

Original

Application Date: 1/22/2024  
Fees Paid: \$1,235.00

SP# 3696

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 812 60Y LOMBARDO AV. ZONING DISTRICT RESIDENCE A  
SECTION 62 BLOCK 102 LOT 0791 LOT SIZE: 70x150

<input type="checkbox"/> TENANT <u>APPLICANT</u>	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>SANTOS OWNER</u>		Name: <u>SANTOS VILLALONOS</u>
Address:		Address: <u>812 60Y LOMBARDO AV.</u> <u>FREEPORT, NY 11520</u>
Telephone #:		Telephone #: <u>(516) 3848228</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: RESIDENTIAL Proposed Land Use: RESIDENCE

Description of Proposed Work: REPLACING 6 STEPS, ADDING A WINDOW, ADDING A PATIO  
4 STAIRS.

I request a preliminary meeting: \_\_\_ YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES  NO

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2024 JAN 22 A 10:36  
CLERK'S OFFICE  
VILLAGE OF FREEPORT NY

\_\_\_\_\_  
APPLICANT'S SIGNATURE

1/12/24  
DATE

Sworn to before me this 12<sup>th</sup>  
day of January, 2024.  
Amarilis Ledesma  
Notary Public

AMARILIS A LEDESMA  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01LE6382087  
Qualified in Nassau County  
Commission Expires October 15, 2026

Property Owner's Consent:  
I, SANTOS VILLALONOS am (are) the owner(s) of the subject property and consent to the filing of this application.

\_\_\_\_\_  
PROPERTY OWNER'S SIGNATURE 1/12/24  
DATE

Sworn to before me this 12<sup>th</sup>  
day of January, 2024.  
Amarilis Ledesma  
Notary Public

AMARILIS A LEDESMA  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01LE6382087  
Qualified in Nassau County  
Commission Expires October 15, 2026

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: ___ YES ___ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

ROBERT T. KENNEDY  
MAYOR

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**  
January 8, 2024

Santos Villalovos  
812 Guy Lombardo Ave  
Freeport, NY 11520

**RE: 812 Guy Lombardo Ave, Freeport, NY 11520**  
**Zoning District: Residence A Sec 62, Blk 102, Lot 0791**  
**Building Permit Application #20233596**

**Description: Replacing steps, adding a window, adding a portico.**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

cc: Village Clerk

ZBA Approval Needed: Yes \_ No X

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20233596

Location: 812 Guy Lombardo Ave, Freeport, NY 11520

Applicant: Santos Villalovos

Description : Replacing steps, adding a window, adding a portico with sutphin.

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

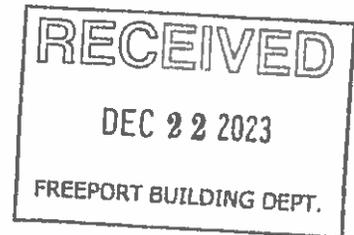
B) Possible environment effects identified:  
(only if positive determination)

Dated: January 8, 2024

Sergio A. Mauras  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form



**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: <i>Santos Villalobos</i>			
Project Location (describe, and attach a location map): <i>812 Guy Lombardo Ave</i>			
Brief Description of Proposed Action: <i>Replacing steps, Adding a window, Adding a Portico w/sutphin</i>			
Name of Applicant or Sponsor: <i>SANTOS VILLALOBOS</i>		Telephone: <i>(516) 384 8228</i>	
Address: <i>812 GUY LOMBARDO AV.</i>		E-Mail: <i>ROSALY_VILLALOBOS@YAHOO</i>	
City/PO: <i>FREEPORT</i>		State: <i>NY</i>	Zip Code: <i>11520</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO   YES <input checked="" type="checkbox"/>   <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO   YES <input checked="" type="checkbox"/>   <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

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DEC 22 2023

FREEDPORT BUILDING DEPT

	NO	YES	N/A
5. Is the proposed action, <ul style="list-style-type: none"> <li>a. A permitted use under the zoning regulations?</li> <li>b. Consistent with the adopted comprehensive plan?</li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If the proposed action will exceed requirements, describe design features and technologies: _____ N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <ul style="list-style-type: none"> <li>a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</li> <li>b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</li> </ul> If Yes, briefly describe: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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DEC 22 2023

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>L SANTOS VILLAGUOS</u> Date: <u>12/22/23</u></p> <p>Signature: <u>[Signature]</u></p>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

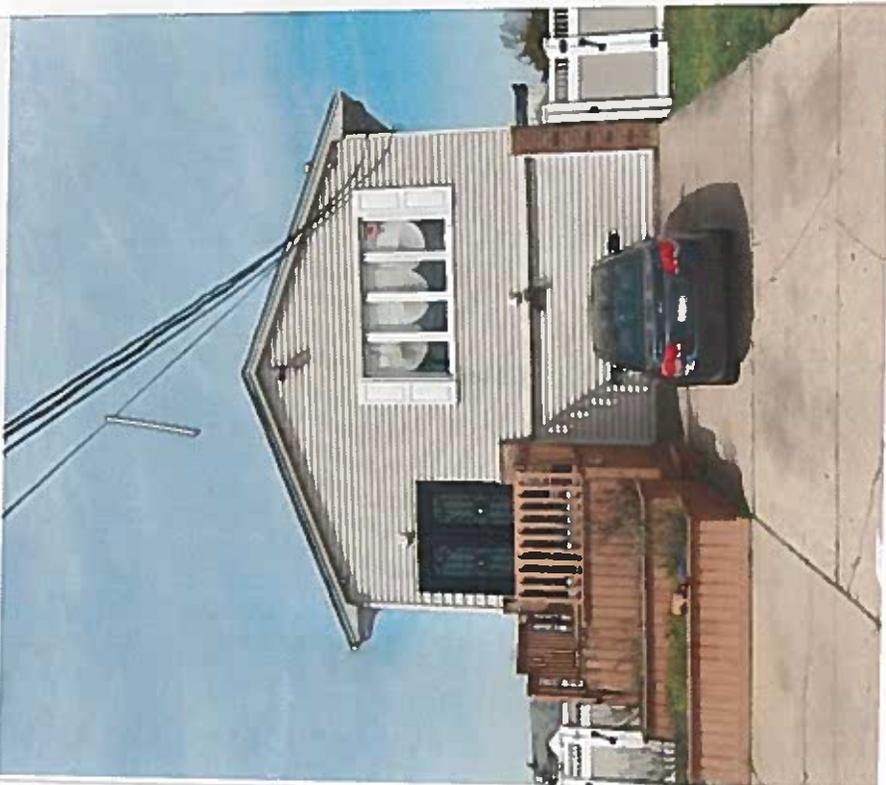
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



- STUCCO  COLOR: BEIGE w/LIGHT BROWN TRIM
- RAIL: GREY GRANITE BALUSTERS
- STEPS: CAMBRIDGE MAYTRIX (BLACK) & SAHARA CHESTNUT LITE
- COLUMNS: SQUARE 12" IN LIGHT BROWN STUCCO
- window black transom

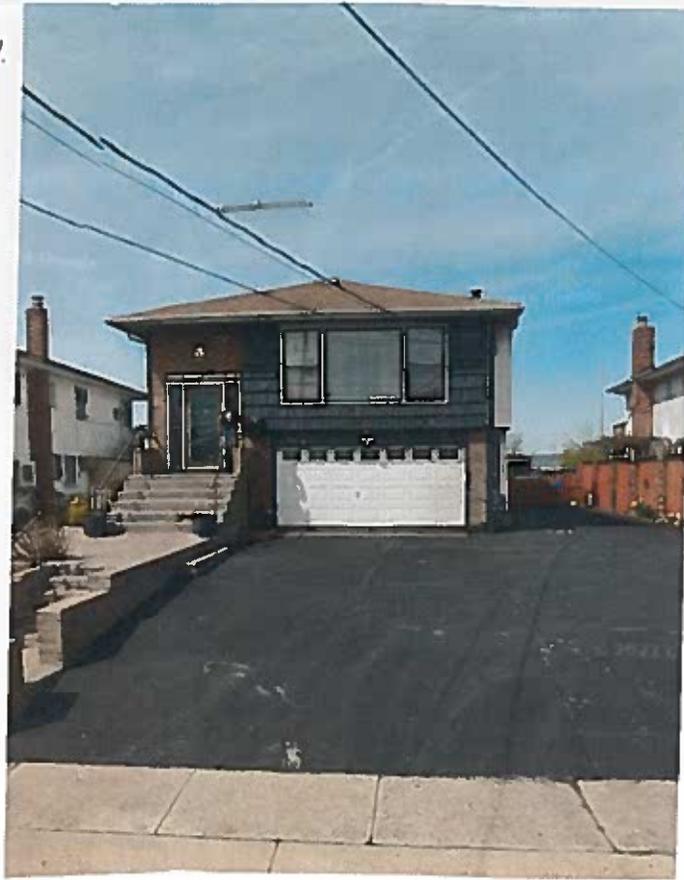
812 GUY LOMBARDO AV

812 Guy Lombardo Ave

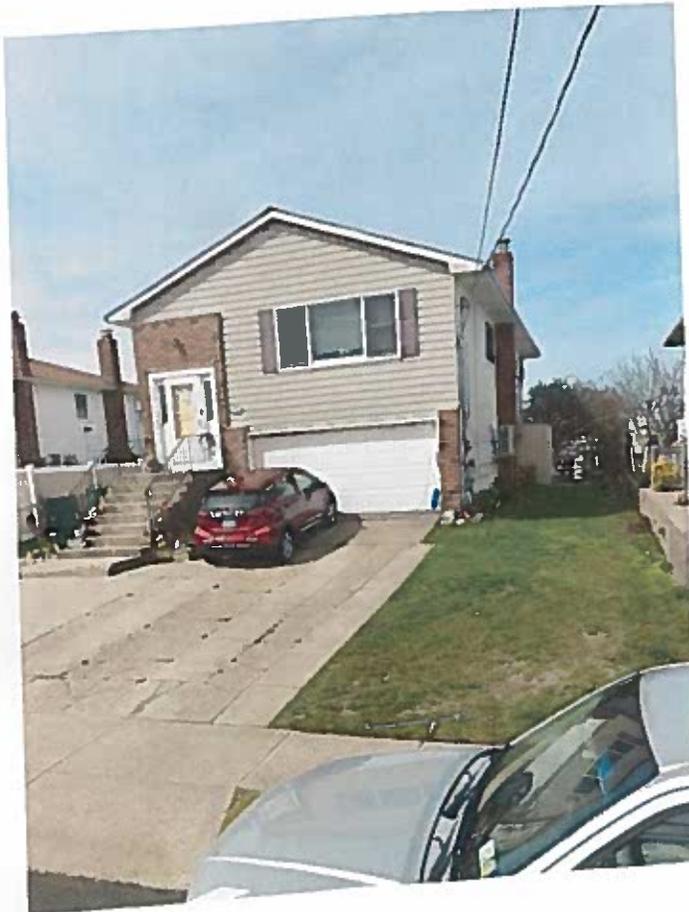




804 607 LOMBARDO AV.



28 607 LOMBARDO AV.

