILEVER, SIZE TBO - COLUMN COUNT TO BE DETERMINED/COORDINATED WITH SIZE OF BEAM AND SPANNING CAPACITY.

NEW 10" SQUARE FERMACAST GFRC. STRUCTURAL COLUMN INSTALLED/SECURED TO NEW CONCRETE SONOTUBE/PIER CLAD W/ 2" CULTURED STONE & TOPPED W/ 2" BLUESTONE CAP

NEW HORIZONTAL VINYL SIDING (SIZE TO MATCH EXISTING 1st FLOOR)  
NEW CORNER BOARD TO MATCH EXISTING  
NEW SKIRT ROOF  
NEW PORTICO BEYOND

EXISTING SIDING TO REMAIN  
NEW HAND RAILING, GUARD RAIL NOT REQUIRED FOR STOOP HEIGHT BELOW 30"

EXISTING STOOP REMAIN



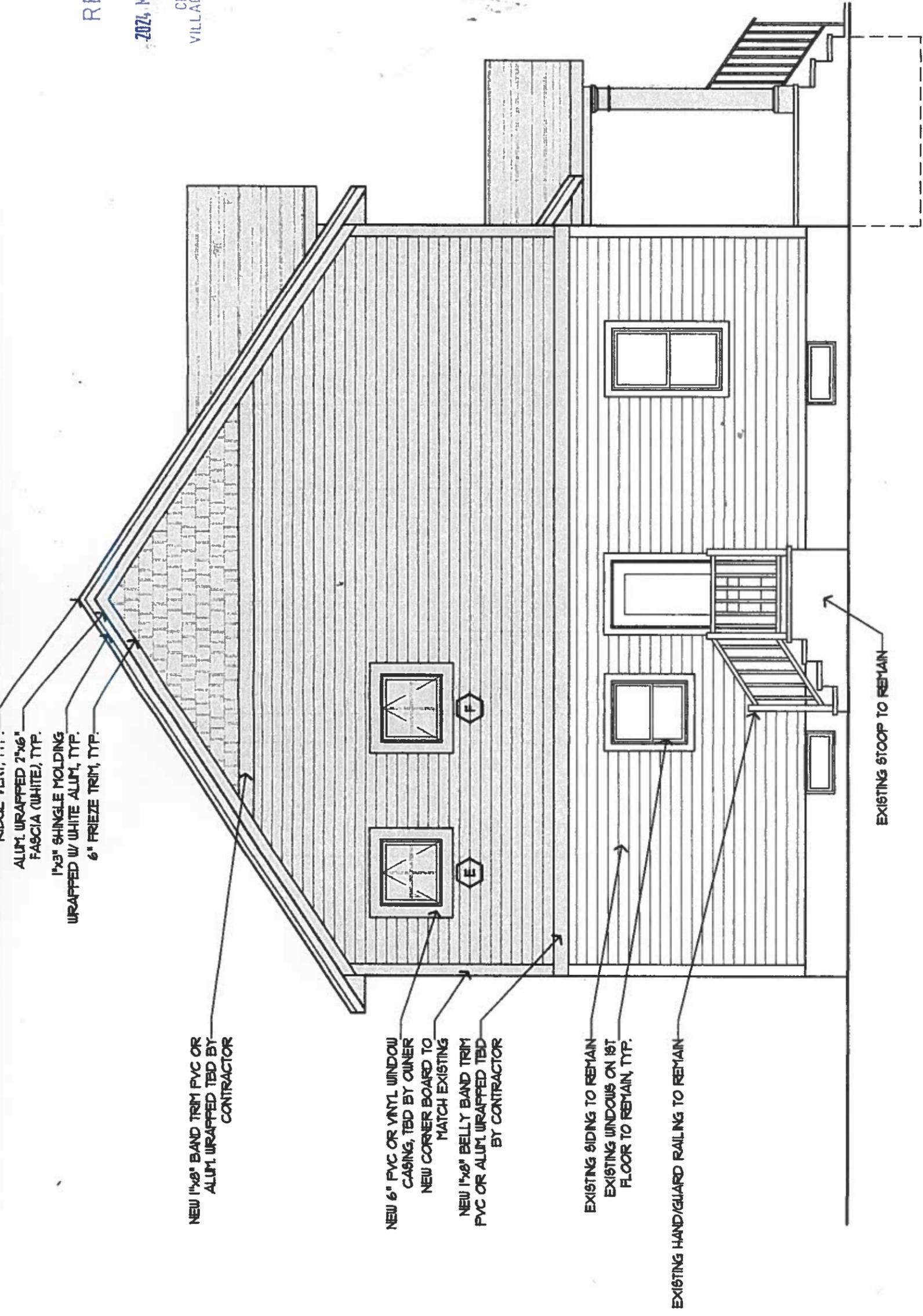
1 PROPOSED WEST ELEVATION

A2.00 SCALE: 1/4" = 1'-0"

RECEIVED

2024, MAR 21 P 12: 21

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



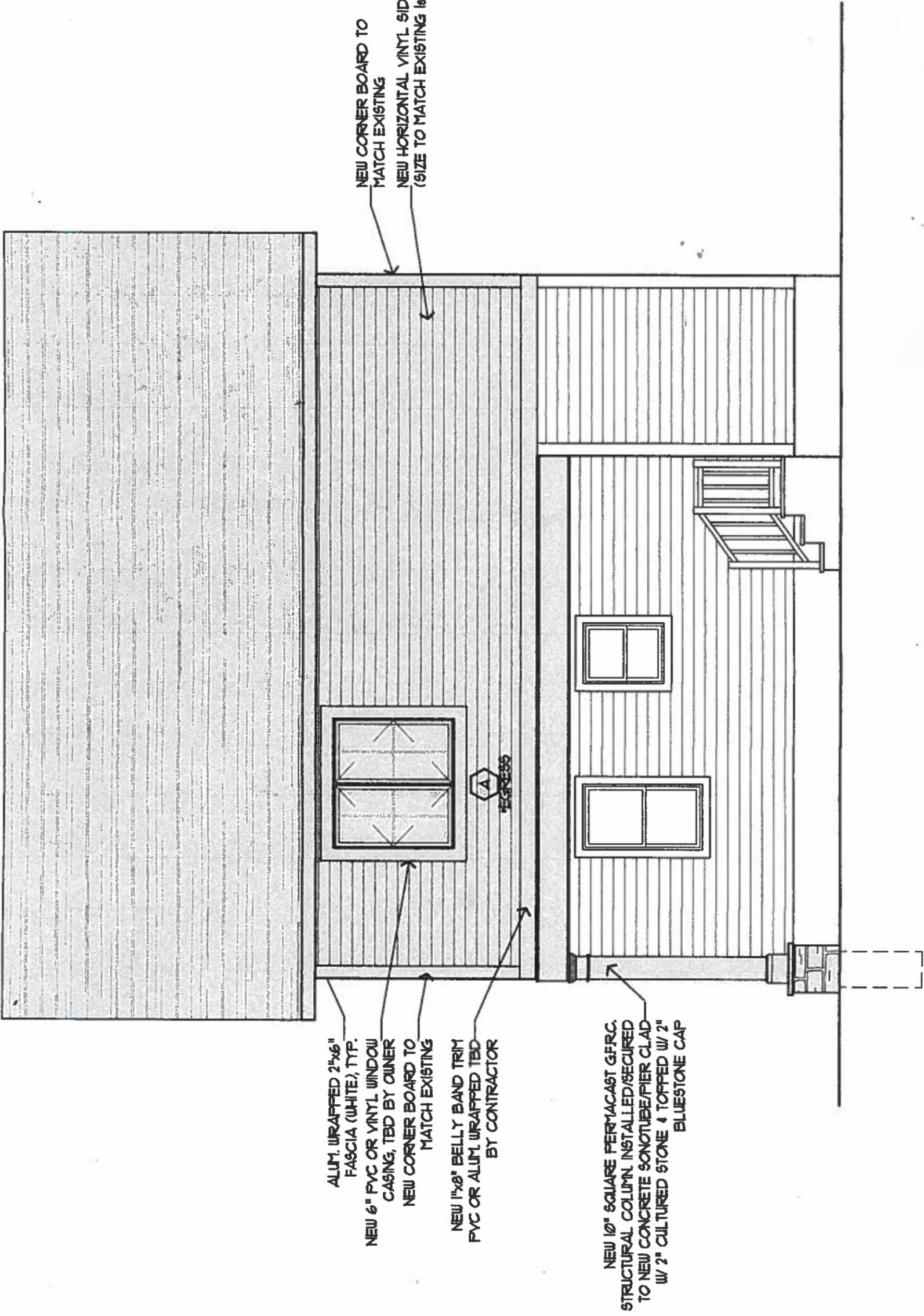
**3 PROPOSED EAST ELEVATION**

A2.00 SCALE: 1/4" = 1'-0"

RECEIVED

2024 MAR 21 P 12:21

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



ALUM. WRAPPED 2"x6"  
FASCIA (WHITE), TYP.  
NEW 6" PVC OR VINYL WINDOW  
CASING, TBD BY OWNER  
NEW CORNER BOARD TO  
MATCH EXISTING  
NEW 1"x8" BELLY BAND TRIM  
PVC OR ALUM. WRAPPED TBD  
BY CONTRACTOR

NEW CORNER BOARD TO  
MATCH EXISTING  
NEW HORIZONTAL VINYL SIDING  
(SIZE TO MATCH EXISTING 1st FLOOR)

NEW 10" SQUARE FERMACAST GFRG.  
STRUCTURAL COLUMN. INSTALLED/SECURED  
TO NEW CONCRETE SONOTUBE/PIER CLAD  
W/ 2" CULTURED STONE & TOPPED W/ 2"  
BLUESTONE CAP

**4 PROPOSED SOUTH ELEVATION**

A2.00 SCALE: 1/4" = 1'-0"

Application Date: 4/1/2024  
Fees Paid: \$225.00

SP# 3721

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 147 SWEETZ AVENUE ZONING DISTRICT RES 'A'  
SECTION 54 BLOCK 202 LOT 137 LOT SIZE: \_\_\_\_\_

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> <b>APPLICANT</b>	<input type="checkbox"/> LESSEE	<b>PROPERTY OWNER</b>
Name:			Name: <u>JACQUELINE VARELA</u>
Address:			Address: <u>382 WEST HENRIK RD</u> <u>FREEPORT, NY 11520</u>
Telephone #:			Telephone #: <u>56 790 7391</u>

Architect  
Attorney Name: LISANDRO ROA  
(optional) Phone #: \_\_\_\_\_

Address: 209 S. BROOKSIDE AVE.  
FREEPORT NY, 11520

Present Land Use: RES.