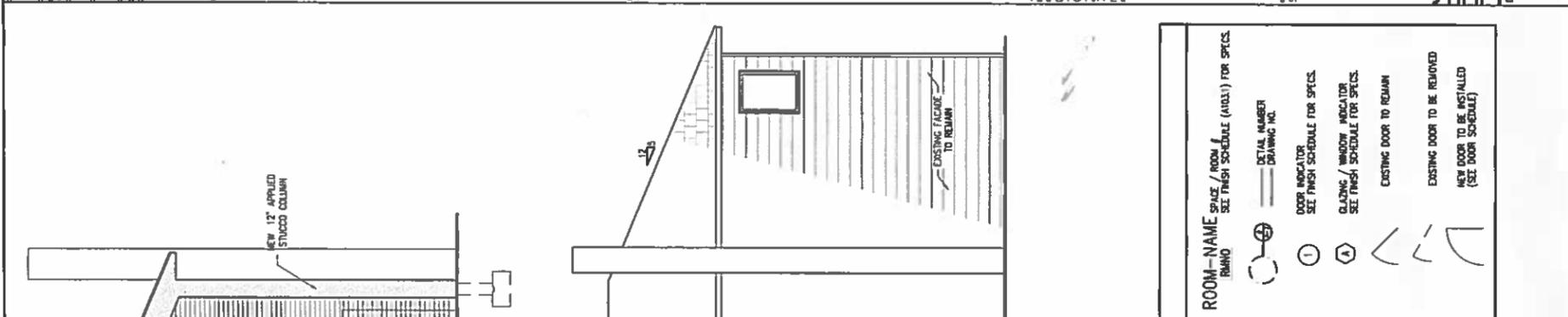
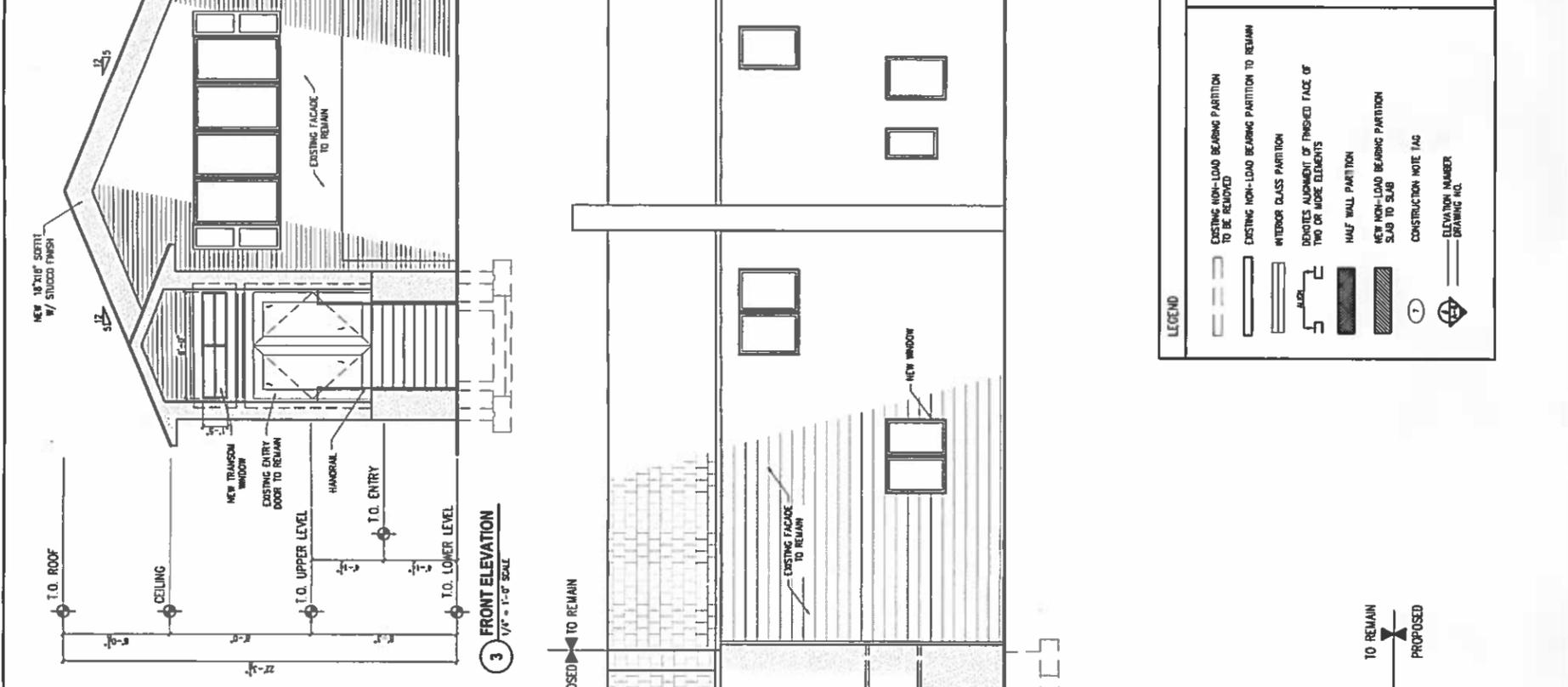
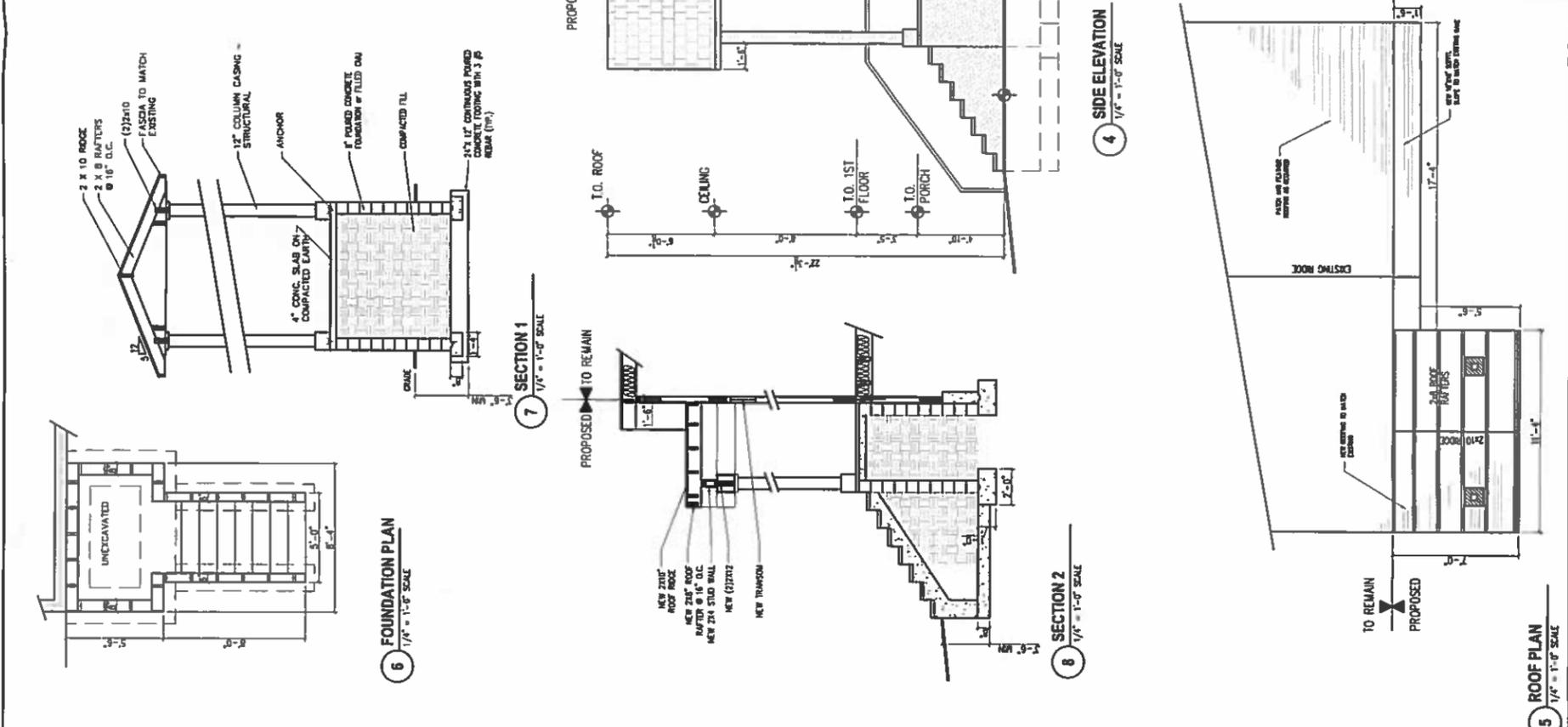
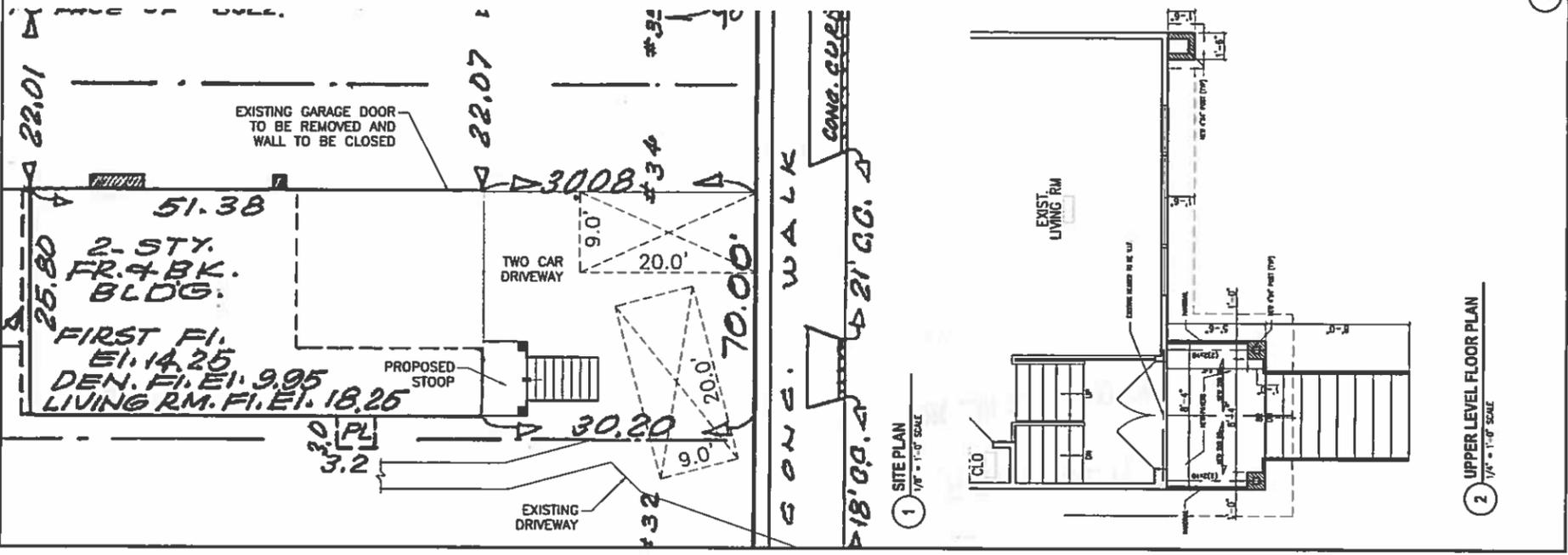


803 GUY LOMBARDO AV.



795 GUY LOMBARDO AV.





**LEGEND**

	EXISTING NON-LOAD BEARING PARTITION TO BE REMOVED		EXISTING NON-LOAD BEARING PARTITION TO REMAIN
	EXTERIOR GLASS PARTITION		INTERIOR GLASS PARTITION
	DOOR INDICATOR SEE FINISH SCHEDULE FOR SPECS		DOOR INDICATOR SEE FINISH SCHEDULE FOR SPECS
	GLAZING / WINDOW INDICATOR SEE FINISH SCHEDULE FOR SPECS		GLAZING / WINDOW INDICATOR SEE FINISH SCHEDULE FOR SPECS
	HALF WALL PARTITION		HALF WALL PARTITION
	NEW NON-LOAD BEARING PARTITION SLAB TO SLAB		NEW NON-LOAD BEARING PARTITION SLAB TO SLAB
	CONSTRUCTION NOTE TAG		CONSTRUCTION NOTE TAG
	ELEVATION NUMBER DRAWING NO.		ELEVATION NUMBER DRAWING NO.

**ROOM-NAME SPACE / ROOM FINISH**  
SEE FINISH SCHEDULE (ANGL.) FOR SPECS

DETAIL NUMBER DRAWING NO. |

**C. R. SCHWARTZAPPEL, RA**  
ARCHITECT  
888 W BETH ST  
LONG BEACH, NY 11561  
(516) 432-1666  
(516) 432-5675 FAX  
NYRA LIC. 02182

**PROJECT NAME:**  
812 GUY LOMBARDO  
FREEPORT NY LLC  
812 GUY LOMBARDO AVENUE  
FREEPORT, NY 11520

**NOTES:**  
CHARLES R. SCHWARTZAPPEL, AIA 2021

**NO DATE REVISIONS BY**

01	05	05
02	05	05
03	05	05
04	05	05
05	05	05

**SCALE:** AS NOTED  
**ISSUE DATE:** 20 DECEMBER 2023

**SHEET TITLE:**  
PROPOSED FRONT PORCHICO

**ENC. NO.**  
**A-101**

Application Date: 1/22/24  
Fees Paid: \$225

SP# 3697

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 109 Nassau Ave ZONING DISTRICT Residence A  
SECTION 62 BLOCK 163 LOT 368 LOT SIZE: 100 x 105

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Same as owner</u>	Name: <u>Danny Noel</u>
Address:	Address: <u>109 Nassau Ave</u> <u>Freeport NY 11720</u>
Telephone #:	Telephone #: <u>516-491-1168</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: Proposed Residential Proposed Land Use: Residential

Description of Proposed Work: Proposed 2 story frame addition  
5'x12' deck 2nd flr rear existing Deck plus 12'x12' wood Deck

I request a preliminary meeting: \_\_\_\_\_ YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

[Signature] YES \_\_\_\_\_ NO 1/17/24  
DATE

APPLICANT'S SIGNATURE  
Sworn to before me this 17  
day of January, 2024  
[Signature]  
Notary Public

Darah Tabuteau  
Notary Public, State of New York  
Registration No. 01TA6146974  
Qualified in Suffolk County  
Commission Expires  
November 8, 2026

RECEIVED  
2024 JAN 22 P 4:40  
CLERK'S OFFICE  
VILLAGE OF FREEPORT NY

Property Owner's Consent: \_\_\_\_\_ am (are) the owner(s) of the subject property and consent to the filing of this application.

PROPERTY OWNER'S SIGNATURE  
Sworn to before me this 17  
day of January, 2024  
[Signature]  
Notary Public

Darah Tabuteau  
Notary Public, State of New York  
Registration No. 01TA6146974  
Qualified in Suffolk County  
Commission Expires  
November 8, 2026

1/17/24  
DATE

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**  
46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**  
January 11, 2024

Danny Noel  
109 Nassau Ave  
Freeport, NY 11520

**RE: 109 Nassau Avenue, Freeport, NY 11520**  
**Zoning District: Residence A Sec 62, Blk 163, Lot 368**  
**Building Permit Application #20223104**  
**Description: Proposed 2 story frame addition (1<sup>st</sup> floor 51.3sf & 2<sup>nd</sup> floor 51.3sf ) to rear of existing residence plus rear wood deck (393.51sf)**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only ONE complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

c: Village Clerk

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2024 JAN 22 1 P 4: 46  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

ZBA Approval Needed: Yes\_\_ No\_X

RECEIVED

DEC 21 2022

617.20  
Appendix B

Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
RESIDENCE ENLARGEMENT, DANNY NOEL 109 NASSAU AV. FREEPORT, NY			
Name of Action or Project: ADDITION TO EXISTING RESIDENCE.			
Project Location (describe, and attach a location map): 109 NASSAU AV. FREEPORT NY. 11520			
Brief Description of Proposed Action: 2 STORY FRAME ADDITION TO THE REAR OF EXISTING RESIDENCE PLUS REAR WOOD DECK INSTALLATION			
Name of Applicant or Sponsor: DANNY NOEL		Telephone: 516 491-1568	
E-Mail:			
Address: 109 NASSAU AVENUE			
City/PO: FREEPORT		State: NY.	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		✓	
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?		NO	YES
If Yes, list agency(s) name and permit or approval: INC VILLAGE OF FREEPORT DEPT. OF BUILDING			✓
3.a. Total acreage of the site of the proposed action?		0.12572 acres	
b. Total acreage to be physically disturbed?		4 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		4 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

RECEIVED  
 DEPT. OF  
 FREIGHT BUILDING DEPT.

		NO	YES	N/A
5. Is the proposed action, a. Permitted use under the zoning regulations?			✓	
b. Consistent with the adopted comprehensive plan?			✓	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO		YES ✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		NO	YES	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES	
b. Are public transportation service(s) available at or near the site of the proposed action?		✓		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?				✓
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		NO	YES	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____		NO	YES	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____		NO	YES	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		NO	YES	
b. Is the proposed action located in an archeological sensitive area?		✓		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		✓		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO	YES	
16. Is the project site located in the 100 year flood plain?		NO	YES	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		NO	YES	

RECEIVED	Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?	NO	YES
	If Yes, explain purpose and size: _____ DEC 21 2022 _____ N/A	✓	
FREIGHT BUILDING DEPT	Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
	If Yes, describe: _____ _____ N/A	✓	
	20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
	If Yes, describe: _____ _____ N/A	✓	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE			
Applicant/sponsor name: <u>DAVNY NOEL</u>		Date: <u>12/06/22</u>	
Signature: <u>X</u>			

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

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DEC 21 2022

FREEPORT BUILDING DEPT.

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	✓	
11. Will the proposed action create a hazard to environmental resources or human health?	✓	

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.**

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

\_\_\_\_\_  
Name of Lead Agency

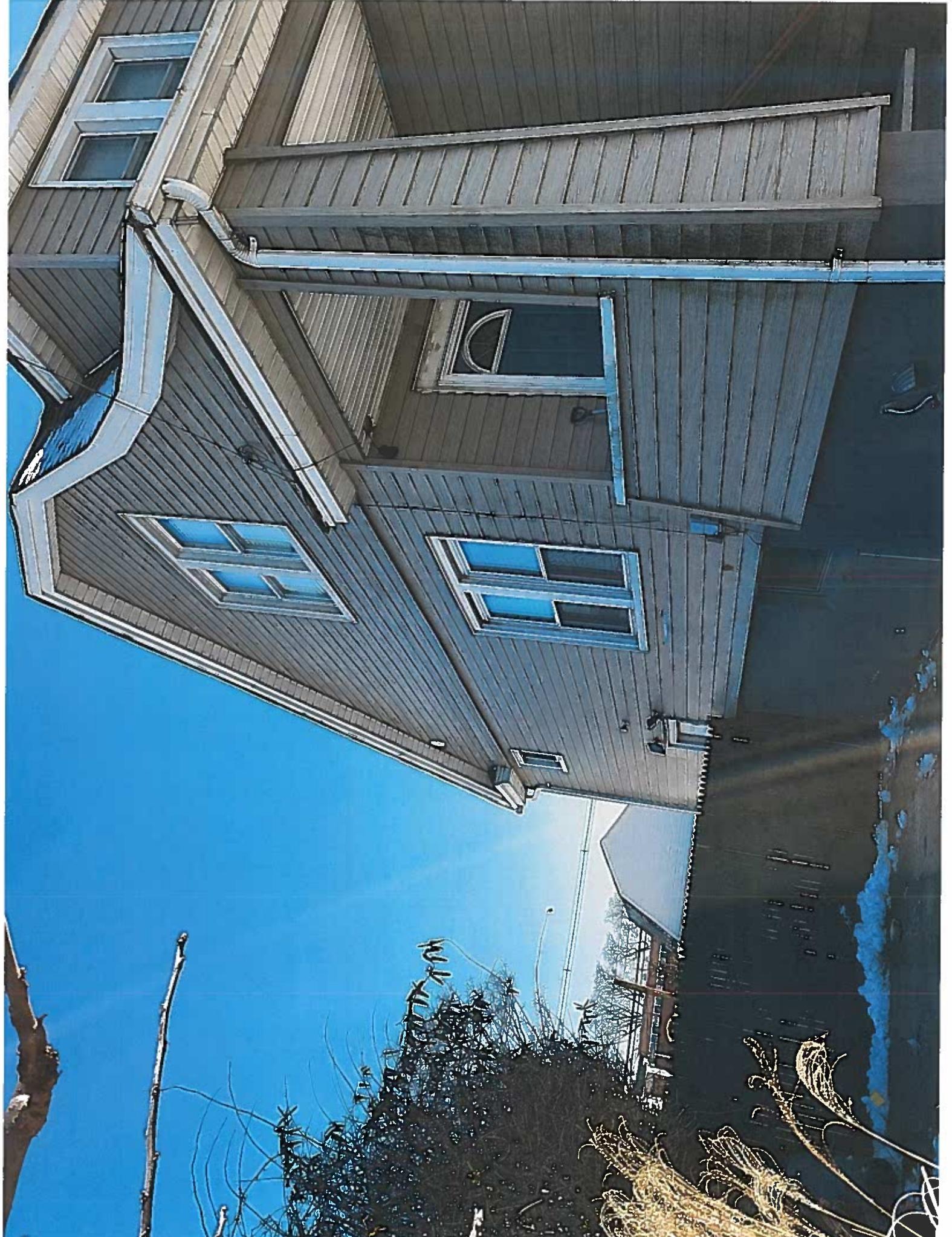
\_\_\_\_\_  
Date

\_\_\_\_\_  
Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
Title of Responsible Officer

\_\_\_\_\_  
Signature of Responsible Officer in Lead Agency

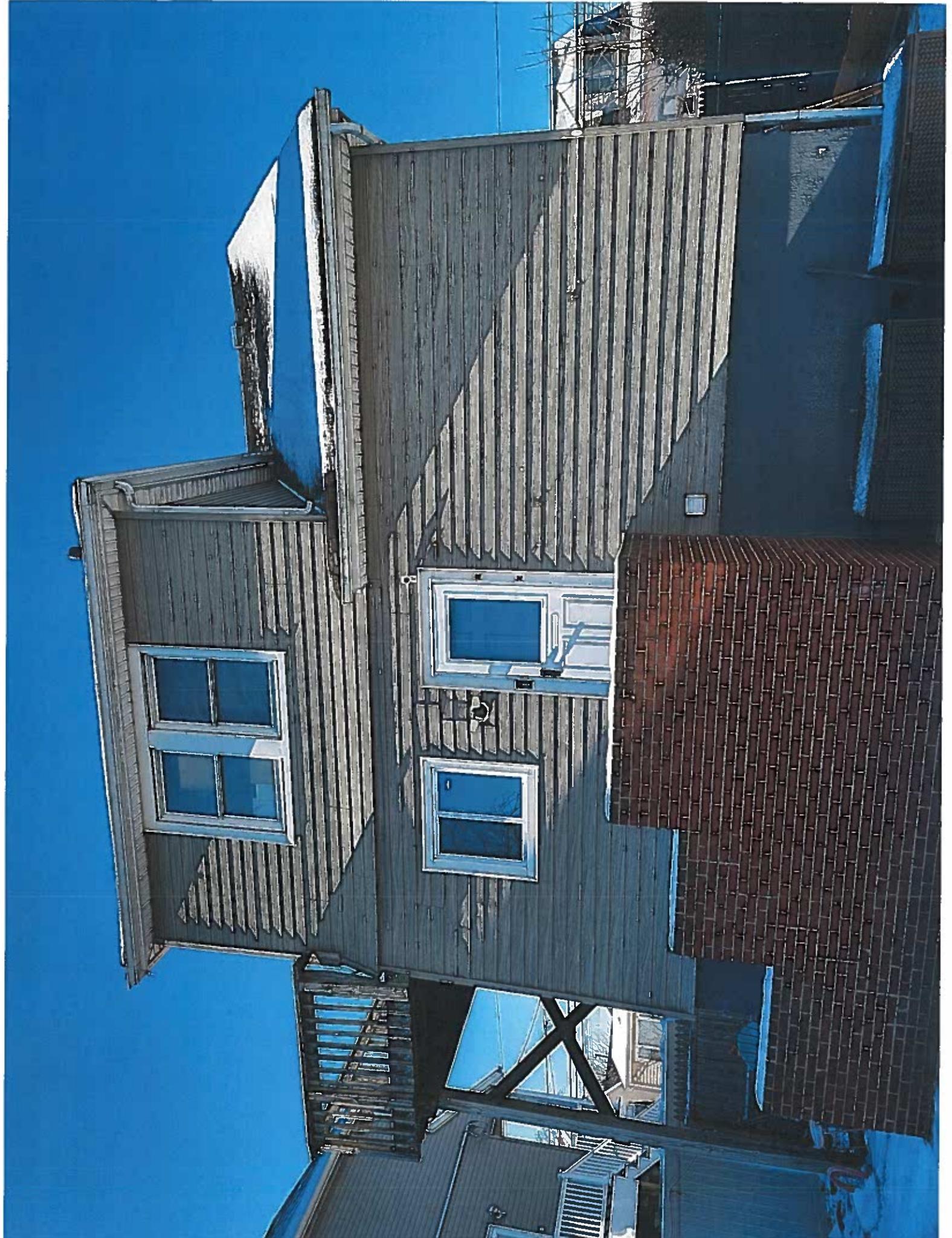
\_\_\_\_\_  
Signature of Preparer (if different from Responsible Officer)





189 NASSAU AVE









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2024 JAN 22

NO.	REVISION	DATE
NO. 1	ISSUE	04-23
NO. 2		
NO. 3		
NO. 4		
NO. 5		

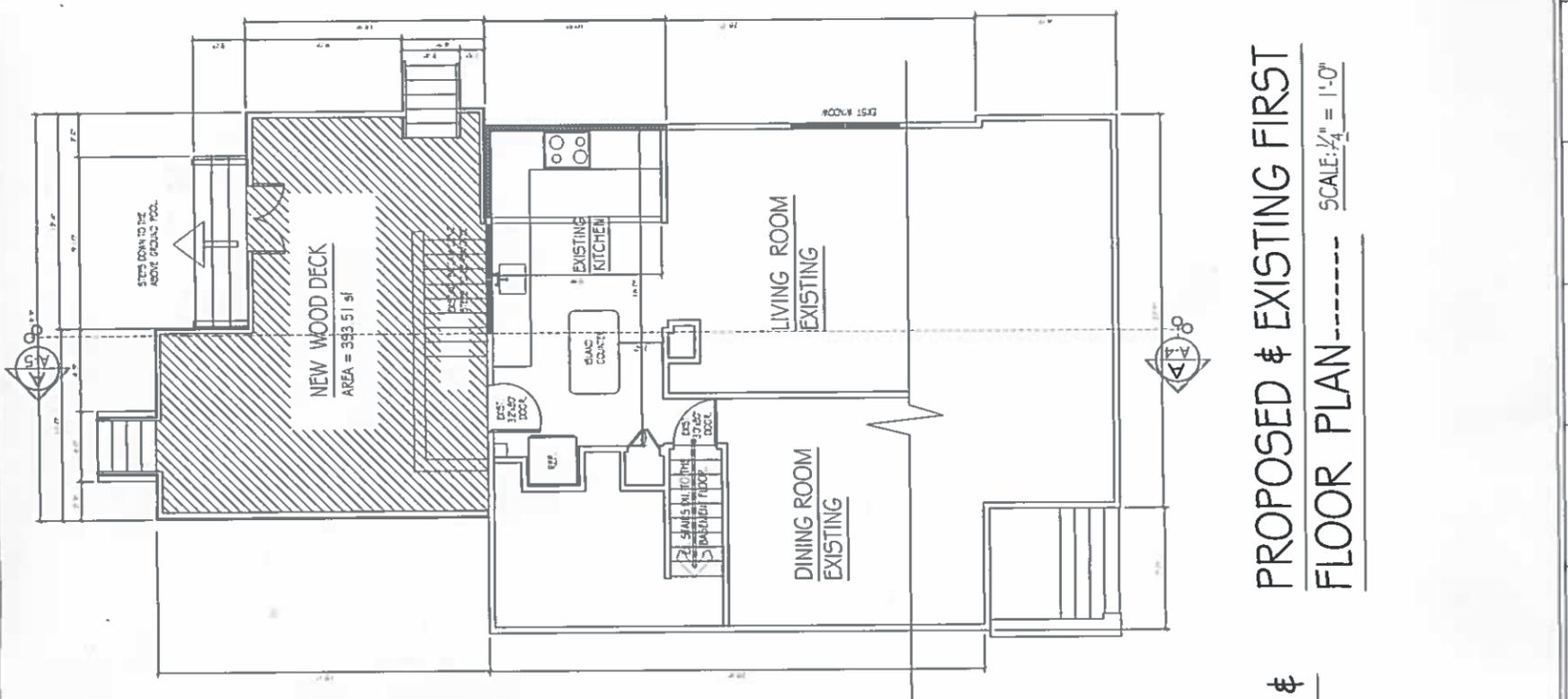
**OBVINE ASSOCIATES INC.**  
 53 WATSON AVENUE  
 WENDELL, NY 11551  
 PHONE: (516) 463-3820  
 FAX: (516) 463-3820  
 E-MAIL: info@obvine.com  
 WWW: www.obvine.com

**MODEL # ALEXANDRIA RESIDENCE**  
 4100 MADISON AVENUE  
 FORT LEE, NY 11034

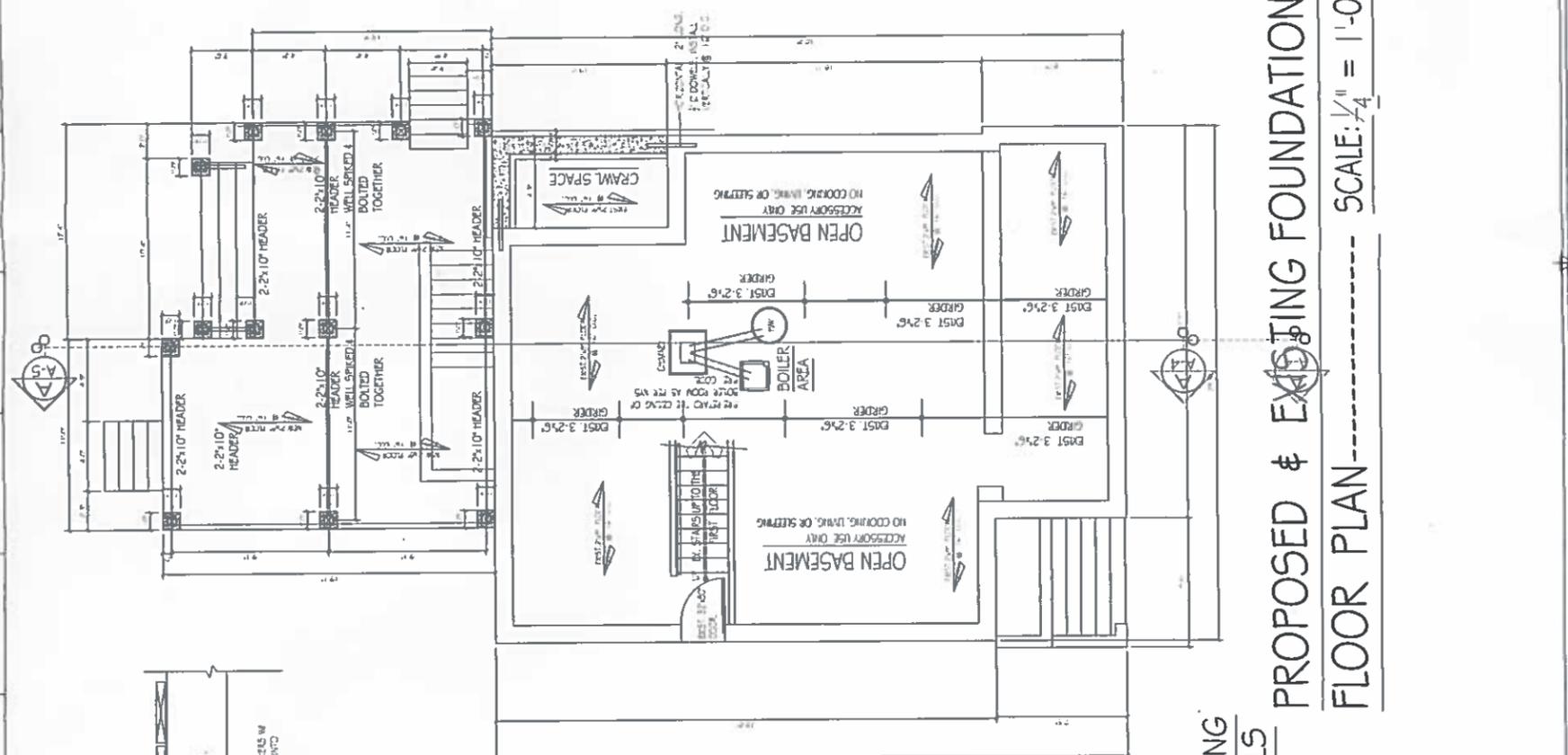
**PROJECT NAME**  
 4100 MADISON AVENUE  
 FORT LEE, NY 11034

**DATE OF APPROVAL**  
 PROJECT LOCATION  
 PROJECT NO.  
 DRAWING DATE

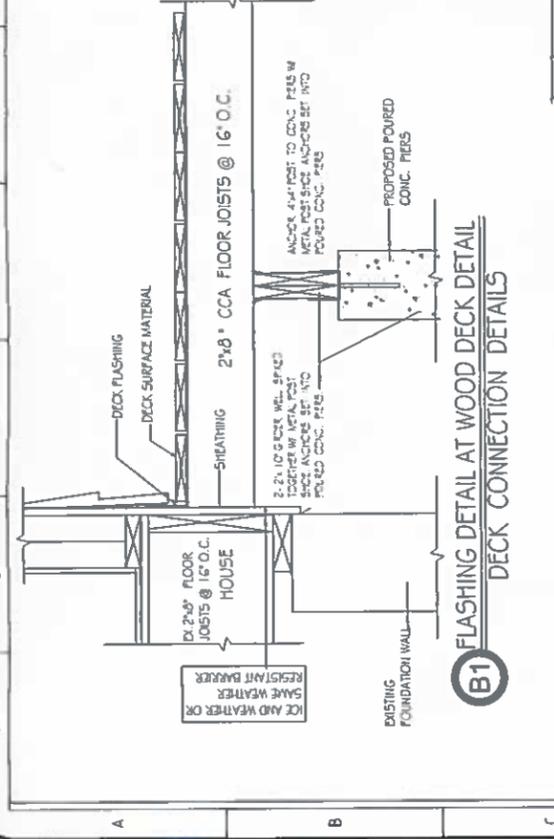
**2023 104**  
 SEAL OFFICE FOR N.Y.