Proposed Land Use: RES.

Description of Proposed Work: PROPOSED 2ND FLOOR ADDITION; 1ST FLOOR ADDITION @ INTERIOR ALTERATION OF EXISTING DWELLING.

I request a preliminary meeting: \_\_\_\_\_ YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  YES \_\_\_\_\_ NO

Jacqueline Varela  
APPLICANT'S SIGNATURE  
Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

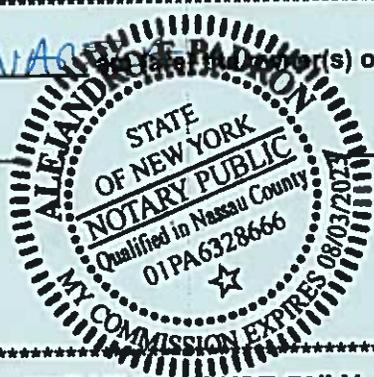
03/27/2024  
DATE

Notary Public

Property Owner's Consent: I, JACQUELINE VARELA (s) of the subject property and consent to the filing of this application.

Jacqueline Varela  
PROPERTY OWNER'S SIGNATURE  
Sworn to before me this 27 day of March, 2024.

3-27-24  
DATE



Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____ CLERK'S OFFICE VILLAGE OF FREEPORT, NY	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____ 2024 APR - 11 A 9 36	Date: _____



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**

**March 7, 2024**

Jacqueline Varela  
147 Sweezy Ave  
Freeport , NY 11520

**RE: 147 Sweezy Ave Freeport, NY 11520**

**Zoning District – Residence A Sec. 54 Blk. 202 Lot 137**

**Building Permit Application #20243635**

**Description– Proposed 2<sup>nd</sup> floor addition (378 Sq.Ft) and 1<sup>st</sup> floor addition (194 Sq.Ft) and interior alterations of existing dwelling**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

c: Village Clerk

VILLAGE OF FREEPORT, NY  
CLERK'S OFFICE

2024 APR - 1 A 9:36

ZBA Approval Needed: Yes  No

RECEIVED

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20243635

Location: 147 Sweezy Ave Freeport, NY 11520

Applicant: Jacqueline Varela

Description: Proposed 2<sup>nd</sup> floor addition (378 Sq.Ft) and 1<sup>st</sup> floor addition (194 Sq.Ft) and interior alterations of existing dwelling

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: March 7, 2024

Sergio A. Mauras

Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

RECEIVED

VILLAGE OF FREEPORT, NY  
CLERK'S OFFICE

APR 1 10 31 AM '24

RECEIVED  
 FEB 8 2024  
 FREEPORT BUILDING DEPT

617.20  
 Appendix B  
 Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project:							
Project Location (describe, and attach a location map): 147 SWEETZ AVE. FREEPORT NY 11520.							
Brief Description of Proposed Action: PROPOSED 2ND STORY ADDITION, TWO STORY ADDITION @ INTERNAL ALTERATION OF EXISTING 2 <del>STORY</del> <sup>STORY</sup> RESIDENCE DWELLING.							
Name of Applicant or Sponsor:		Telephone: 516-790-7391					
		E-Mail:					
Address: 392 West MERLUCK RD.							
City/PO: FREEPORT		State: NY	Zip Code: 11520				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td>X</td> <td></td> </tr> </table>	NO	YES	X	
NO	YES						
X							
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td>X</td> <td></td> </tr> </table>	NO	YES	X	
NO	YES						
X							
3.a. Total acreage of the site of the proposed action?		0.164 acres					
b. Total acreage to be physically disturbed?		_____ acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input type="checkbox"/> Commercial				
<input type="checkbox"/> Forest	<input type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input checked="" type="checkbox"/> Residential (suburban)				
<input type="checkbox"/> Parkland	Other (specify): _____						

RECEIVED

RECEIVED

5. Is the proposed action, a. A permitted use under the zoning regulations? FEB 8 2024 b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

APR 1 9 37 AM '24

RECEIVED

RECEIVED

FEB 9 2024

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Jacqueline Varela</u>		Date: <u>02/08/24</u>
Signature: <u>Jacqueline Varela</u>		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"**

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

RECEIVED

RECEIVED

FEB 8 2024

FREEPORT BUILDING DEPT,

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

---

Name of Lead Agency \_\_\_\_\_ Date \_\_\_\_\_

---

Print or Type Name of Responsible Officer in Lead Agency \_\_\_\_\_ Title of Responsible Officer \_\_\_\_\_

---

Signature of Responsible Officer in Lead Agency \_\_\_\_\_ Signature of Preparer (if different from Responsible Officer) \_\_\_\_\_

2024 APR - 11 A 9 37

RECEIVED

# Application for Erection of Buildings or Alterations

**IMPORTANT** - Applicant to complete all items in sections: I, II, III, IV, V

<b>I. LOCATION OF BUILDING</b>	AT (LOCATION) <u>147 SWEETZ AV.</u> <small>(No.) (Street)</small>	ZONING DISTRICT _____
	BETWEEN <u>SE CORNER SWEETZ AV</u> AND <u>West MERRUCK ROAD</u> <small>(Cross Street) (Cross Street)</small>	
	SECTION <u>S4</u> BLOCK <u>207</u> LOT <u>137</u> APPROX. LOT SIZE <u>98</u> x <u>73</u> LOT AREA <u>7158</u>	

## II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

<b>A. TYPE OF IMPROVEMENT</b>	<b>B. PROPOSED OR EXISTING USE</b>
<input type="checkbox"/> 1 New building <input checked="" type="checkbox"/> 2 Addition-Alteration (If residential, enter number of new housing units added. If non-state none) <input type="checkbox"/> 3 Swimming Pool <input type="checkbox"/> 4 Repair (replacement) <input type="checkbox"/> 5 Bulkhead (New, Repair) <input type="checkbox"/> 6 Fence <input type="checkbox"/> 7 Moving (relocation)	<b>RESIDENTIAL</b> <input checked="" type="checkbox"/> 11 One Family <input type="checkbox"/> 12 Two families <input type="checkbox"/> 13 Apartment - Enter No. of Units _____ <input type="checkbox"/> 14 Transient hotel, motel, or dormitory - Enter No. of Units _____ <input type="checkbox"/> 15 Garage or Accessory Structure <input type="checkbox"/> 16 Other - Specify _____  <b>NON RESIDENTIAL - Complete Part "E"</b> <input type="checkbox"/> 17 Industrial <input type="checkbox"/> 18 Office, bank, professional <input type="checkbox"/> 19 Stores, mercantile <input type="checkbox"/> 20 Church, other religious <input type="checkbox"/> 21 Hospital, Institutional <input type="checkbox"/> 22 Other - Specify _____

<b>C. COST</b>	<b>D. DESCRIPTION OF PROJECT</b>
10 TOTAL COST OF IMPROVEMENT \$ <u>50,000<sup>00</sup></u>	<u>PROPOSED 2<sup>ND</sup> FLOOR ADDITION, TWO STORY ADDITION OF INTERIOR ALTERATIONS OF EXISTING 2 STORY DWELLING.</u>

## III. IDENTIFICATION - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>JACQUELINE VARELA</u>	<u>382 West MERRUCK RD. FREEPORT NY 11520</u>	<u>516 790-7391</u>
2. Contractor			
3. Architect or Engineer	<u>Gene Scamman</u>	<u>919 SHARPLEY, PORT MEADOW NY 11554</u>	<u>516 841-0267</u>

## IV. OWNER - CONTRACTOR STATEMENT

Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law.

Workmen's Compensation Certificate No. \_\_\_\_\_ Company \_\_\_\_\_ Exp. Date \_\_\_\_\_

Contractor or Owner JACQUELINE VARELA  
(Print)

Address 382 West MERRUCK RD.  
(Print)

Phone 516-790-7391  
(Print)

MESHESSNA C LITTLE  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01LI6066956  
Qualified in Nassau County  
My Commission Expires 11-26-20\_\_\_\_  
State of New York

County of Nassau  
Jacqueline Varela  
Being duly sworn, says that Jacqueline Varela is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of her knowledge and belief and agree to conform to all applicable laws of this jurisdiction.  
(His or Her)

Sworn to before me this 8 day  
of February, 2024  
[Signature]

## V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?  
YES \_\_\_\_\_ NO X  
IF YES, WHICH ZONE? \_\_\_\_\_

IS PROJECT TO REPAIR FLOOD DAMAGE?  
YES \_\_\_\_\_ NO X

**PROJECT DESCRIPTION**

Total/First Flr Square Feet	<u>1,065</u>
Upper Flrs Square Feet	<u>1,105</u>
# of Fixtures	<u>14</u>
# of Floors	<u>2</u>