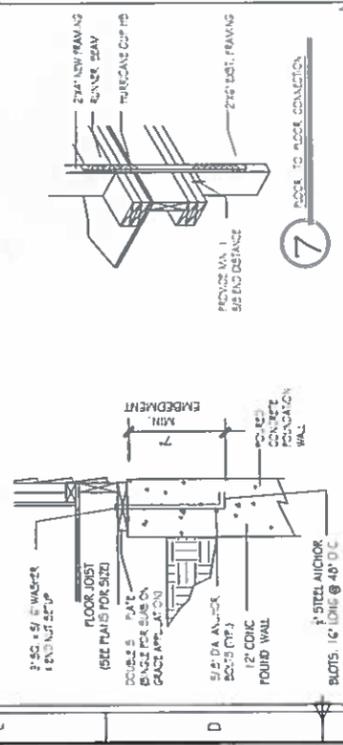
**PROPOSED & EXISTING FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



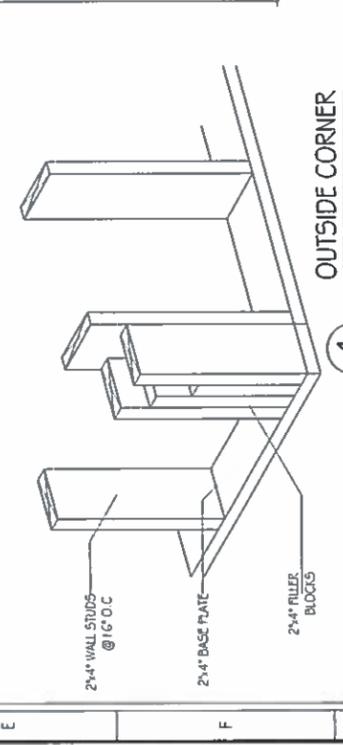
**PROPOSED & EXISTING FOUNDATION & FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



**B1 FLASHING DETAIL AT WOOD DECK DETAIL**  
 DECK CONNECTION DETAILS



**4 ANCHOR BOLT DETAIL**  
 SCALE: 1" = 1'-0"



**4 OUTSIDE CORNER STRUCTURAL FRAMING CONNECTION DETAILS**



**25 STUD TO STUD CONNECTIONS**

A B C D E F G H 1 2 3 4 5 6 7 10 11 12 13 14 15 16



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2024 JAN 22 4:46

NO.	REVISION	DATE
1	ISSUED FOR PERMITS	12/21/23
2	DATE CHG	04/23

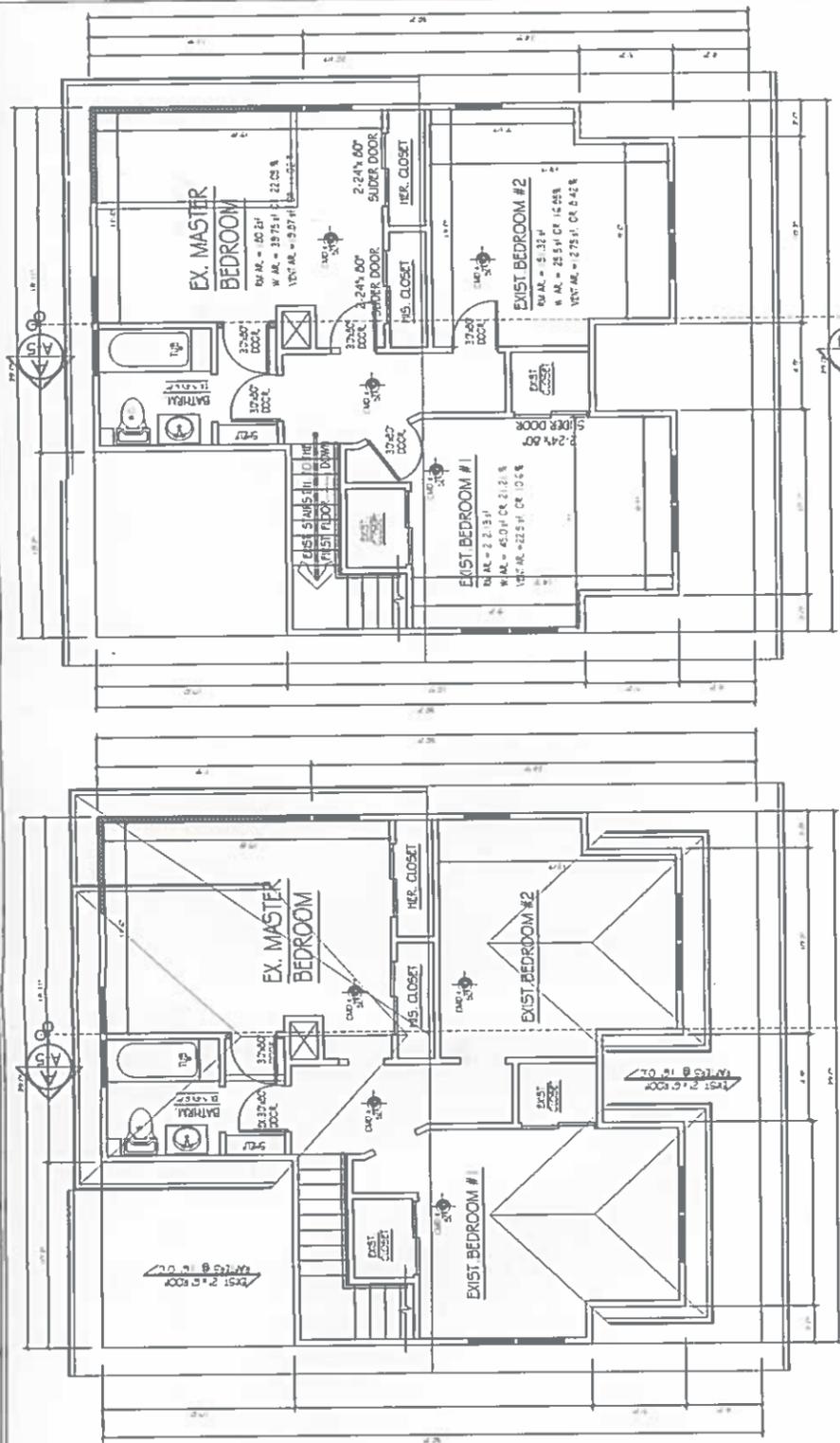
**CRUVE ASSOCIATES INC.**  
 55 WILSON AVENUE  
 SUITE 200  
 ROCKY HILL, CT 06151  
 PHONE: 860.486.1122  
 FAX: 860.486.1125  
 EMAIL: info@cruve.com  
 WWW: www.cruve.com

**NOEL & ALEXANDRA RESIDENCE**  
 4 OF WILSON AVENUE  
 ROCKY HILL, CT 06151

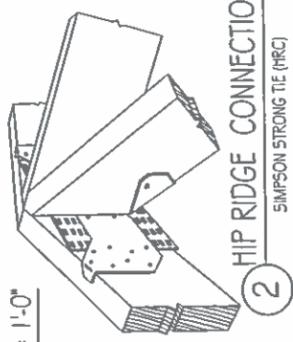
**VILLA OF THE NORTH**  
 PROJECT NUMBER: 23-003  
 PROJECT NAME: NOEL & ALEXANDRA RESIDENCE  
 PROJECT LOCATION: 4 OF WILSON AVENUE, ROCKY HILL, CT 06151  
 PROJECT DATE: 12/21/23

**DATE OF APPROVAL:**  
**PROJECT LOCATION:**  
**PROJECT DATE:**

SEAL  
 3  
 6  
 2023104



PROPOSED & EXISTING ROOF PLAN  
 SCALE: 1/4" = 1'-0"



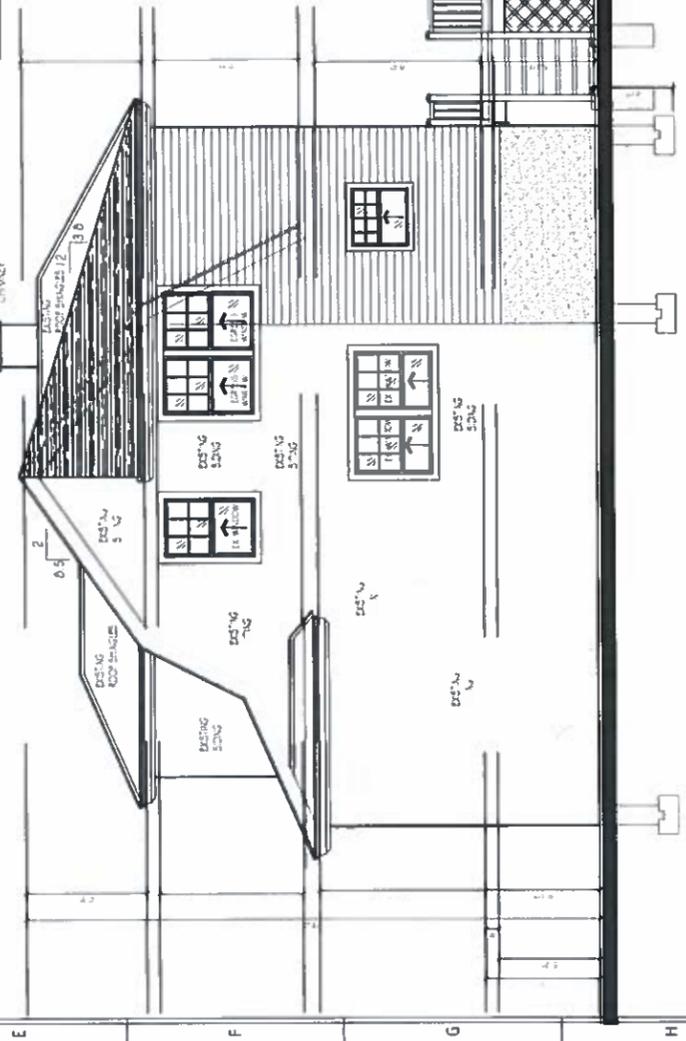
HIP RIDGE CONNECTION  
 SIMPSON STRONG TIE (HRC)  
 HRC22 - 2X OR 1 1/2" WIDE MEMBER SIZE  
 HRC42 - 4X MEMBER SIZE  
 HRC44 - 4X MEMBER SIZE

**RAILING NOTES:**

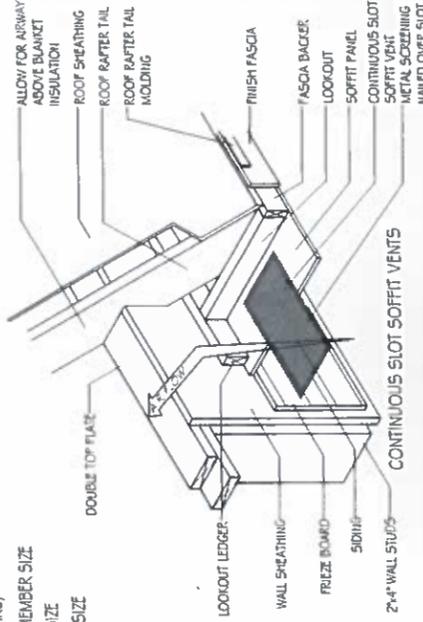
- ALL RAILING TO BE 200 IMPACT LOAD RESISTANT.
- ALL RAILING TO BE 4\"/>

**GUARDRAIL NOTES:**

- ALL OPEN GUARDRAILS SHALL PERMIT PASSAGE OF 4\"/>



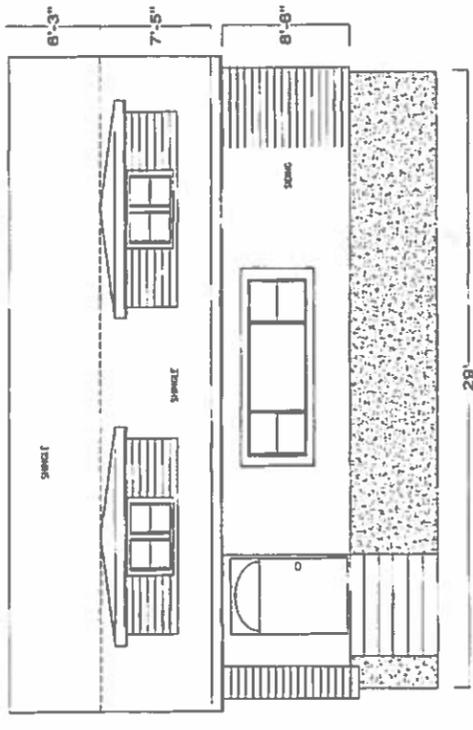
BUILDING RIGHT-SIDE ELEVATION (SOUTH EAST) --- SCALE: 1/4" = 1'-0"



SOFFIT VENTING--- NOT TO SCALE

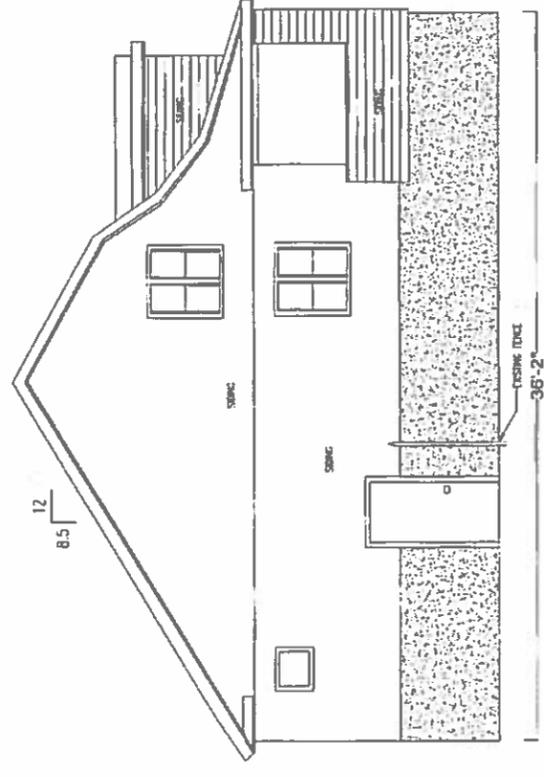
27 HURRICANE CLIP  
 SIMPSON STRONG TIE (HRC 54U)  
 INSULATION OVER PLYWOOD IS AFFORDABLE  
 AS PER MIN. WALL PENETRATION (C2003 FC 11)

16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1



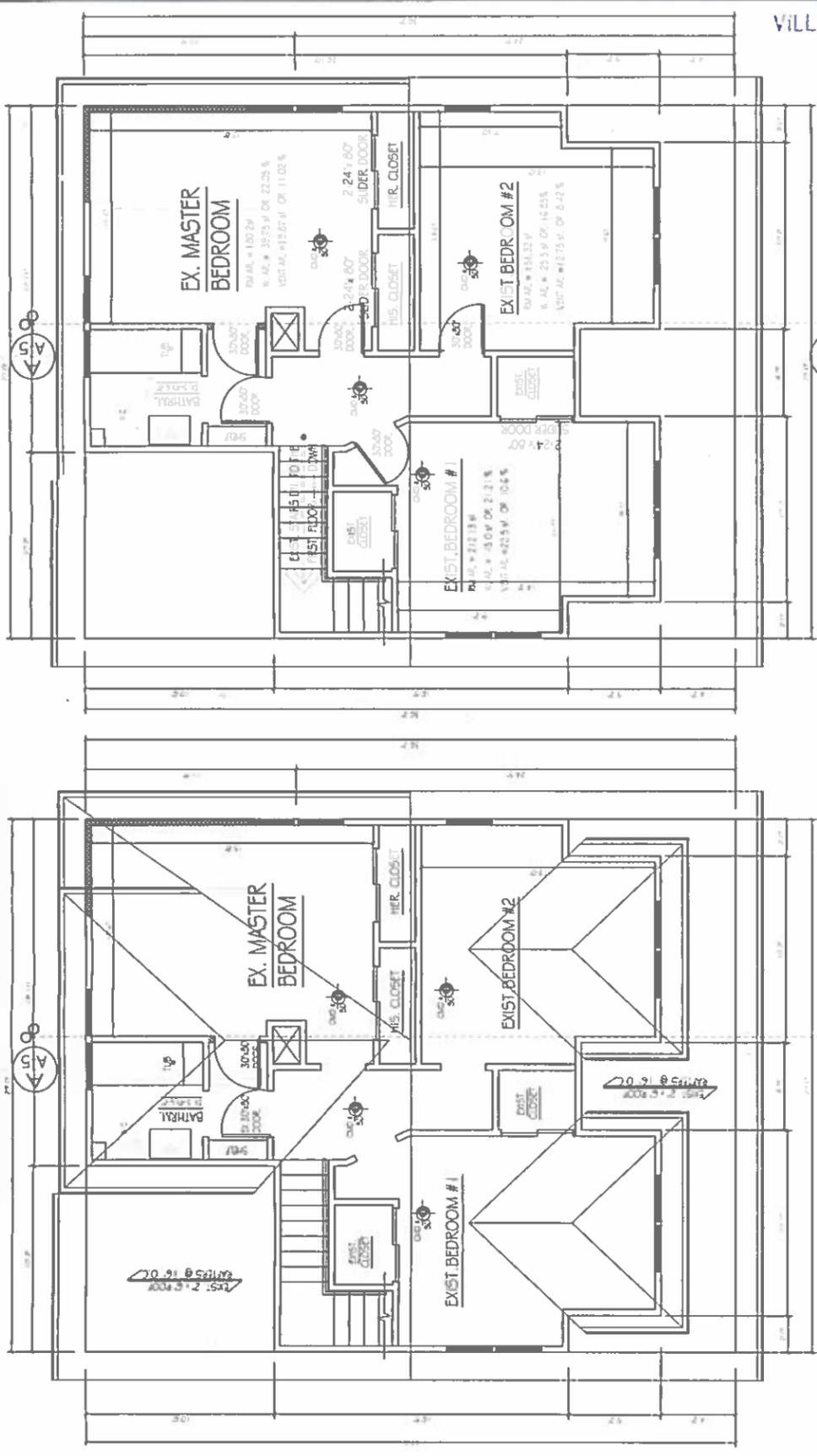
FRONT - ELEVATION

**BUILDING FRONT-SIDE ELEVATION**



LEFT SIDE - ELEVATION

**BUILDING LEFT SIDE ELEVATION**

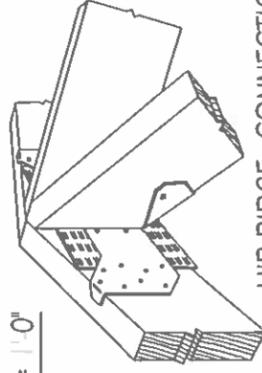


PROPOSED & EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"

PROPOSED & EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



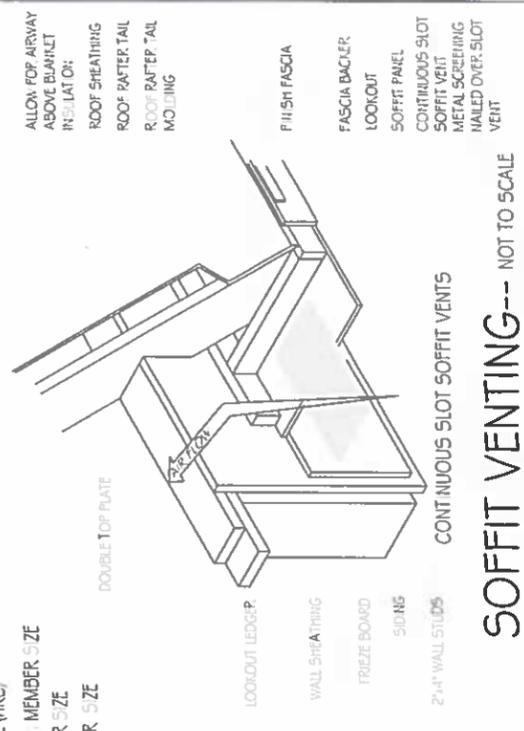
2 HIP RIDGE CONNECTION

- SIMPSON STRONG TIE (HRC)
- HRC22 - 2X OR 1 1/2" WIDE MEMBER SIZE
- HRC42 - 4X MEMBER SIZE
- HRC44 - 4X MEMBER SIZE



27 HURRICANE CLIP

- SIMPSON STRONG TIE (H2.5A)
- INSTALLATION OVER PLYWOOD IS ACCEPTABLE
- AS PER MAN. WALL PENETRATION (C2003 PE.1.1)



27 CONTINUOUS SLOT SOFFIT VENTS

SOFFIT VENTING--- NOT TO SCALE

- ALLOW FOR AIRWAY ABOVE BASKET INSULATION
- ROOF SHEATHING
- ROOF RAFTER TAIL
- ROOF RAFTER TAIL MOLDING
- FINISH FASCIA
- FASCIA BACLER
- LOOKOUT
- SOFFIT PANEL
- CONTINUOUS SLOT SOFFIT VENT
- METAL SCREWING NAILLED OVER SLOT VENT

NO. 1 REVISED PLANS TO RESOLVE PLAN CHANGES 12.2.22 0.04.23

OBUME ASSOCIATES INC.  
33 WAPPA AVENUE  
ROSELAND, NEW YORK 11550  
PHONE: 516.433.3322  
FAX: 516.433.2266  
WWW.OBUMEASSOCIATES.COM

NOEL ALEXANDRIA RESIDENCE  
33 WAPPA AVENUE  
ROSELAND, NY 11550

RECEIVED  
2024 JUN 22 P 4:45  
A-003 .00

PROJECT LOCATION:  
33 WAPPA AVENUE  
ROSELAND, NY 11550  
DRAWING DATE: 12.04.2022

3a  
6  
20223104







Application Date: 1/29/2024  
Fees Paid: 2275.00

SP# 3699

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 144 LEWINGTON, FREEPORT ZONING DISTRICT Residence A  
SECTION 54 BLOCK 78 LOT 257 LOT SIZE: 47.80' x 133.0'

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Same as owner</u>	Name: <u>Edwin Zulueta Rigo</u>
Address:	Address: <u>144 LEWINGTON AVE</u> <u>FREEPORT NY 11520</u>
Telephone #:	Telephone #: <u>646-355-5550</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: INSTALLATIONS OF A ROOF OVER EXISTING DECK.  
REAR Black Shingles

I request a preliminary meeting:  YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  
✓ YES        NO

Edwin Rigo  
APPLICANT'S SIGNATURE  
Sworn to before me this 12th  
day of January, 2024

1-12-2024  
DATE

Mark Rahmings  
Notary Public

MARK C. RAHMINGS  
COMMISSIONER OF DEEDS  
City of New York - No. 29291  
Certificate Filed in Kings County  
Commission Expires: 9-1-25

Property Owner's Consent:  
I, Edwin Rigo am (are) the owner(s) of the subject property and consent to the filing of this application.

Edwin Rigo  
PROPERTY OWNER'S SIGNATURE  
Sworn to before me this 12th  
day of January, 2024

1-12-2024  
DATE

Mark Rahmings  
Notary Public

MARK C. RAHMINGS  
COMMISSIONER OF DEEDS  
City of New York - No. 29291  
Certificate Filed in Kings County  
Commission Expires: 9-1-25

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <u>      </u> YES <u>      </u> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<u>      </u> Approved <u>      </u> Denied Date: _____
Planning Board Signature: _____	Date: _____

RECEIVED  
JAN 29 P 3:44  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**

January 8, 2024

RECEIVED  
2024 JAN 29 P 3:46  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

Edwin J  
144 Lexington Ave  
Freeport, NY 11520

RE: 144 Lexington Ave , Freeport, NY 11520  
Zoning District: Residence A Sec 54, Blk 78, Lot 257  
Building Permit Application #20233425  
Description: Roof over existing wood deck.

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes\_\_ No\_X

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

     The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project : Building Permit App. 2023-425

Location: 144 Lexington Ave , Freeport NY 11520

Applicant: Edwin J

Description : Roof over existing wood deck.

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

\_\_\_\_\_

Dated: January 8, 2024

*Sergio A. Mauras*  
\_\_\_\_\_  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

RECEIVED  
2024 JAN 29 3:46  
VILLAGE OF FREEPORT, NY  
DEPT. OF BUILDINGS

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: <i>Zuleyka &amp; Edwin Lijo</i>			
Project Location (describe, and attach a location map): <i>144 Lexington ave Freeport NY 11570</i>			
Brief Description of Proposed Action: <i>Roof over <sup>existing</sup> deck</i>			
Name of Applicant or Sponsor: <i>INFINITY IMPROVEMENT LLC</i>		Telephone: <i>516 557 5266</i>	
Address: <i>144 Lexington Ave</i>		E-Mail: <i>INFINITYIMPROVEMENTLLC@Yahoo.com</i>	
City/PO: <i>Freeport N.Y.</i>		State: <i>NY</i>	Zip Code: <i>11570</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES <i>/</i>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES <i>✓</i>
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?  b. Consistent with the adopted comprehensive plan?	<input checked="" type="checkbox"/>		
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input checked="" type="checkbox"/>		
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?  b. Are public transportation service(s) available at or near the site of the proposed action?  c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>		
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/>		
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>		
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>		
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>		

2024 JUN 29 P 3:46  
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 STATE OF NEW YORK

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> Applicant/sponsor name: <u>Community Support</u> Date: <u>8/17/23</u> Signature: <u>[Signature]</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor, or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

144 Lexington ave. 3D Rendering (Rear)



144 Lexington Ave.



Front

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E OF FIREPORT, NJ

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Right Side



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POLICE OFFICE  
STATE OF NEW YORK  
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LEGEND

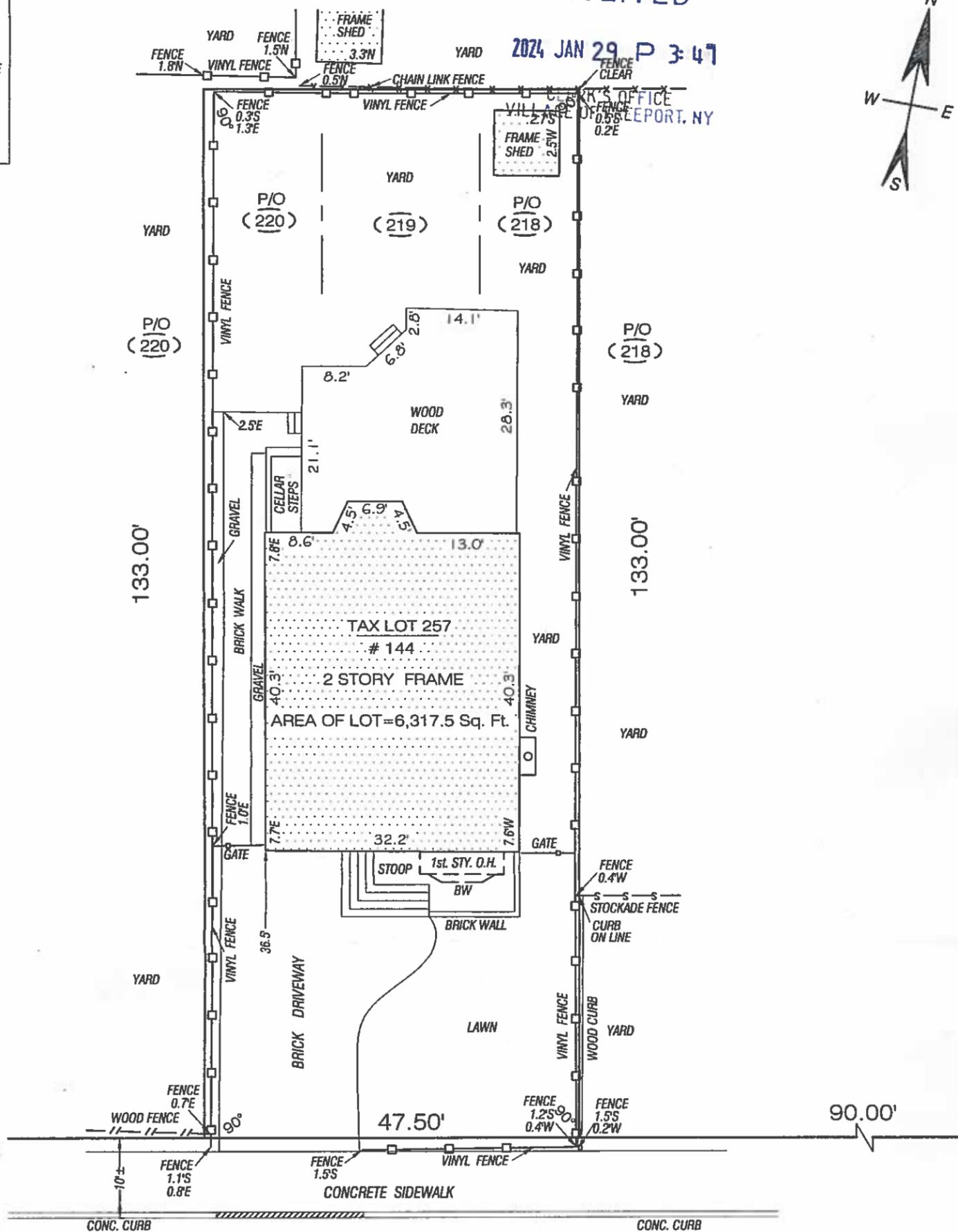
CONC.	CONCRETE
BW	BAY WINDOW
O.H.	OVERHANG
○	IRON FENCE
x-x	CHAIN LINK FENCE
///	WOOD FENCE
□	VINYL FENCE
-s-s-	STOCKADE FENCE
	DROP CURB

( PARALLEL WITH LEXINGTON AVENUE )

47.50'

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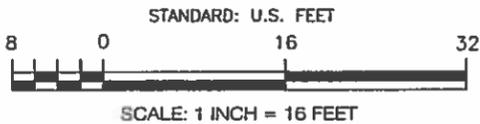
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MADISON AVENUE

LEXINGTON AVENUE

AVENUE



**FILE MAP**  
 DESIGNATED AS AND BY PART OF LOT NUMBER 218,  
 ALL LOT NUMBER 219 AND PART OF LOT NUMBER 220.  
 ON MAP ENTITLED "MAP OF ALPINE"  
 FILED ON JULY 24, 1907, AS MAP NO. 203, CASE 1649

**CERTIFIED TO:**  
 EDWIN RIJO  
 QUANTIC BANK ISAOAJATIMA  
 APPELLATE LAND SERVICES LTD.  
 AMTRUST TITLE INSURANCE COMPANY

CAPTION	LAND TITLE SURVEY
DATE	REVISIONS
08-12-2021	LAND TITLE SURVEY
	TITLE No.APS18485N

GENERAL NOTES:

- This survey was prepared only for the party (parties) and purpose indicated hereon.
- Property corner monuments or markers were (not) placed as part of this survey.
- Certifications on this survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. Said certifications are limited to the party (parties) for whom the survey is prepared and are not transferable.
- The location and nature of underground structures, internal walls and improvements or encroachments not visible to the surveyor are not covered under this certification.
- Easements of record are only guaranteed if an Abstract of Title is furnished to the surveyor.
- This is to certify that there are no streams nor natural water courses on the property except as shown on this survey.



VINCENT TEUTONICO, L.S.  
 NEW YORK LICENSE 050307

**MAP OF SURVEY OF PROPERTY**  
 COUNTY OF NASSAU  
 TOWN OF HEMPSTEAD  
 STATE OF NEW YORK  
 TAX MAP: SECTION 54, BLOCK 78 LOT 257



114-34 122nd STREET  
 SOUTH OZONE PARK  
 NY 11420  
 TEL: 718-751-6871  
 email: citymapping@yahoo.com

	DATE	BY	DRAWN	DATE	BY
SURVEYED	08-12-2021	V.B & V.J	DRAWN	08-14-2021	A.K

Application Date: 1/30/2024  
 Fees Paid: \$225.00

SP# 3700

**INCORPORATED VILLAGE OF FREEPORT  
 SITE PLAN REVIEW APPLICATION  
 PLANNING BOARD**

**NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION**

PROPERTY ADDRESS: 78 ROOSEVELT AVE ZONING DISTRICT RESIDENCE AA  
 SECTION 62 BLOCK 134 LOT 0021 LOT SIZE: 9,583 SQ

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>SAME AS OWNER</u>	Name: <u>NATALIE RANDBATH</u>
Address: _____	Address: <u>37 SPORTSMAN AVE</u> <u>FREEPORT NY 11520</u>
Telephone #: _____	Telephone #: <u>516 884 7971</u> <u>516 8</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
 (optional) Phone #: \_\_\_\_\_

Present Land Use: RESIDENTIAL Proposed Land Use: RESIDENTIAL

Description of Proposed Work: TO MAINTAIN FINISH EXTEND DRIVEWAY  
1692 SQ

I request a preliminary meeting:  YES  NO

I request a waiver of the public hearing and hereby certify the following:  
 A. The subject property is zoned Residence A or Residence AA.  
 B. The proposed construction is not a new building or dwelling.  
 C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  
 YES  NO

Natalie Randbath 01-29-2024  
 APPLICANT'S SIGNATURE DATE  
 Sworn to before me this 29 day of January, 2024  
Meshessna C. Little  
 Notary Public  
 MESHESSNA C LITTLE  
 NOTARY PUBLIC-STATE OF NEW YORK  
 No. 01LI6066956  
 Qualified in Nassau County  
 My Commission Expires 11-26-2028

**Property Owner's Consent:**  
 I, NATALIE RANDBATH (am) the owner(s) of the subject property and consent to the filing of this application.  
Natalie Randbath 01-29-2024  
 PROPERTY OWNER'S SIGNATURE DATE  
 Sworn to before me this 29 day of January, 2024  
Meshessna C. Little  
 Notary Public  
 MESHESSNA C LITTLE  
 NOTARY PUBLIC-STATE OF NEW YORK  
 No. 01LI6066956  
 Qualified in Nassau County  
 My Commission Expires 11-26-2028

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**FOR VILLAGE USE ONLY**

Site Plan Public Hearing Required:  YES  NO Date of Hearing: \_\_\_\_\_  
 Date of Decision: \_\_\_\_\_  
 Village Clerk's Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Planning Board Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Approved  Denied



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INC. VILLAGE OF FREEPORT CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

Department of Buildings  
46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER  
January 8, 2024

Natalee Ramdahin  
78 Roosevelt Ave  
Freeport, NY 11520

RE: 78 Roosevelt Ave, Freeport, NY 11520  
Zoning District: Residence AA Sec 62, Blk 134, Lot 21  
Building Permit Application #20233591

Description: Maintain expansion of driveway (1,692 SF)