RECEIVED  
 2024 APR -11 A 9 37  
 CLERK'S OFFICE  
 VILLAGE OF FREEPORT, NY

1 147 SWEETZ AV - FRONT



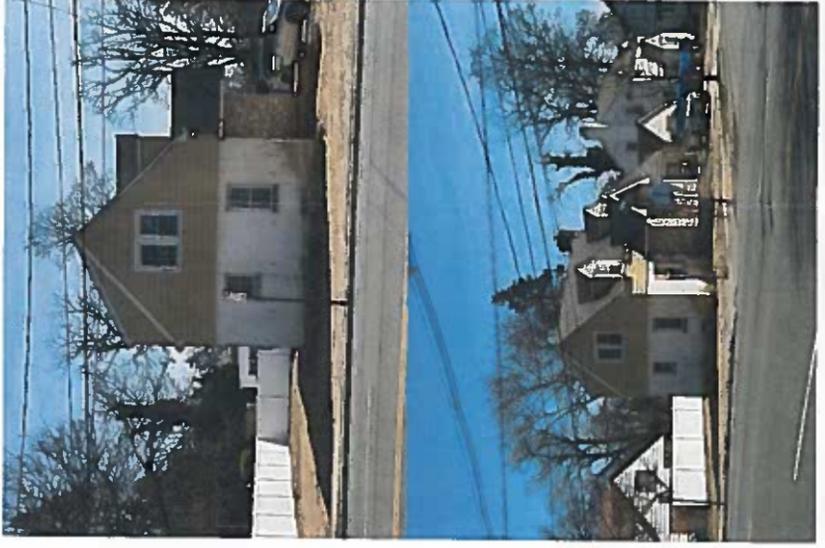
4 147 SWEETZ AV - SIDE



2 WEST MERRICK RD - REAR



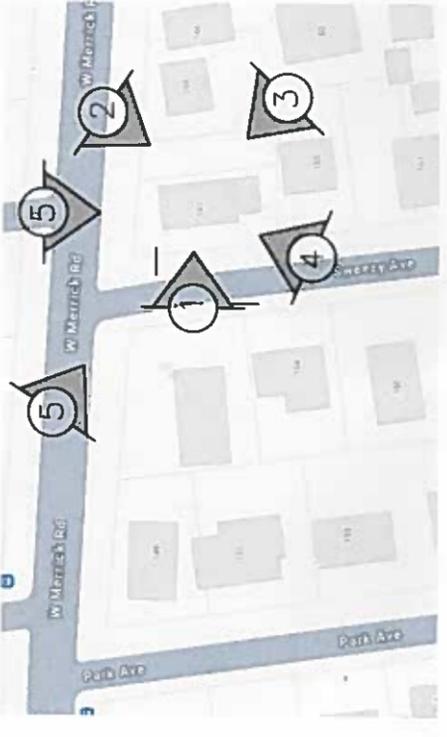
5 WEST MERRICK RD - SIDE



3 REAR YARD



6 AREA MAP



PROPOSED SECOND STORY ADDITION  
 147 SWEZEY AVE, FREEPORT, NY 11520

EXISTING CONDITION - PHOTO LOG

SCALE: AS NOTED  
 DRAW BY: L.R.  
 DATE: 03/30/2024

REV	DATE	DESCRIPTION

SCALE: AS NOTED  
 DRAWN BY: L.R.  
 DATE: 03/30/2024

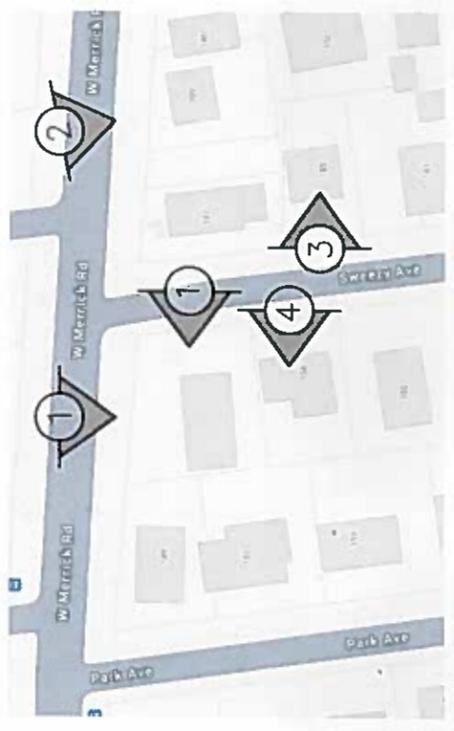
PROPOSED SECOND STORY ADDITION  
 147 SWEZEY AVE. FREEPORT, NY 11520  
 ADJACENT PROPERTIES - PHOTO LOG

REV	DATE	DESCRIPTION

4 154 SWEZEY AVE



5 AREA MAP



3 155 SWEZEY AVE



1 415 WEST MERRICK RD



2 399 WEST MERRICK RD



RECEIVED  
 2024 APR - 1 A 9:37  
 CLERK'S OFFICE  
 VILLAGE OF FREEPORT, NY

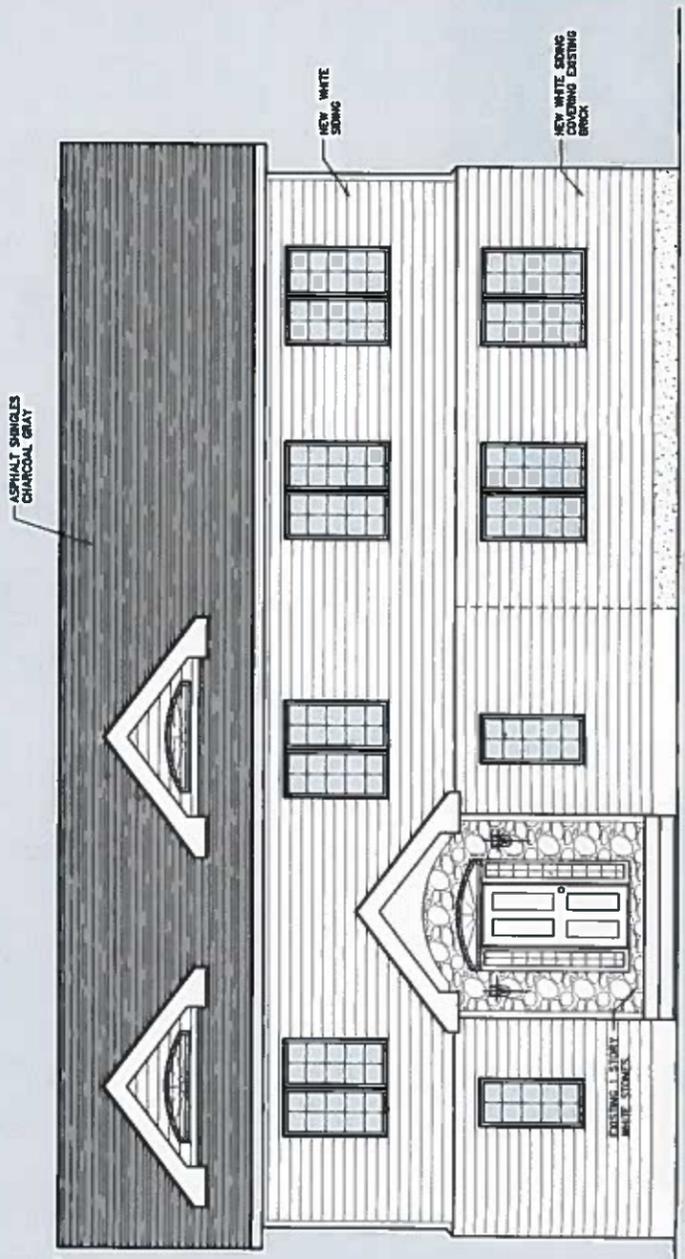
SCALE:	AS NOTED
DRAWN BY:	L.R.
DATE:	01/27/2024

**PROPOSED SECOND STORY ADDITION**  
 147 SWEZEY AVE. FREEPORT, NY 11520

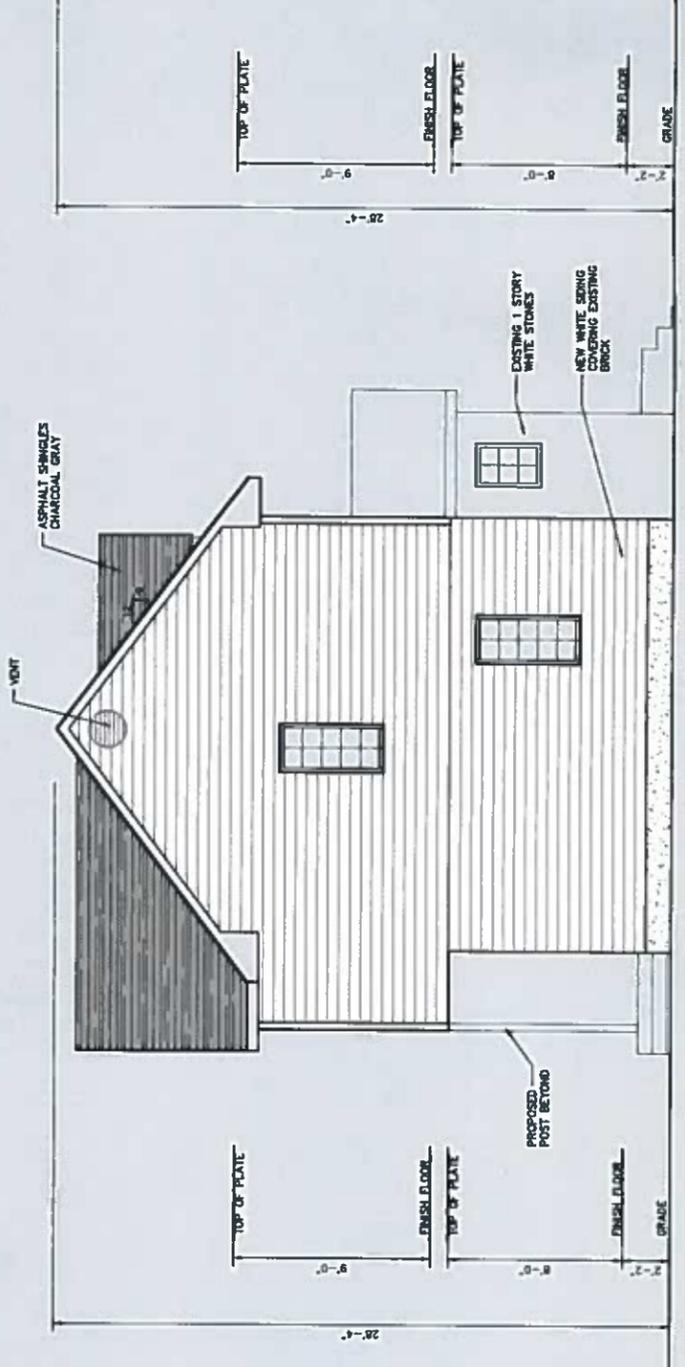
**Gene Solomon**  
 Architect  
 919 Stein Lane East Meadow, New York 11554  
 516-441-0267  
 Planning, Design & Development