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

cc: Village Clerk

ZBA Approval Needed: Yes \_ No\_X\_

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

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Notice

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X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

- X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.
- The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20233591

Location: 78 Roosevelt Ave, Freeport, NY 11520

Applicant: Natalee Ramdahin

Description : Maintain expansion of driveway (1,692 SF)

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:  
(only if positive determination)

Dated: January 8, 2024

Sergio A. Mauras  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form

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**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

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VILLAGE OF FREEPORT, NY

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: <u>NATHALIE RAMDATHAN (CHITRA RAMDATHAN)</u> <u>CONSTRUCTION WITHOUT PERMIT</u> <u>DRIVEWAY EXPANSION</u>			
Project Location (describe, and attach a location map): <u>78 ROSEVELT AVE FREEPORT NY 11520</u>			
Brief Description of Proposed Action: <u>TO MAINTAIN FINISH EXTENDED DRIVEWAY</u>			
Name of Applicant or Sponsor: <u>CHITRA RAMDATHAN</u>		Telephone: <u>516 884 7971</u>	
Address: <u>37 SPORTSMAN AVE</u>		E-Mail: <u>MILLENNIUMDISCOUNT</u> <u>INTERNAL.COM</u>	
City/PO: <u>FREEPORT</u>	State: <u>NY</u>	Zip Code: <u>11520</u>	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

2024 JAN 30 A 11: 18

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	NO	YES	N/A
5. Is the proposed action, <ul style="list-style-type: none"> <li>a. A permitted use under the zoning regulations?</li> <li>b. Consistent with the adopted comprehensive plan?</li> </ul>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?  b. Are public transportation service(s) available at or near the site of the proposed action?  c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?  b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <ul style="list-style-type: none"> <li>a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</li> <li>b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?                              If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?  
 If Yes, explain purpose and size: \_\_\_\_\_

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 VILLAGE OF FREEPORT, NY

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?  
 If Yes, describe: \_\_\_\_\_

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?  
 If Yes, describe: \_\_\_\_\_

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Natalee Pandaka  
 Signature: MUN

Date: 12-20-2023

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
	a. public / private water supplies?	<input checked="" type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

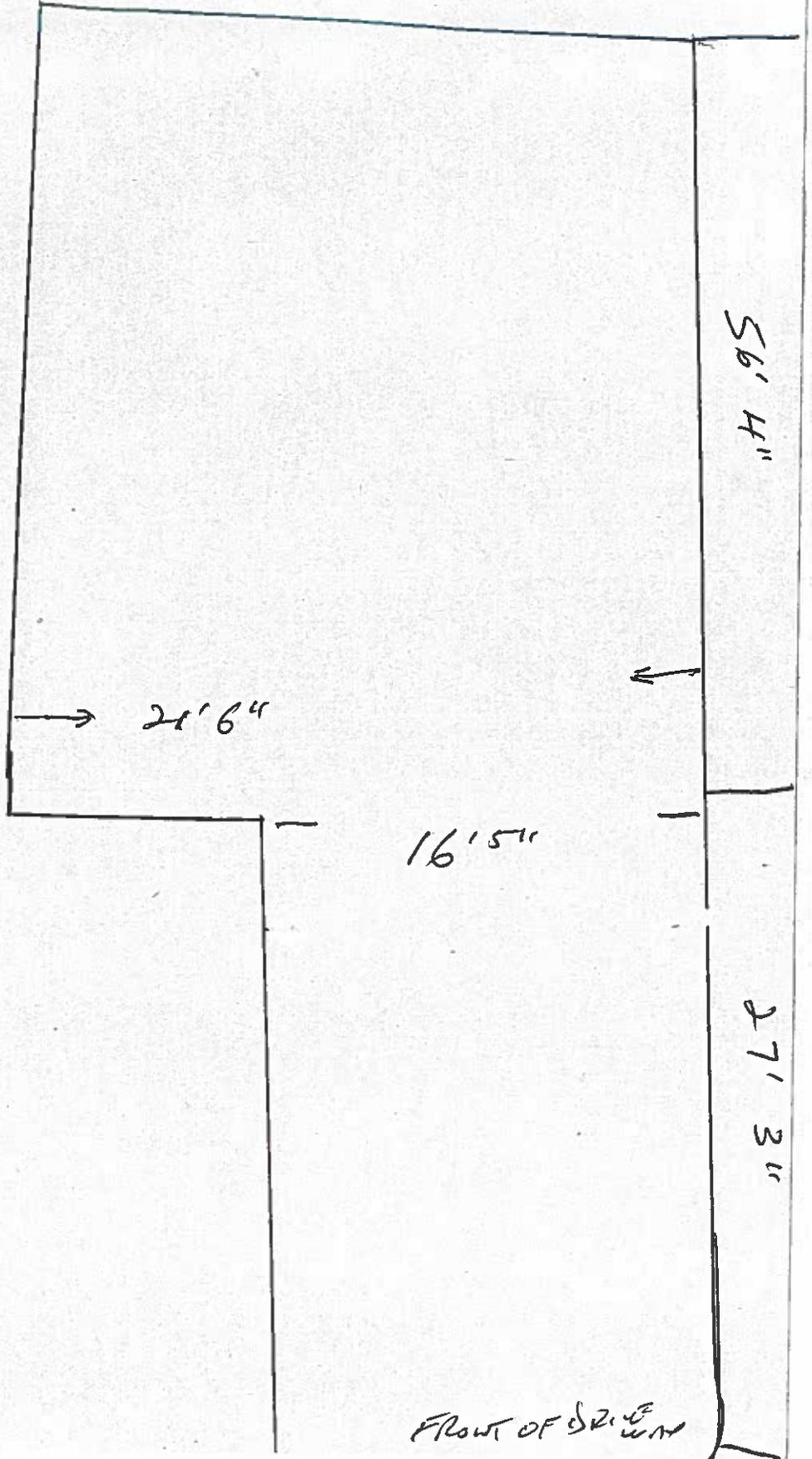
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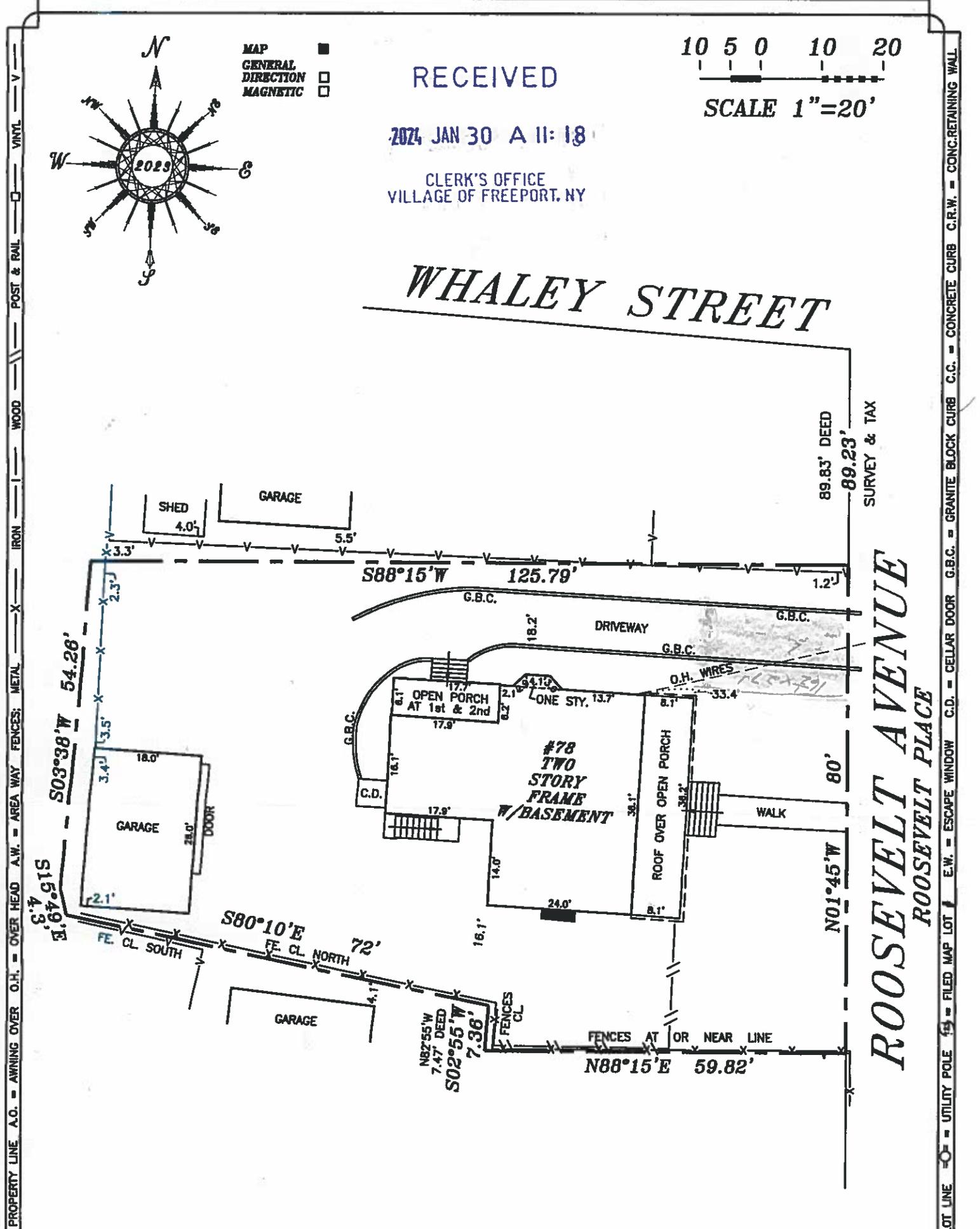
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

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10 5 0 10 20

SCALE 1"=20'

WHALEY STREET

89.83' DEED  
89.23'  
SURVEY & TAX

ROOSEVELT AVENUE  
ROOSEVELT PLACE

COPYRIGHT © MARCH 2023  
BARRY M. FAHRER L.S.  
ALL RIGHTS RESERVED

EASEMENTS, IF ANY, NOT SHOWN.

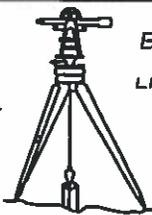
UNLESS OTHERWISE NOTED, PHYSICAL MONUMENTS HAVE NOT BEEN SET.

This survey is intended to be used for title purposes only and is subject to whatever a more complete title search may reveal. Use of this survey for any other purpose may result in problems for which this surveyor will not be liable. Unauthorized alteration to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law. Only copies from the original of this survey marked with an original of the land surveyor's embossed seal shall be considered to be valid true copies. Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveyors adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person for whom the survey was prepared, and on his behalf to the title company, government agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners. This map may not be used in connection with a "Survey Affidavit" or similar document, statement, or mechanism to obtain title insurance for any subsequent or future grantees.

Unauthorized reproduction of this map is a violation of the copyright law. COPIES WITH OUT A RED SIGNATURE & EMBOSSED SEAL ARE COUNTERFEIT.

L.S.T. = LANDSCAPE TIE (G) = GATE R.O. = ROOF OVER W.O.F. = WIRES ON FACE F.E. = FIRE ESCAPE 78ROOSEVELTAVE

CERTIFIED TO:  
KENNY RAMDAHIN



BARRY M. FAHRER  
NEW YORK STATE  
LICENSED LAND SURVEYOR  
No. 49851

BARRY M. FAHRER L.S. P.C.  
206 CHURCH STREET  
FREEPORT NEW YORK 11522  
(516) 623-2069  
FAX (516) 623-0629

STATE OF NEW YORK

JOB No. 20230067

TITLE No.

SECTION No. 62  
TAX BLOCK No. 134

LOT No. 21

DATE SURVEYED 03/02/2023  
FREEPORT  
COUNTY OF: NASSAU

*Barry M. Fahrer*

PROPERTY LINE A.O. = AWNING OVER O.H. = OVER HEAD A.W. = AREA WAY FENCES: METAL X IRON WOOD POST & RAIL V VINYL CONC. RETAINING WALL

LOT LINE -O- UTILITY POLE -f- FILED MAP LOT # E.W. = ESCAPE WINDOW C.D. = CELLAR DOOR G.B.C. = GRANITE BLOCK CURB C.C. = CONCRETE CURB C.R.W. = CONCRETE CURB

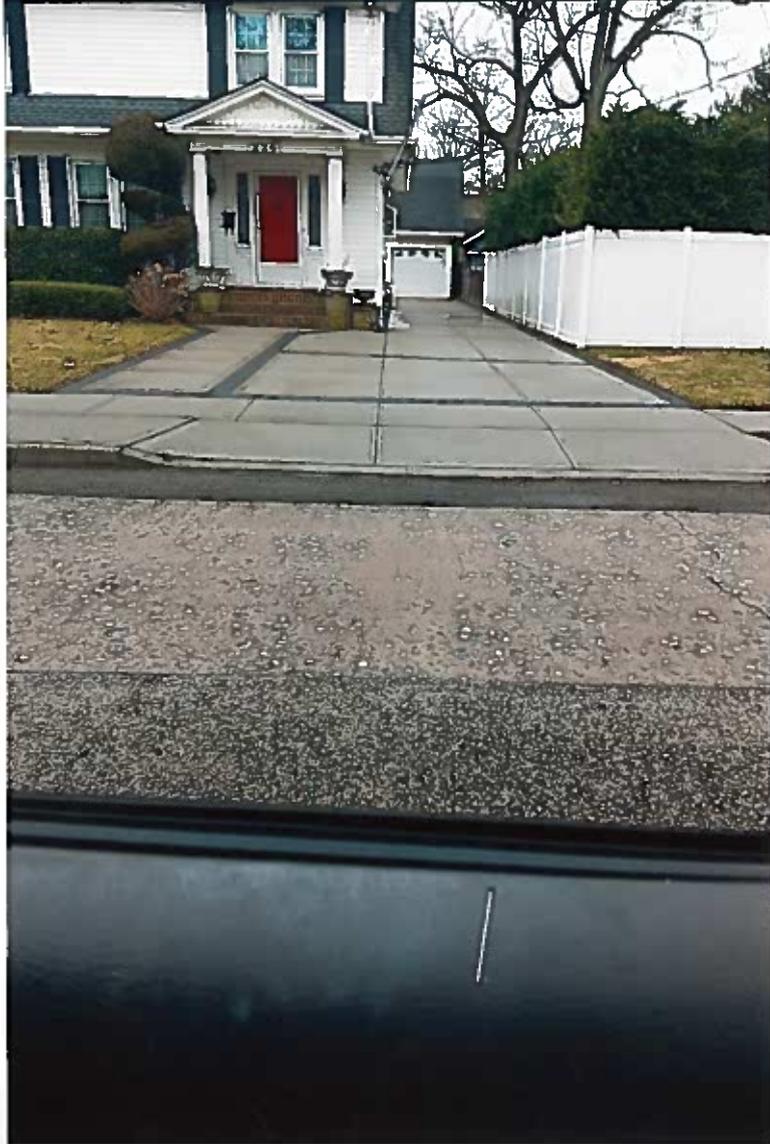
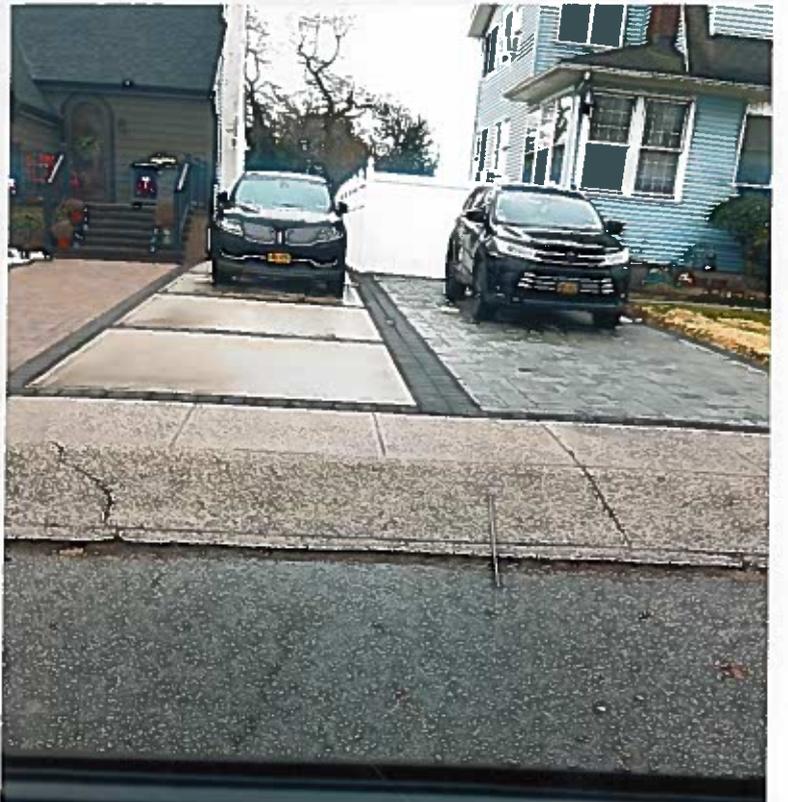