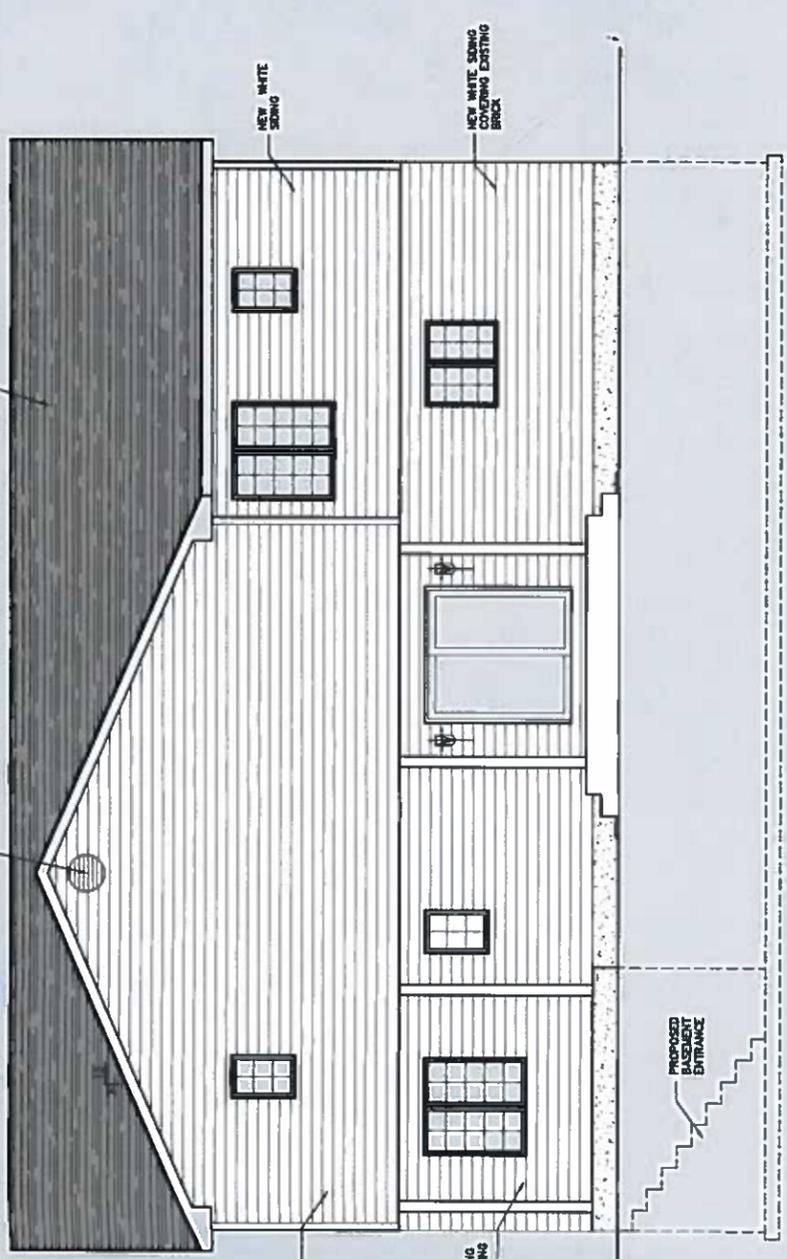
REV	DATE	DESCRIPTION



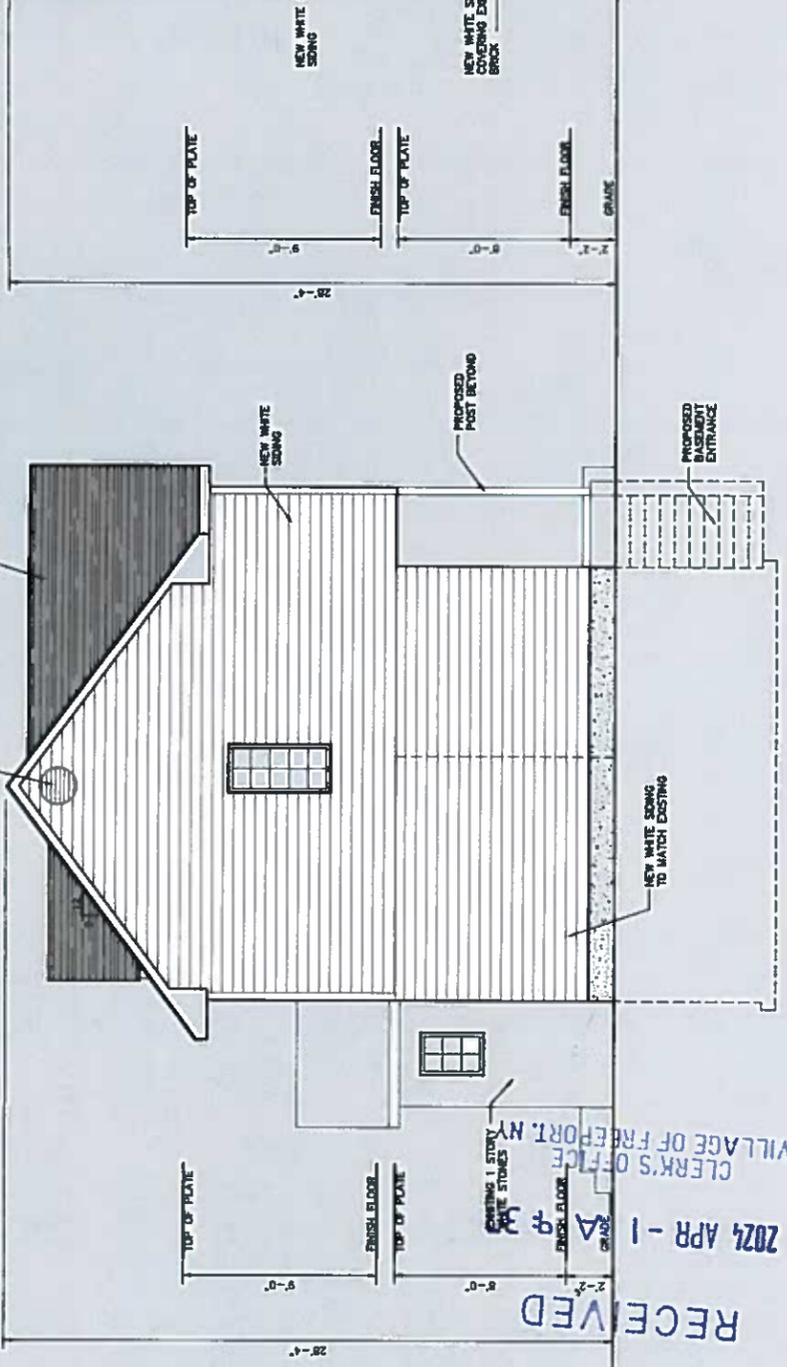
**FRONT ELEVATION**  
 SCALE 1/4" = 1'-0"



**LEFT ELEVATION**  
 SCALE 1/4" = 1'-0"



**REAR ELEVATION**  
 SCALE 1/4" = 1'-0"



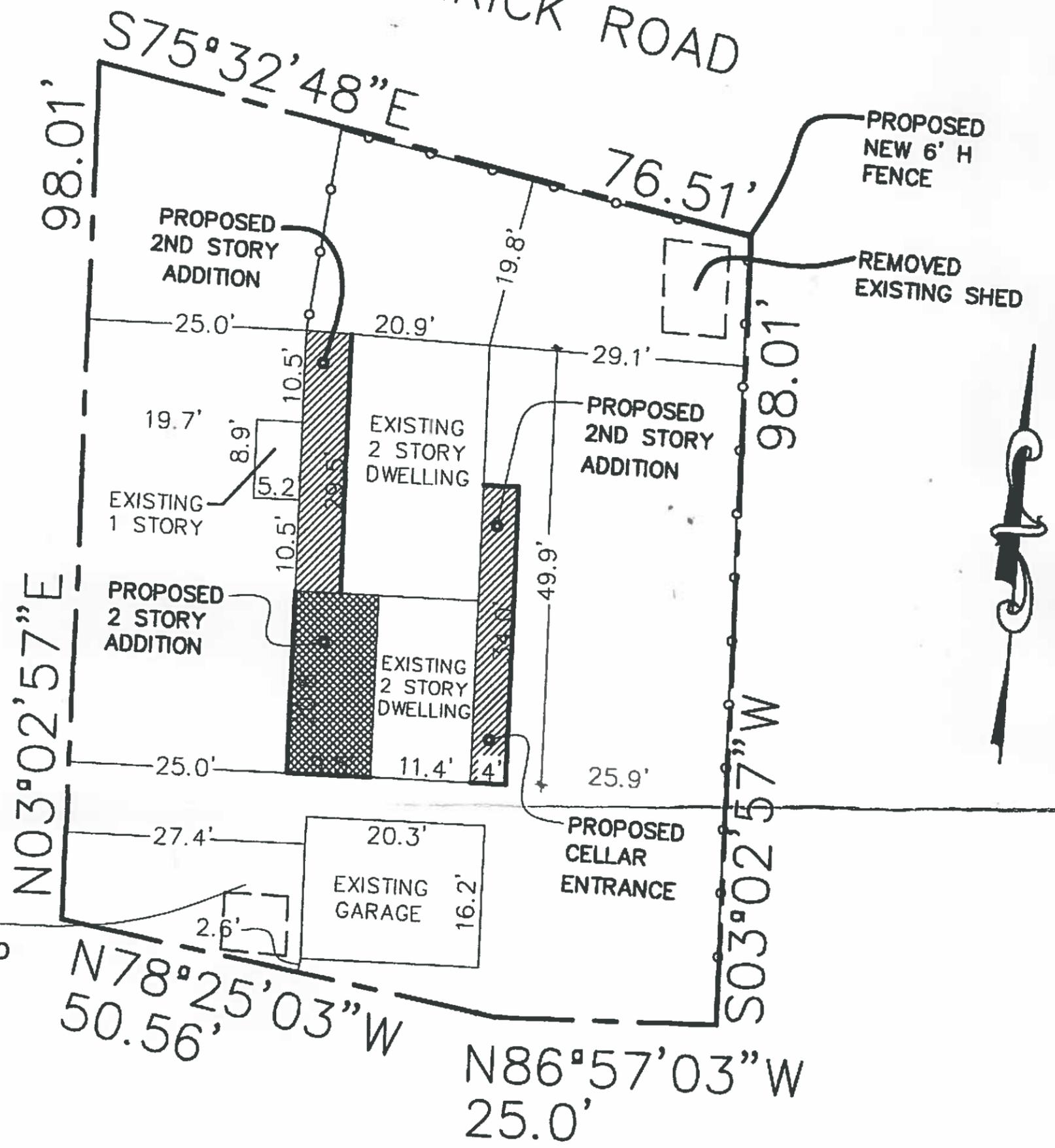
**RIGHT ELEVATION**  
 SCALE 1/4" = 1'-0"

NOTE:  
 ALL WINDOWS AND DOORS WILL  
 BE WHITE VINYL DOUBLE-PANE  
 WITH GRIDS

RECEIVED  
 2024 APR -1 A 4 3  
 CLERK'S OFFICE  
 VILLAGE OF FREEPORT, NY

WEST MERRICK ROAD

SWEETZ AVENUE



# SITE PLAN

SCALE 1" = 20'-0"