78 Roosevelt Ave, Freeport, NY

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MAR 30 4 11 13





Application Date: 1/31/24  
 Fees Paid: \$225.00

SP# 3701

**INCORPORATED VILLAGE OF FREEPORT  
 SITE PLAN REVIEW APPLICATION  
 PLANNING BOARD**

**NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION**

PROPERTY ADDRESS: <u>84 N. Bayview Ave.</u>	ZONING DISTRICT: <u>Residence A</u>
SECTION <u>54</u> BLOCK <u>067</u> LOT <u>2</u>	LOT SIZE: _____

<input type="checkbox"/> TENANT <input checked="" type="checkbox"/> <b>APPLICANT</b> <input type="checkbox"/> LESSEE	<b>PROPERTY OWNER</b>
Name: <u>L Llerena, Gerardo</u>	Name: <u>L Llerena, Gerardo</u>
Address: <u>84 N. Bayview Ave</u>	Address: <u>84 N. Bayview Ave</u>
<u>Freeport, NY 11520</u>	<u>Freeport NY 11520</u>
Telephone #: <u>516.384.3534</u>	Telephone #: <u>516.384.3534</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
 (optional) Phone #: \_\_\_\_\_

Present Land Use: Residence      Proposed Land Use: Residence

Description of Proposed Work: Maintain Pergola (168.52sq.ft) and Deck (320 sq.ft)

I request a preliminary meeting:     YES     NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

\_\_\_\_\_  YES      \_\_\_\_\_  NO

Gerardo Llerena  
 APPLICANT'S SIGNATURE

1-17-24  
 DATE

Sworn to before me this 17<sup>th</sup>  
 day of January, 2024.

JENNY O. SABORIO  
 Notary Public, New York  
 Nassau Co. Reg. #01SA5038672  
 Commission Expires Jan 30 2027

**Property Owner's Consent:**  
 I, Gerardo Llerena am (are) the owner(s) of the subject property and consent to the filing of this application.

Gerardo Llerena  
 PROPERTY OWNER'S SIGNATURE

1-31-24  
 DATE

Sworn to before me this 31<sup>st</sup>  
 day of JANUARY, 2024.

PEGGY M. LESTER  
 Notary Public, State of New York  
 No. 01LE6293122  
 Qualified in Nassau County  
 Commission Expires Nov. 25, 2025

\*\*\*\*\*

**FOR VILLAGE USE ONLY**

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	_____ <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
Planning Board Signature: _____	Date: _____

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 VILLAGE OF FREEPORT, NY  
 CLERK'S OFFICE  
 JAN 31 3:01 PM '24



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

ROBERT T. KENNEDY  
MAYOR

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**AMENDED SITE PLAN LETTER  
December 27, 2023**

Llerena Gerardo  
84 N Bayview Ave  
Freeport, NY 11520

**RE: 84 N Bayview Ave, Freeport, NY 11520**  
**Zoning District: Residence A Sec 54, Blk 067, Lot 2**  
**Building Permit Application #20233429**  
**Description: Maintain Pergola (168.52sq.ft) and deck (320 sq.ft)**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

VILLAGE OF FREEPORT, NY  
CLERK'S OFFICE

2024 JAN 31 P 3:02

c: Village Clerk

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ZBA Approval Needed: Yes X No

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

       The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20233429

Location: 84 N Bayview Ave Freeport NY 11520

Applicant: LLerena Gerardo

Description : Maintain Pergola (168.52sq.ft) and deck (320 sq.ft)

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: December 27, 2023

*Sergio A. Mauras*

Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

VILLAGE OF FREEPORT  
CLERK'S OFFICE  
JAN 31 P 3:02

617.20  
Appendix B  
Short Environmental Assessment Form

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FREEPORT BUILDING DEPT.

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: <b>Backyard Pergola</b>							
Project Location (describe, and attach a location map): <b>84 N. Bayview Ave. Freeport, NY 11520 (REAR OF HOUSE)</b>							
Brief Description of Proposed Action: <b>ASSEMBLE BACKYARD PERGOLA 12' x 14' (168' SQ FT) 10' HT</b>							
Name of Applicant or Sponsor: <b>Llerena, Gerardo</b>		Telephone: <b>516.384.3534</b>					
Address: <b>84 N. Bayview Ave RR</b>		E-Mail: <b>gerardo_252@msn.com</b>					
City/PO: <b>Freeport</b>		State: <b>NY</b>	Zip Code: <b>11520</b>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="font-size: 2em;">X</td> <td></td> </tr> </table>	NO	YES	X	
NO	YES						
X							
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="font-size: 2em;">X</td> <td></td> </tr> </table>	NO	YES	X	
NO	YES						
X							
3. a. Total acreage of the site of the proposed action? _____ acres							
b. Total acreage to be physically disturbed? _____ acres							
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres							
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

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AUG 16 2023

FREEPORT BUILDING DEPT.

5. Is the proposed action, a. A permitted use under the zoning regulations?  b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
6. Is the proposed action consistent with the predominant character of the existing, built or natural landscape?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?  b. Are public transportation service(s) available at or near the site of the proposed action?  c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?  b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input checked="" type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____</p>	NO	YES
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____</p>	NO	YES
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____</p>	NO	YES
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p>		
<p>Applicant/sponsor name: <u>Livera, Gerardo</u></p>		<p>Date: <u>8-15-23</u></p>
<p>Signature: <u>[Signature]</u></p>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public/private water supplies? b. public/private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

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	APR 7 1983 FREDERICKS VILLAGING DEPT.	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?			<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**INCORPORATED VILLAGE OF FREEPORT  
ZONING BOARD OF APPEALS DECISION**

**DATE: December 21, 2023**

**APPROVAL**

Building Department Permit Application #20233429

Chairman, regarding Application #2023-28 for the premises located at 84 N. Bayview Avenue, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-43C(2) and 210-43D(2) and (3) seeking approval to maintain a 168.52 square foot pergola and a 320 square foot deck.

I, Anthony Mineo, move that this Board make the following findings of fact:

A public hearing was held on November 16, 2023 wherein applicant Gerardo Llerena spoke on his own behalf. He explained that he built a pergola 3 feet from the rear and side property lines. He built a deck underneath the pergola 1 foot 9 inches from the property line. The Pergola is not attached to the deck; it is a separate structure. The deck is about 6 inches off of the ground. He built the pergola in line with his garage.

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
  - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance;
  - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;
  - c. that the requested area variance is insubstantial;
  - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
  - e. that the alleged difficulty was not self-created.

The Board, as lead agency has determined that this action is a Type II action and under SEQRA and no further review is required.

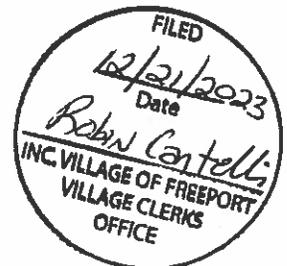
I further move that this application be granted subject to the following conditions:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.
3. This application for variance(s) is being granted on the basis of the specific use proposed. If anything in this application is to change, the applicant must return to the Board for further review.

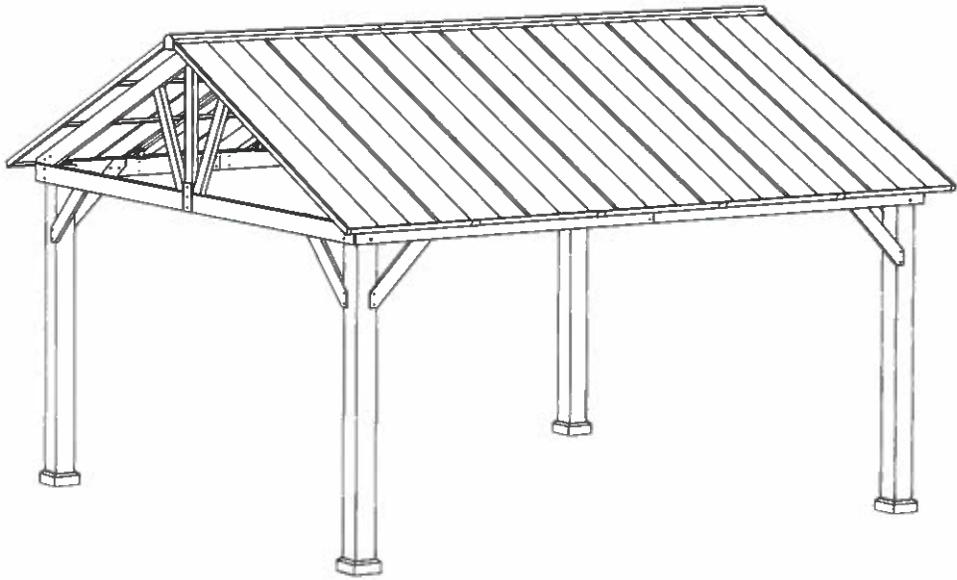
Second by: Deputy Carey

The Clerk polled the Board:

Member Mineo	In Favor
Member Jackson	In Favor
Member Hawkins	In Favor
Deputy Carey	In Favor
Chairperson Rhoden	In Favor



**ASSEMBLY INSTRUCTION**  
**ITEM#: A102008100**



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24 hours / 7 days a week

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 [1-\(866\)-578-6569](tel:1-866-578-6569)

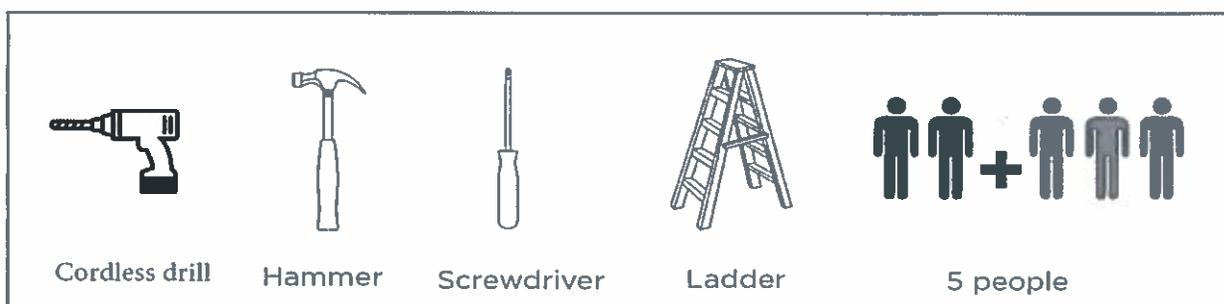
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Country of Origin: China

Production Number: XXXXXXXXXX

**IMPORTANT:**

- Please read and understand this manual before any assembly. Before beginning assembly of product, make sure all parts are present. Compare parts with packaging contents list.
- If any part is missing, or if you have any questions, contact the service centre at 1-(866)-578-6569 (toll free).
- **When assembling wooden parts, do not overtorque the bolts to avoid splitting the wood. See image illustration.**
- Place all parts from the box in a cleared area and position them on the floor in front of you.
- Remove all packing materials and place them back into the box. Do not dispose of the packing materials until assembly is complete.
- Read each step carefully before beginning any assembly and make sure you understand each step. If you are missing a part, please call our toll-free number for assistance 1-(866)-578-6569.
- Needed for assembly: (The following tools are not included)



This identifies information that requires special attention. Improper assembly could lead to an unsafe or dangerous condition.

**Use Level**

Check that set or assembly is properly level before proceeding.

**Square Assembly**

Check that assembly is square before tightening bolts.

**Tighten Bolts**

Do not overtorque mounting bolts. Over tightening may cause the wood to crack creating splinters and other structural damage.

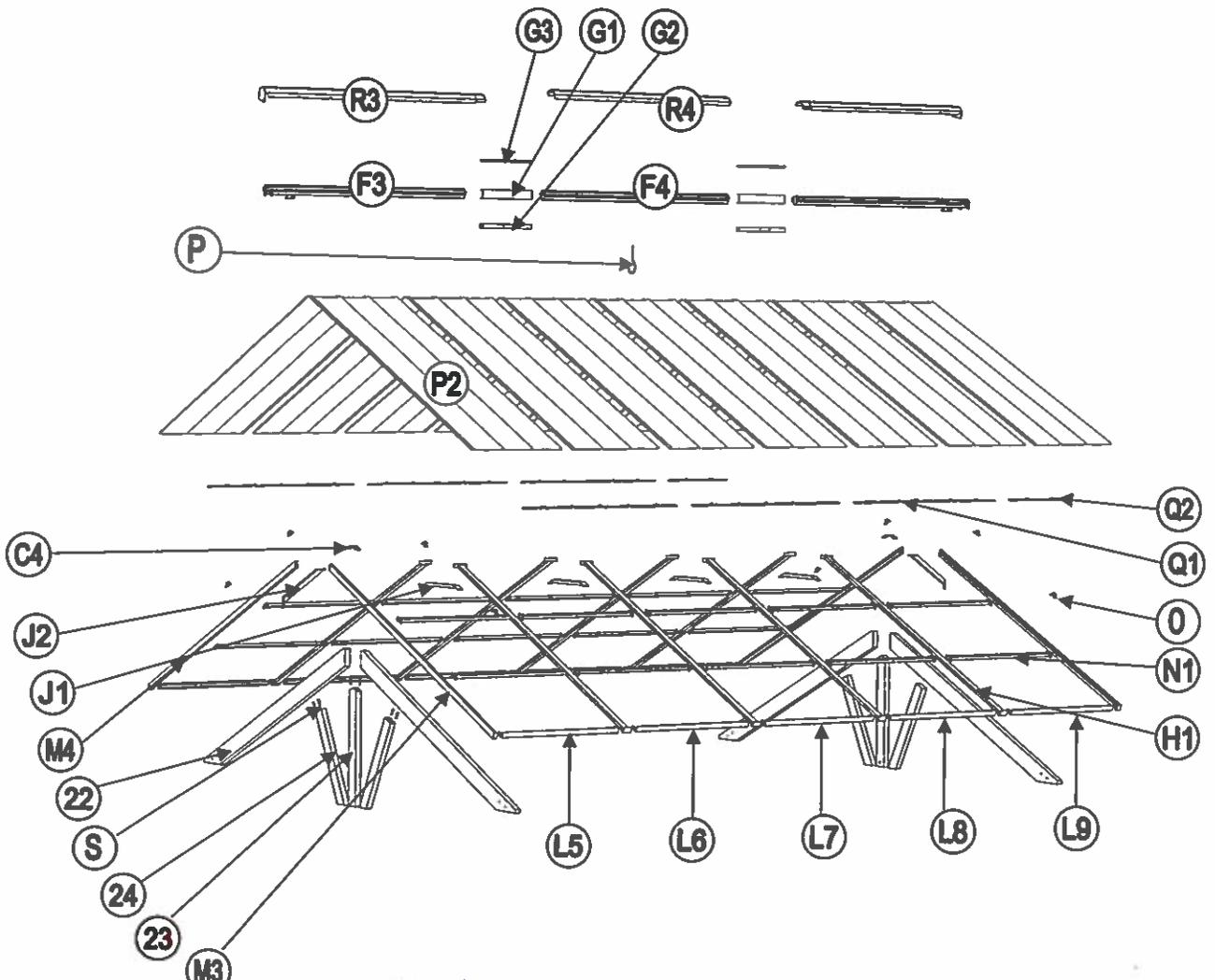
**Measure Distance**

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VILLAGE OF FREEPORT, NY

Country of Origin: China

Call 1(866) 578-6569 for assistance.  
Or visit us at [www.sunjoyonline.com](http://www.sunjoyonline.com)