FROM A SURVEY BY AERIAL LAND SURVEYING, DPC

SITE INFORMATION:	
SECTION:	54
BLOCK:	202
LOT:	137
LOT AREA:	7,159.0 s.f.
LOT AREA OCCUPIED:	1,560.8 s.f.
% OCCUPIED:	21.8%

RECEIVED  
 2024 APR -1 A 9:37  
 CLERK'S OFFICE  
 VILLAGE OF FREEPORT, NY

Application Date: 4/1/2024  
Fees Paid: \$ 225.00

SP# 3722

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 1 ANN COURT Freeport NY 11723 ZONING DISTRICT Residence A  
SECTION 62 BLOCK 204 LOT 12 LOT SIZE: \_\_\_\_\_

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Patricia DESRIVIERE</u>	Name: <u>FRANCHESCA DESRIVIERE</u>
Address: <u>1 ANN COURT</u> <u>Freeport NY 11720</u>	Address: <u>13043 Farthingale Dr</u> <u>Herndon, VA 24449 50171</u>
Telephone #: <u>347 255 0727</u>	Telephone #: <u>240 460 7349</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: 2nd story extension 267.89 feet

I request a preliminary meeting: \_\_\_\_\_ YES  NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES  NO

RECEIVED  
2024 APR - 1 P 3:13  
CLERK'S OFFICE  
VILLAGE OF FREEPORT NY

[Signature]  
APPLICANT'S SIGNATURE

MARCH 27, 2024  
DATE

Sworn to before me this 27  
day of MARCH, 2024

[Signature]  
Notary Public

Ayanna Henry  
Notary Public, State of New York  
01HE0018081  
Qualified in Queens County  
Commission Expires October 27, 2027

Property Owner's Consent:  
I, F. DESRIVIERE am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]  
PROPERTY OWNER'S SIGNATURE

27 MARCH 2024  
DATE

Sworn to before me this 27  
day of MARCH, 2024

[Signature]  
Notary Public

Ayanna Henry  
Notary Public, State of New York  
01HE0018081  
Qualified in Queens County  
Commission Expires October 27, 2027

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



RECEIVED

2024 APR -1 P 3:13

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**

**February 8, 2024**

Francesca M. Desriviere  
1 Ann Court  
Freeport, NY 11520

**RE: 1 Ann Court Freeport, NY 11520**

**Zoning District – Residence A Sec. 62 Blk. 204, Lot 12**

**Building Permit Application #20243615**

**Description– Interior renovation and proposed 2<sup>nd</sup> story extension (267.0 Sq. Ft). As per submitted drawings.**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes\_\_ No\_X\_

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

RECEIVED

2024 APR -1 P 3: 13

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20243615

Location: 1 Ann Court Freeport, NY 11520

Applicant: Franchesca M. Desriviere

Description: Interior renovation and proposed 2<sup>nd</sup> story extension (267.0 Sq. Ft). As per submitted drawings.

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: February 8, 2024

*Sergio A. Mauras*

Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form

RECEIVED

2024 APR -1 P 3: 13

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: INTERIOR RENOVATION & 2nd STY. EXTENSION OF EXIST. 1-FAMILY DWELLING			
Project Location (describe, and attach a location map): 1 ANN COURT, FREEPORT, NY 11520			
Brief Description of Proposed Action: CONSTRUCTION OF NEW (2) 3-PC BATHROOMS, WALK-IN & LINEN CLOSETS, BOILER AND LAUNDRY ROOM. INSTALLATION OF METAL STUDS W/ R-13 CAVITY BATT. INSULATION OVER EXISTING CELLAR WALLS. RENOVATION OF EXISTING KITCHEN. INSTALLATION OF PORCELAIN TILES ON CELLAR FLOORING. REPLACE WOOD FLOOR DECKING. PAINTING ON WALLS & CEILINGS. INSTALLATION OF NEW DOORS & WINDOWS. CONSTRUCTION OF ROOF EXTENSION.			
Name of Applicant or Sponsor: MARVIN M. SARAVIA		Telephone: (516)790-7726	
		E-Mail: saraviamarvin12@gmail.com	
Address: 4254 BROADWAY			
City/PO: ISLAND PARK		State: NY	Zip Code: 11658
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO X YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO X YES
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

2024 APR -1 P 3:13

		NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? <small>VILLAGE OF FINE POINT</small>		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>MARVIN M. SARAVIA</u>	Date: <u>12/14/2023</u>	
Signature: _____		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

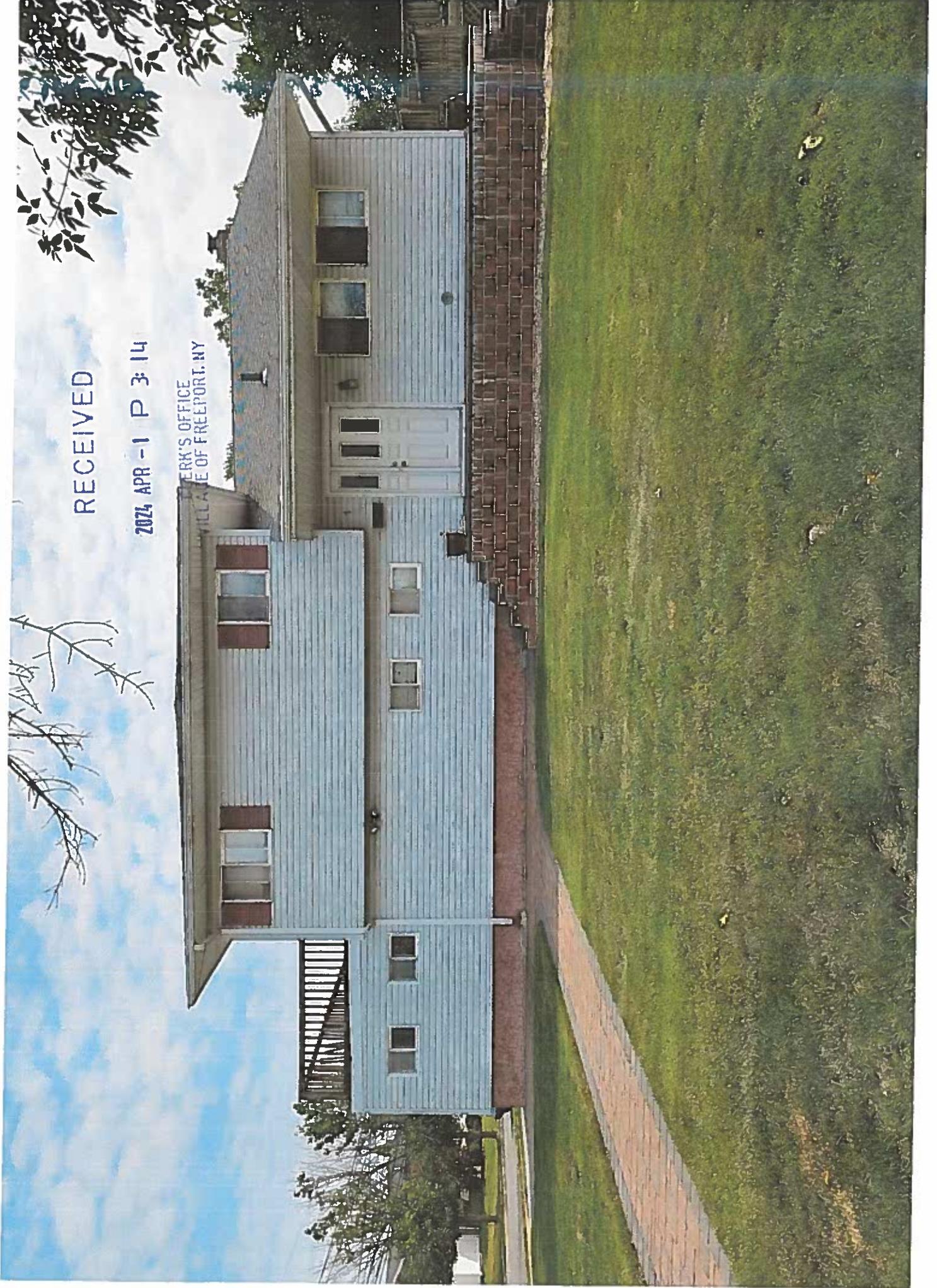
RECEIVED  
 2024 APR - 1 P 3: 14  
 CLERK'S OFFICE  
 VILLAGE OF FREEPORT, NY

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Name of Lead Agency <u>Maevyn M Saravay</u>	Date <u>President</u>
Print or Type Name of Responsible Officer in Lead Agency <u>[Signature]</u>	Title of Responsible Officer <u>President</u>
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

RECEIVED

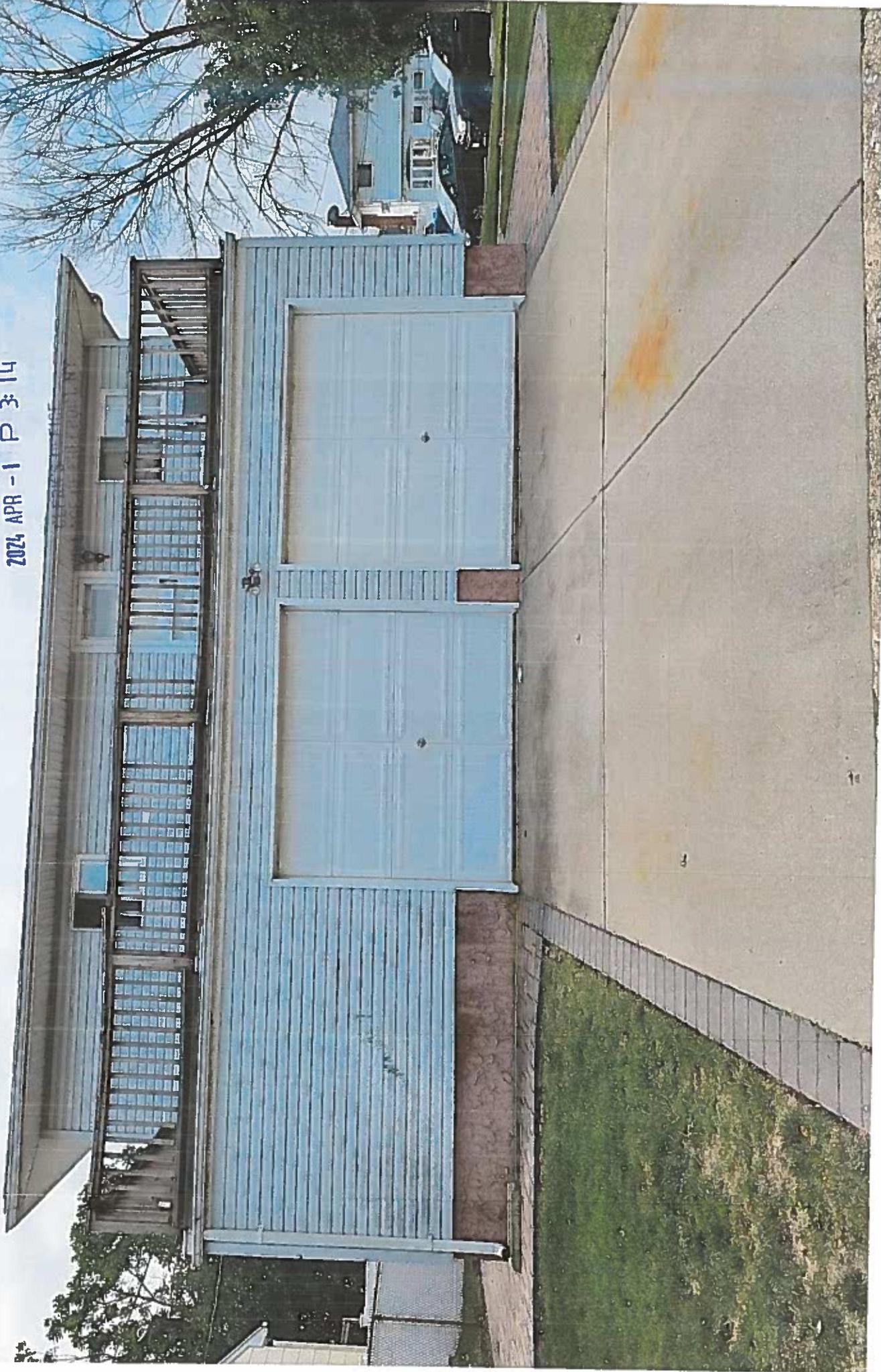
2024 APR -1 P 3:14

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



RECEIVED

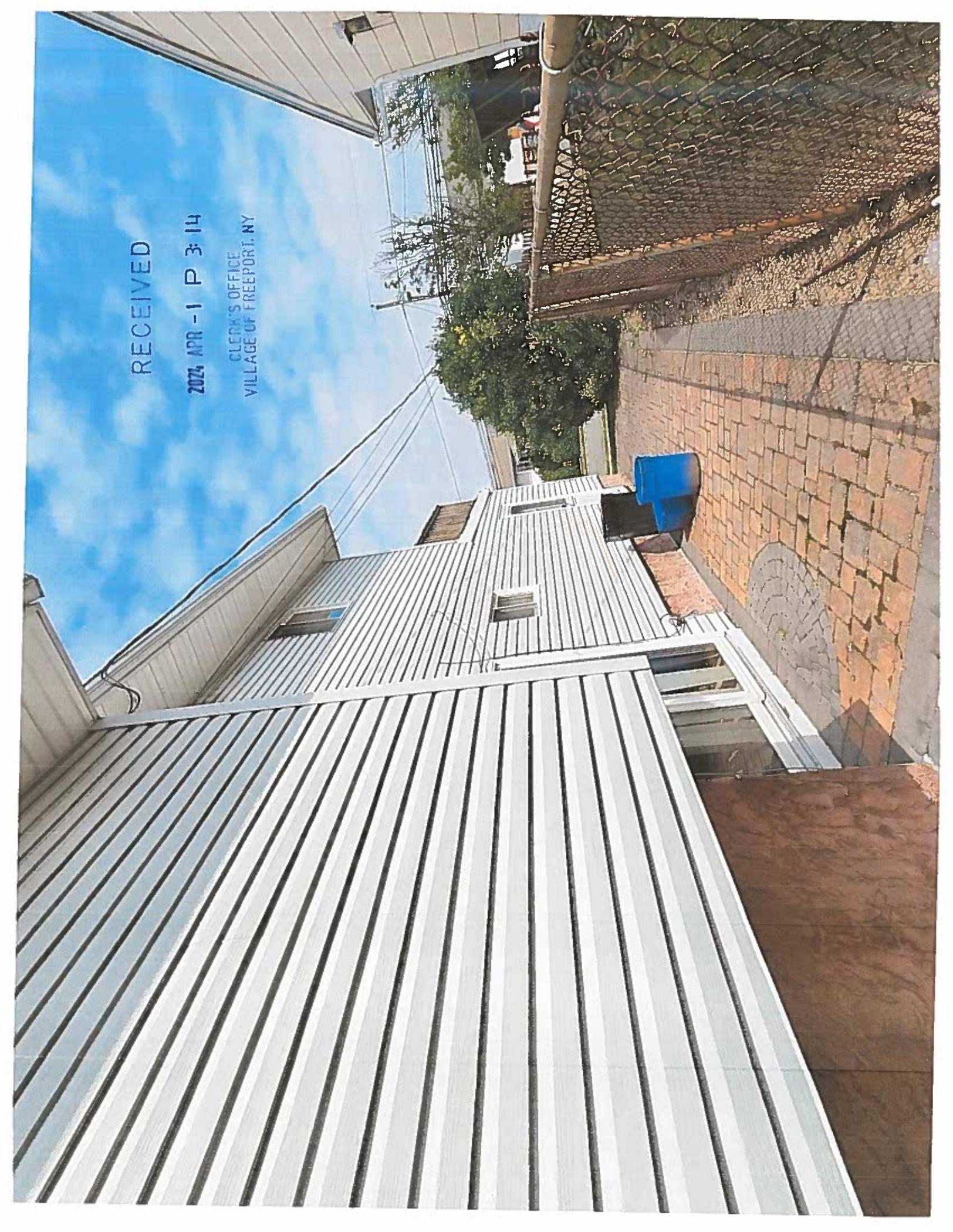
2024 APR -1 P 3:14



RECEIVED

2024 APR -1 P 3:14

CLERK'S OFFICE  
VILLAGE OF FRESFORT, NY



RECEIVED

074 APR - 1 P 3-14

CLERK'S

VILLAGE OF F...



3/28/24, 10:37 AM

1 Ann Court\_2 Right.png



RECEIVED

2024 APR -1 P 3: 14

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

3/28/24, 10:37 AM

1 Ann Court\_2 Left 2.png



RECEIVED

2024 APR -1 P 3:14

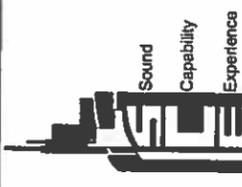
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, MEANS OR PROCEDURES OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS EMPLOYED BY THE CONTRACTOR. THE ARCHITECT'S LIABILITY IS LIMITED TO THE WORK AND THE FAILURE OF ANY PART OF THE WORK TO BE COMPLETED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

no.	date	description

**JARED & ASSOCIATES CONSULTING LLC**  
 ARCHITECTS ENGINEERS  
 6571 STATE ROUTE 100  
 TEL. NY 516-327-7744 FAX 516-327-7744



**SOUTHERN CONSULTING ENGINEERS, INC.**  
 STRUCTURAL & FOUNDATION ENGINEERING  
 20-39 129th Street  
 College Point, NY 11354  
 TEL. 718-502-5441 FAX 718-502-5442  
 glanger2006@yahoo.com

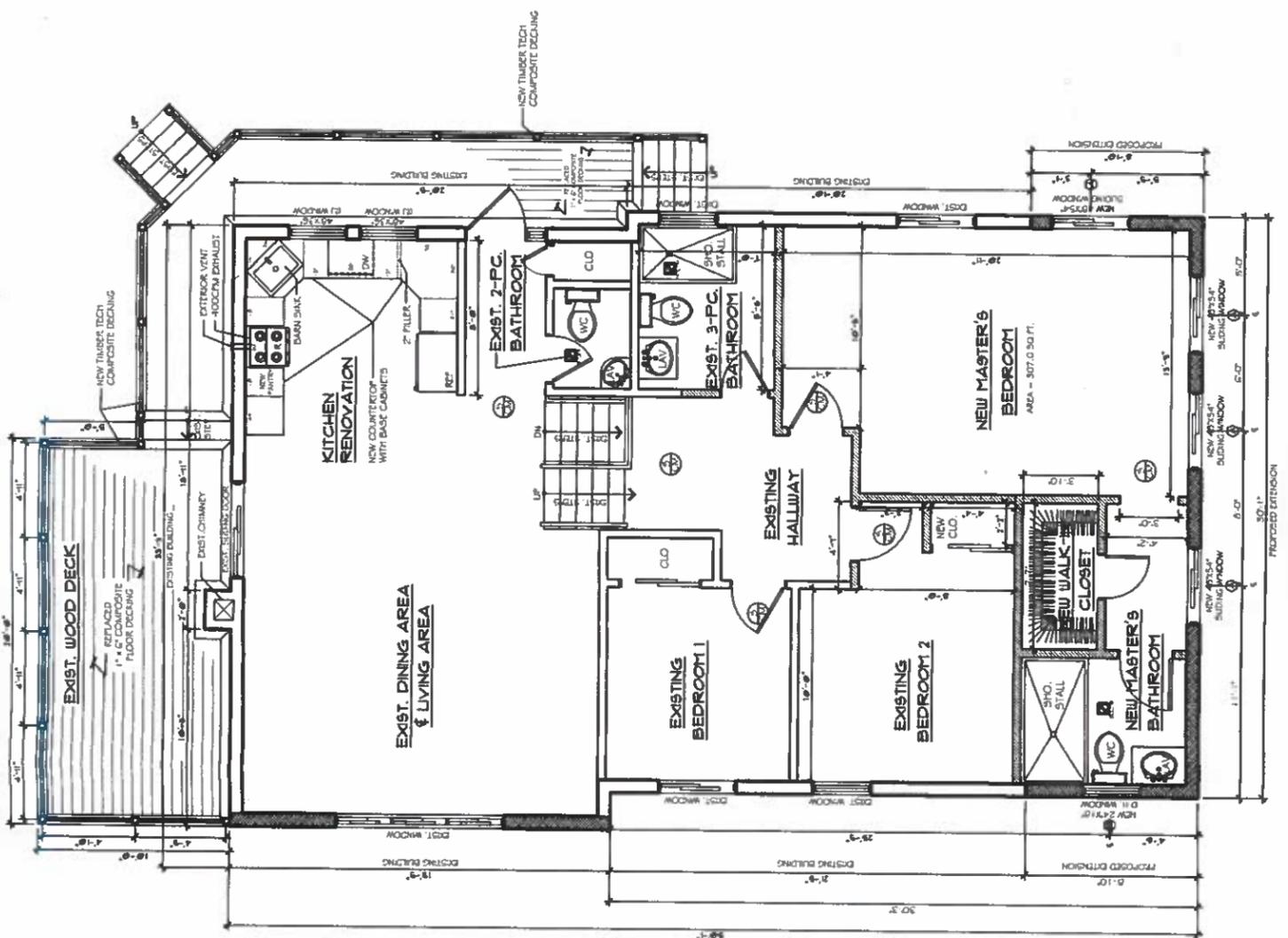
**INTERIOR RENOVATION & EXTENSION OF EXIST. 1-FAMILY D.U.**

1 ANN COURT  
 FREEPORT, NY 11520

FLOOR PLANS

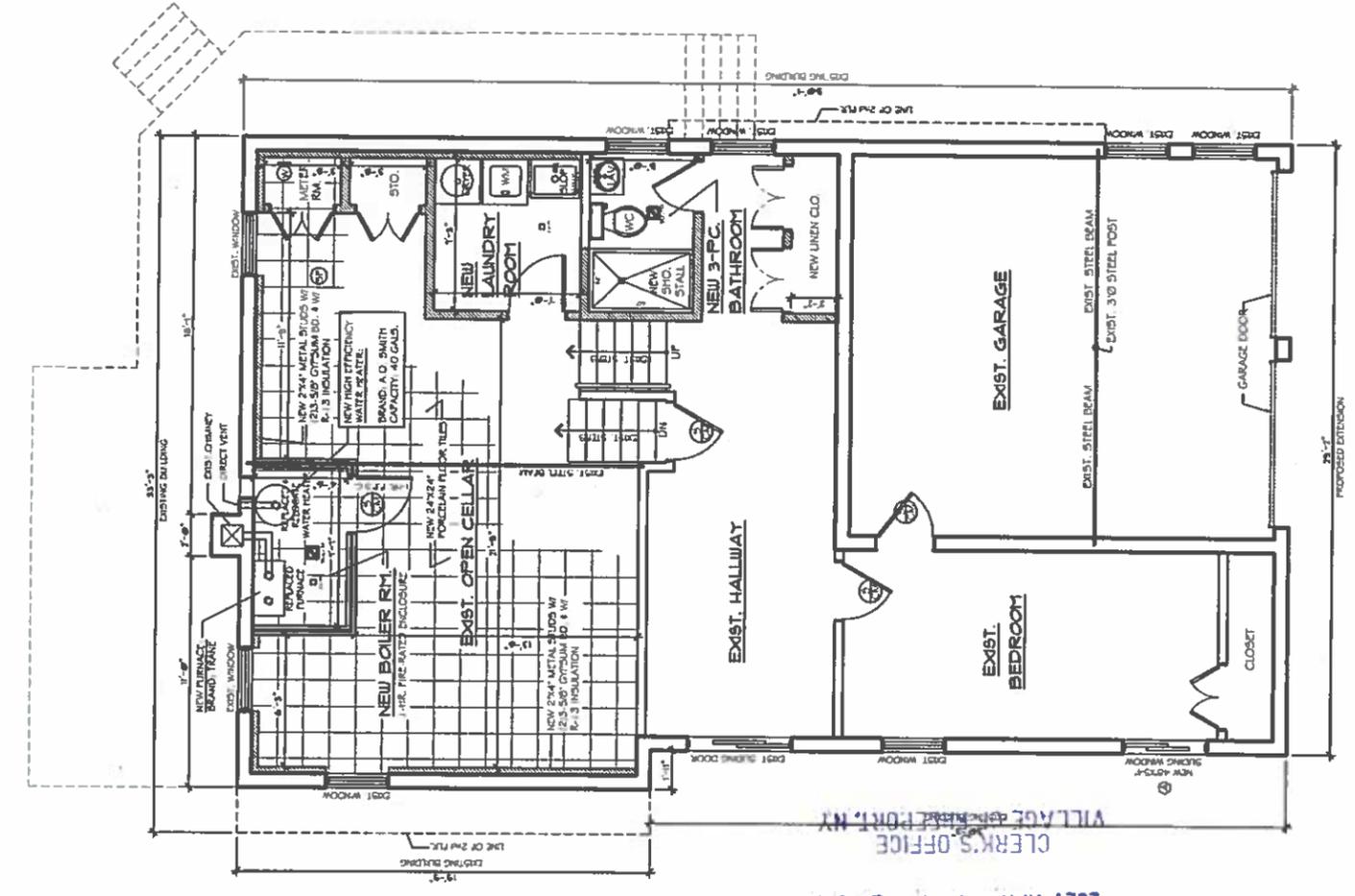


Job no.: 0716-GA-70 Proj. No.  
 Date: 5/28/24  
 Scale: AS NOTED  
 Des. by: RAYCHELE  
 Check'd by: G.J.L. P.E.  
**A-001.00**  
 2 OF 1



**PROPOSED SECOND FLOOR PLAN**  
 1/8" = 1'-0"

(ALL CONDITIONS AS SHOWN ON ALL FLOORS ARE EXISTING UNLESS OTHERWISE NOTED)



**PROPOSED FIRST FLOOR PLAN**  
 1/8" = 1'-0"

RECEIVED  
 2024 APR -1 P 3:14  
 CLERK'S OFFICE  
 VILLAGE OF FREEPORT, NY

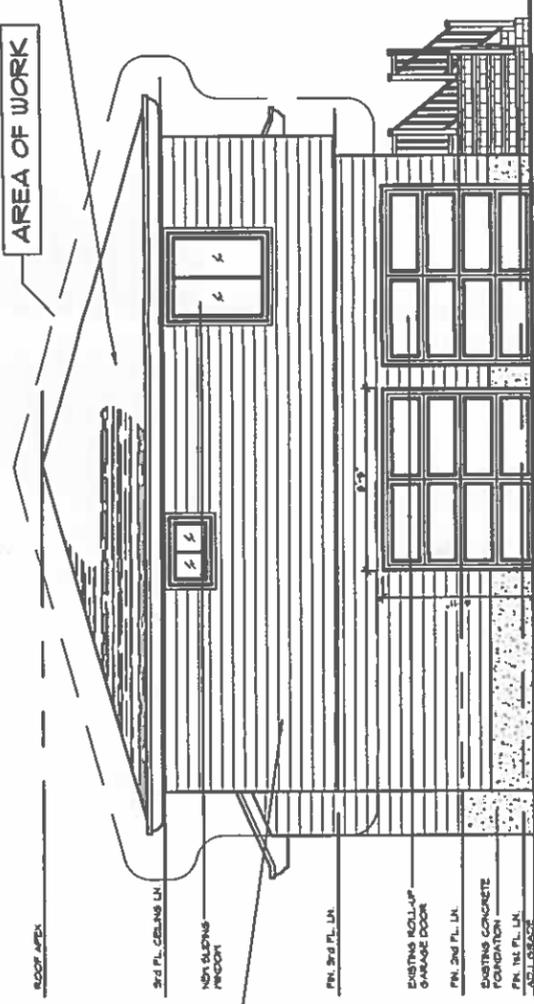
RECEIVED

2024 APR - 1 P 3: 15

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

NEW VINYL SIDINGS FINISH TO MATCH EXISTING

BRAND: GEORGIA-PACIFIC  
COLOR: BLUE  
TYPE: DUTCH LAP



FRONT ELEVATION

1/4" = 1'-0"

NEW ASPHALT SHINGLES ROOFING TO MATCH EXISTING

BRAND: GAF TIMBERLINE HDZ LIFETIME SHINGLES.  
COLOR: WEATHERED WOOD  
FIRE RATING: HIGHEST RATING - CLASS A  
MATERIAL: FIBERGLASS ASPHALT CONSTRUCTION

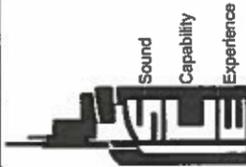


THE ARCHITECT SHALL NOT HAVE CONTROL OR LIABILITY FOR THE WORK PERFORMED BY ANY OTHER PERSONS PERFORMING THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

no.	date	description



JARED B ASSOCIATES CONSULTING TIME LLC  
ARCHITECTS ENGINEERS  
46-71 164th STREET PLAZARD, NEW YORK  
TEL. NO. 718-502-9462 FAX: 718-502-9462



SOUTHERN CONSULTING ENGINEERING, PC  
STRUCTURAL & FOUNDATION ENGINEERING  
20-39 164th STREET  
CORONA, NY 11334  
TEL. 718-502-9462 FAX: 718-502-9462  
glanger2006@yahoo.com

pre-joint:

INTERIOR RENOVATION &  
EXTENSION OF  
EXIST. 1-FAMILY D.U.

sheet title:

1 ANN COURT  
FREEPORT, NY 11520

client:

FRANCESCA DESRIVIERE

drawing title:

ELEVATIONS

Applicant's Seal:



job no.: 0715-GA-70

date: 4/1/24

notes: AS NOTED

des. by: RAYCHELE

chk'd. by: G.J., P.E.

A-002.00

3 OF 1

RECEIVED

2024 APR - 1 P 3: 5

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

NEW ASPHALT SHINGLES ROOFING TO MATCH EXISTING

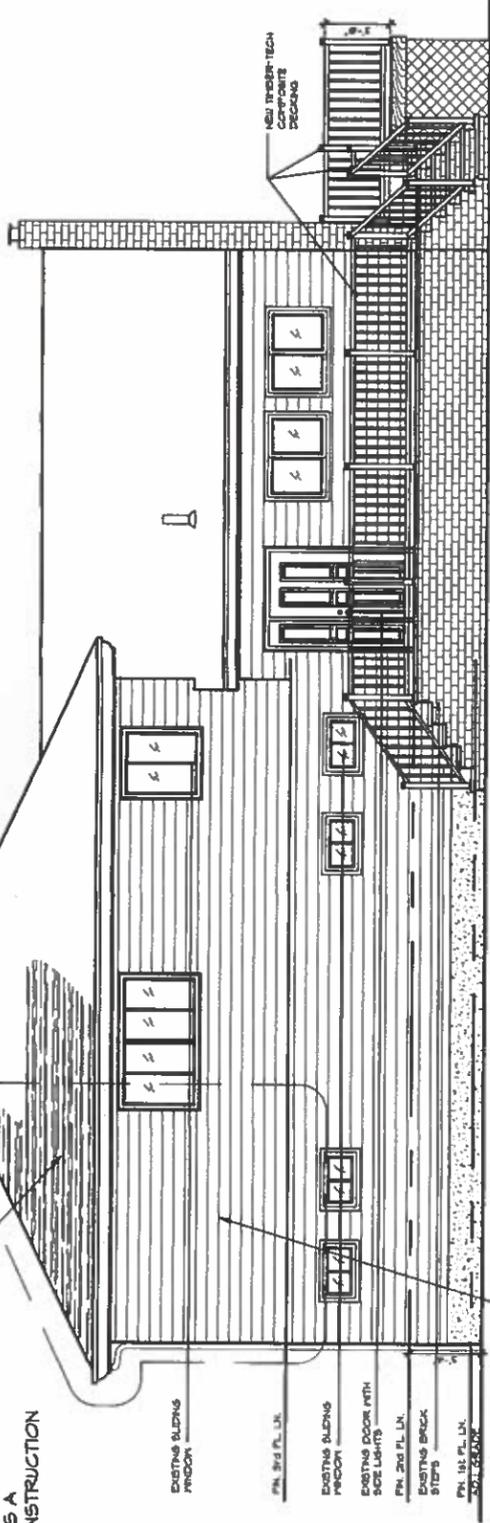
BRAND: GAF TIMBERLINE HDZ LIFETIME SHINGLES.  
COLOR: WEATHERED WOOD  
FIRE RATING: HIGHEST RATING - CLASS A  
MATERIAL: FIBERGLASS ASPHALT CONSTRUCTION



NEW VINYL SIDING'S FINISH TO MATCH EXISTING

BRAND: GEORGIA-PACIFIC  
COLOR: BLUE  
TYPE: DUTCH LAP

AREA OF WORK



**RIGHT-SIDE ELEVATION**

1/4" = 1'-0"

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS EMPLOYED BY THE CONTRACTOR OR THE FAILURE OR ANY OF THEM TO COMPLY WITH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

no. date description

**JARED & ASSOCIATES CONSULTING LLC**  
ARCHITECTS - ENGINEERS  
145 WEST 14TH STREET, SUITE 1000 NEW YORK, NY 10011  
TEL: 212-337-7313 FAX: 212-633-7322

**Southern Consulting Engineering, PC**  
Capability  
Experience  
STRUCTURAL & FOUNDATION ENGINEERING  
20-19 129th Street  
College Point, NY 11356  
Tel: 718-502-9461  
Fax: 718-502-9462  
glanger2006@yahoo.com

project:

**INTERIOR RENOVATION & EXTENSION OF EXIST. 1-FAMILY D.U.**

location:

1 ANN COURT  
FREEPORT, NY 11520

owner:

FRANCESCA DESRIVIERE

drawing title:

ELEVATIONS

Applicant's Seal:



job no.: 016-GA-20

date: 4/1/24

scale: AS NOTED

des. by: RATCHELE

cont'd. by: G.J., P.E.

A-005.00

4 OF 7

RECEIVED

2024 APR -1 P 3:15

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

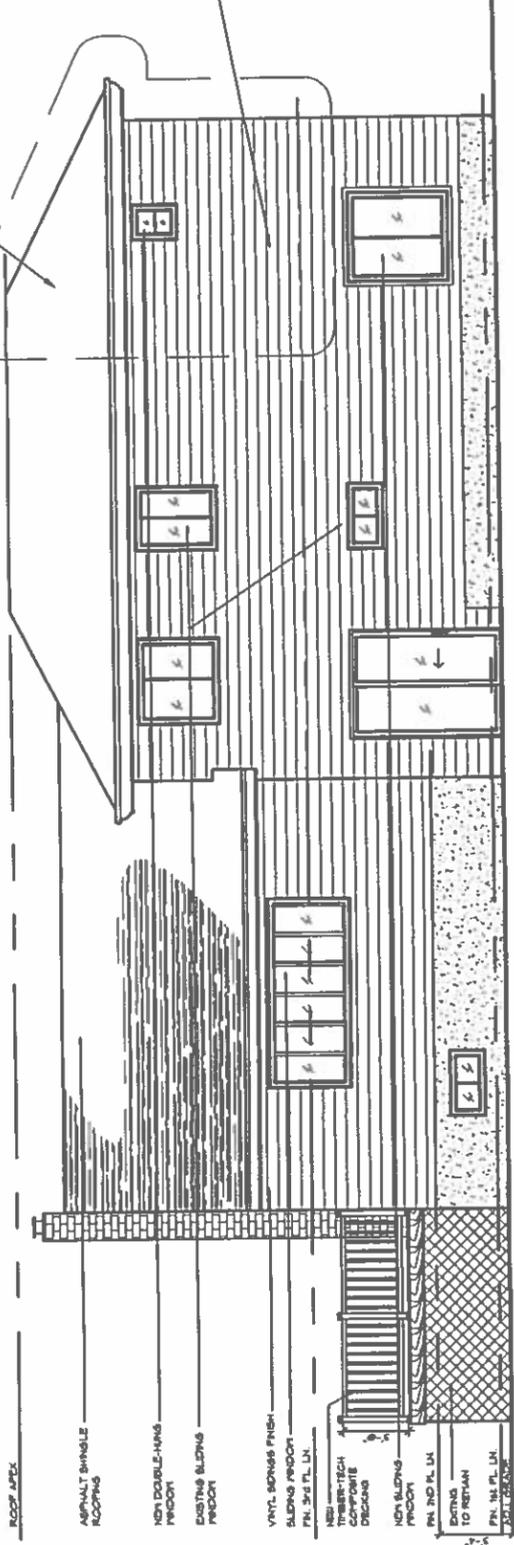
NEW ASPHALT SHINGLES ROOFING TO MATCH EXISTING  
BRAND: GAF TIMBERLINE HDZ LIFETIME SHINGLES.  
COLOR: WEATHERED WOOD  
FIRE RATING: HIGHEST RATING - CLASS A  
MATERIAL: FIBERGLASS ASPHALT CONSTRUCTION



NEW VINYL SIDINGS FINISH TO MATCH EXISTING  
BRAND: GEORGIA-PACIFIC  
COLOR: BLUE  
TYPE: DUTCH LAP



AREA OF WORK



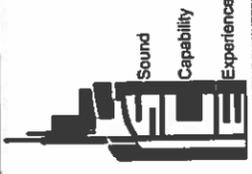
LEFT-SIDE ELEVATION  
1/4" = 1'-0"

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION AND PROGRAMS IN CONNECTION WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

no. date description



JARED & ASSOCIATES CONSULTING LLC  
ARCHITECTS DESIGNERS  
46-71 108th STREET FREEPORT, NEW YORK  
TEL: 516-337-7338 FAX: 516-337-7338



Southern Consulting Engineers, PC  
STRUCTURAL & FOUNDATION ENGINEERING  
20-39 LEWIS AVENUE  
FREEPORT, NY 11520  
TEL: 718-502-9463  
FAX: 718-502-9462  
glanger2006@yahoo.com

INTERIOR RENOVATION & EXTENSION OF EXIST. 1-FAMILY D.U.

1 ANN COURT  
FREEPORT, NY 11520

FRANCESCA DESRIVIERE

ELEVATIONS



Job no.: 0716-GA-20

Date: 4/1/24

Scale: AS NOTED

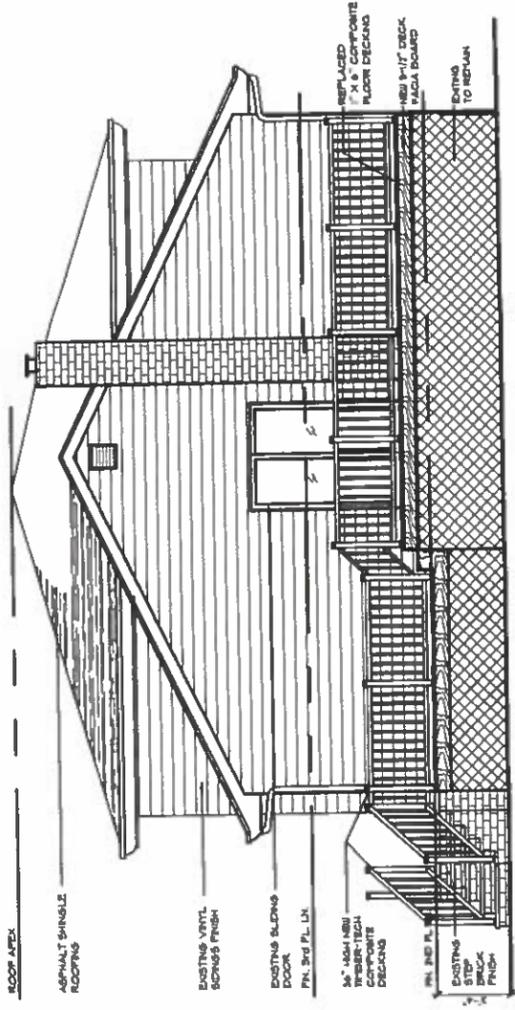
Gen. by: RATCHELE

ENR'd. by: G.A., P.E.

A-004.00

4 OF 1

RECEIVED  
 7-2024 APR-1 P 3:18  
 CLERK'S OFFICE  
 VILLAGE OF FREEPORT, NY



**REAR ELEVATION**  
 1/4" = 1'-0"

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS EMPLOYED BY OR FOR THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

no.	date	description
 <b>JARED &amp; ASSOCIATES CONSULTING LLC</b> ARCHITECTS ENGINEERS 46-71 166th STREET, FLUSHING, NEW YORK TEL: (718) 277-7240 FAX: (718) 277-7241		

 <b>Southern Consulting Engineering, Inc.</b> Capabilities Experience SOUTHERN CONSULTING ENGINEERING, INC. STRUCTURAL & FOUNDATION ENGINEERING 20-39 127th Street College Point, NY 11354 Tel: 718-502-9483 Fax: 718-502-9482 glanger2006@yahoo.com		
---	--	--

**INTERIOR RENOVATION & EXTENSION OF EXIST. 1-FAMILY D.U.**

1 ANN COURT  
 FREEPORT, NY 11520

ELEVATIONS



job no.: 0716-GA-20  
 date: 4/1/24  
 scale: AS NOTED  
 des. by: RAYCHELE  
 int'd. by: G.J., P.E.  
 A-003.00  
 4 OF 1