# EXPLODED DRAWING



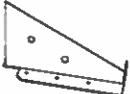
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VILLAGE OF FREEPORT, NY

2024 JAN 31 P 3:03

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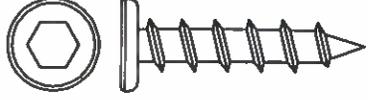
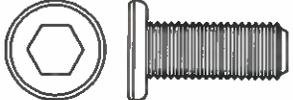
Country of Origin: China

Call 1(866) 578-6569 for assistance.  
Or visit us at [www.sunjoyonline.com](http://www.sunjoyonline.com)

C2	P000501251	Triangular Connector 2	2	
C3	P000501252	Triangular Connector 3	4	
D	P000501253	Beam Upper Connector	2	
C4	P002200226	Triangular Upper Press	2	
F3	P000601458	Big Roof Beam 1	2	
F4	P000601459	Big Roof Beam 2	1	
G1	P000501247	Roof Beam Connector 1	2	
G2	P000501248	Roof Beam Connector 2	2	
G3	P000501249	Roof Beam Connector 3	2	
H1	P000601457	Big Roof Middle Beam	8	
I	P000501246	Middle Beam Lower Connector	8	
J1	P005000434	Support Tube 1	4	
J2	P005000435	Support Tube 2	2	
P	P005800001	Hook	1	
L5	P000601460	Big Roof Lower Tube 1	2	
L6	P000601461	Big Roof Lower Tube 2	2	
L7	P000601462	Big Roof Lower Tube 3	2	
L8	P000601463	Big Roof Lower Tube 4	2	
L9	P000601464	Big Roof Lower Tube 5	2	
M3	P000601466	Big Roof Side Tube 1	2	

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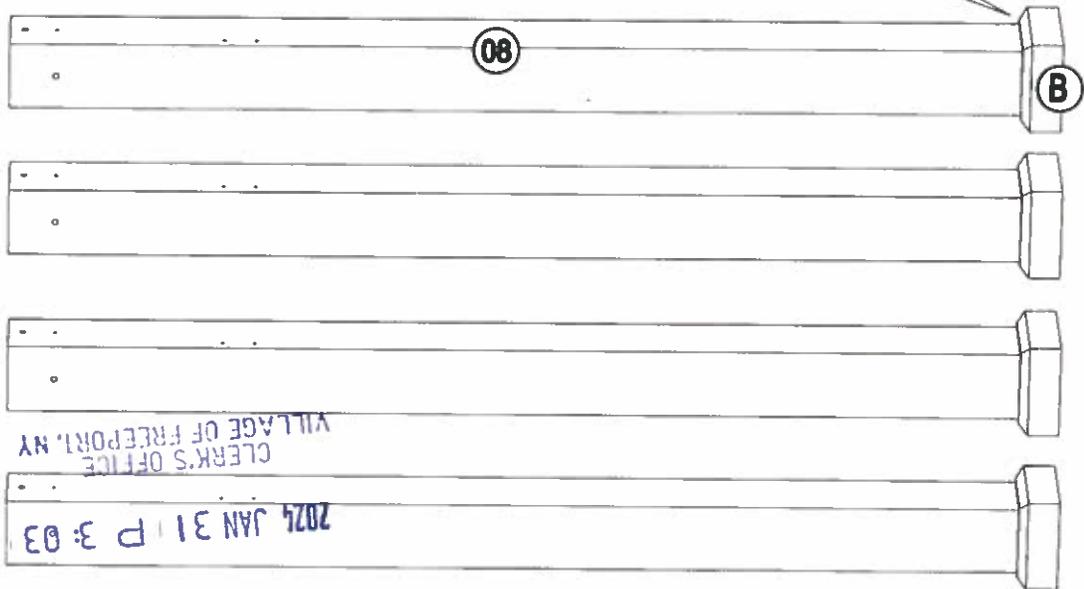
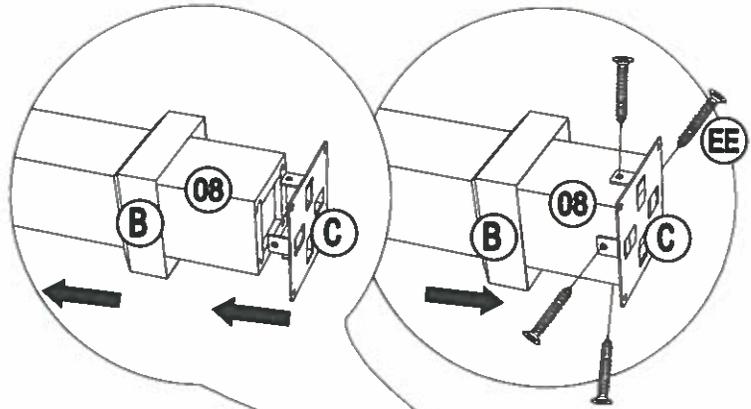
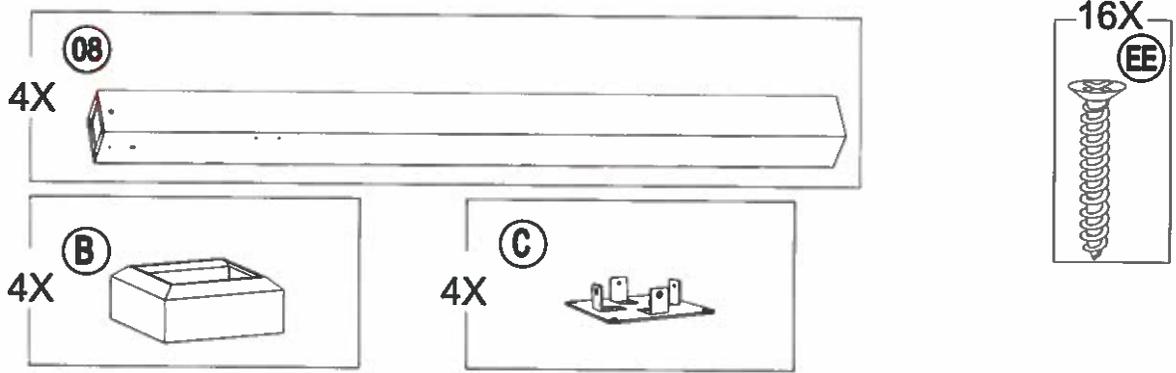
Hardware Pack					
Label	Part Number	Description	Qty	Add	Part Image
AA	H010010276	Bolt M10*205	8	1	
BB	H050010020	Flat Washer M6	222	12	
CC	H030050037	Screw M5*35	80	4	
DD	H040010004	Nut M6	24	2	
EE	H030050036	Screw M5*25	124	7	
FF	H010020011	Bolt M6*15	170	9	
GG	H010020024	Bolt M6* 75	8	1	
HH	H010030083	Bolt M8*35	16	1	
II	H030030010	Bolt M8*35	18	1	
JJ	H010020009	Bolt M6*55	16	1	
KK	H010030084	Bolt M8*25	24	2	
LL	H040050020	Non-slip Nuts M10	8	1	

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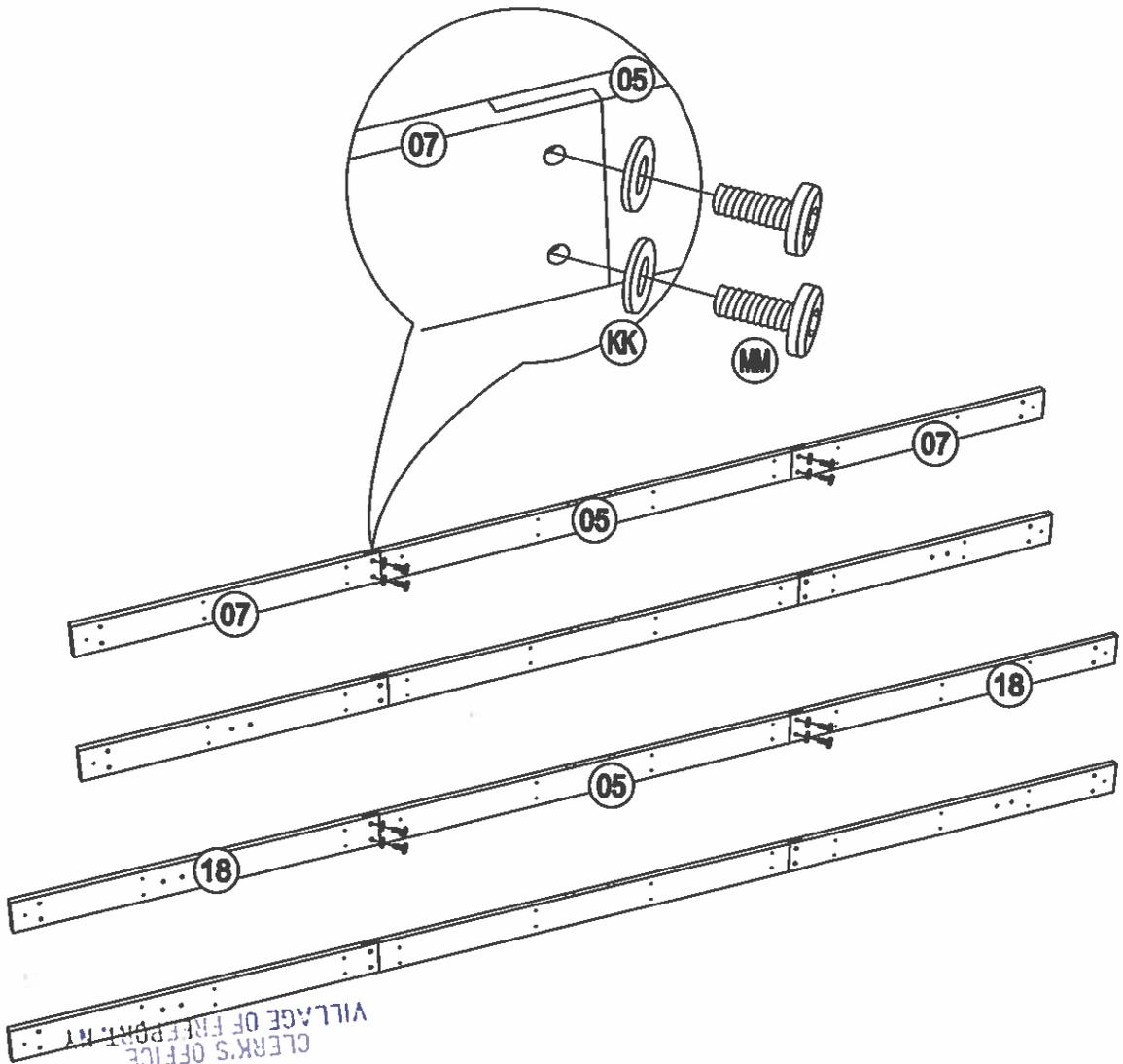
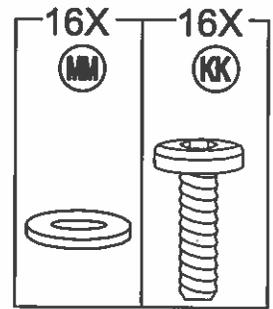
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3

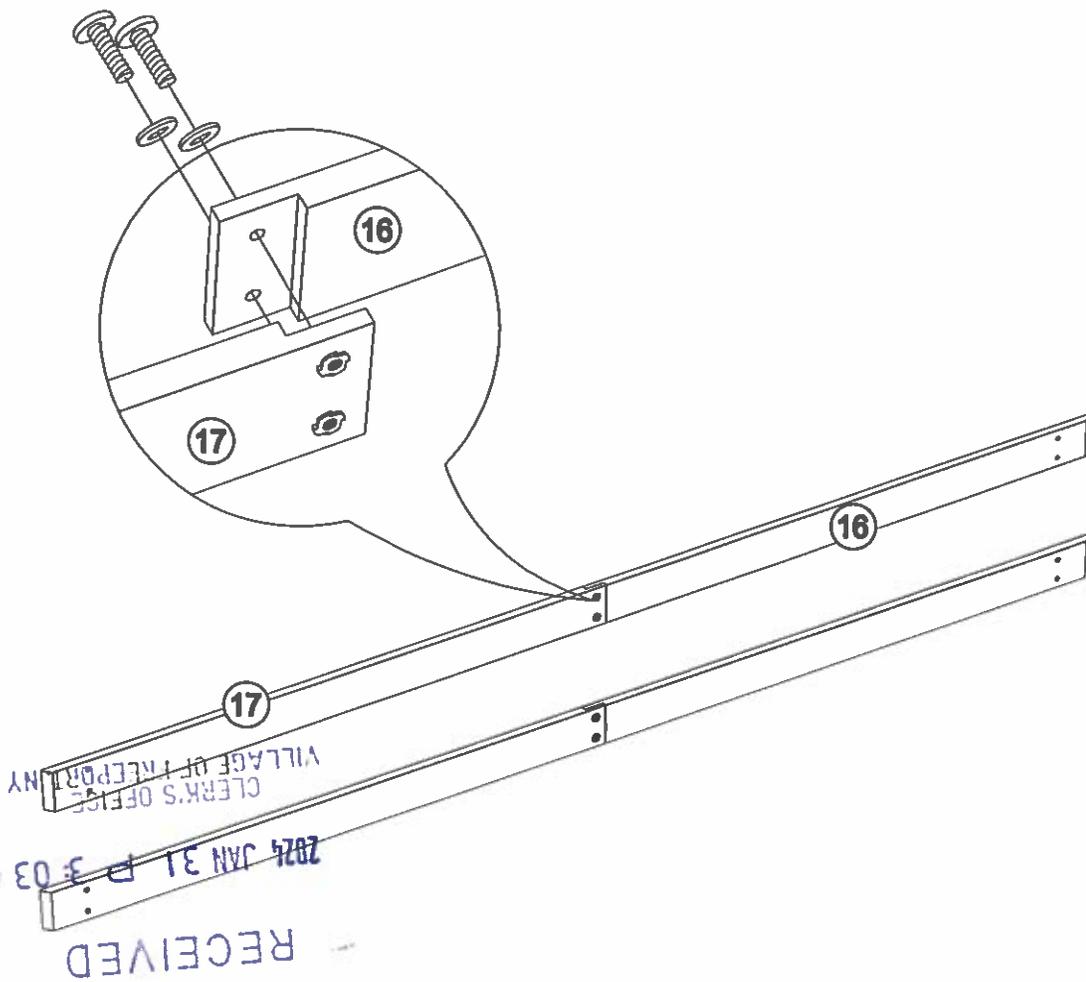
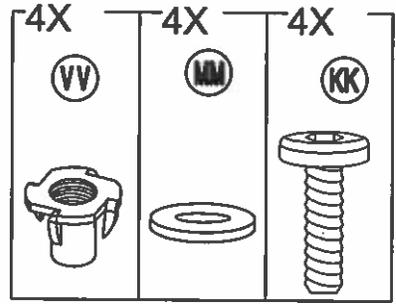
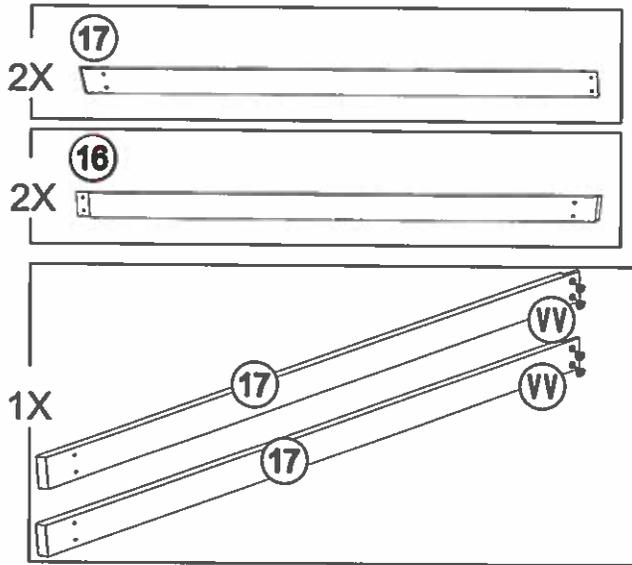


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# 5

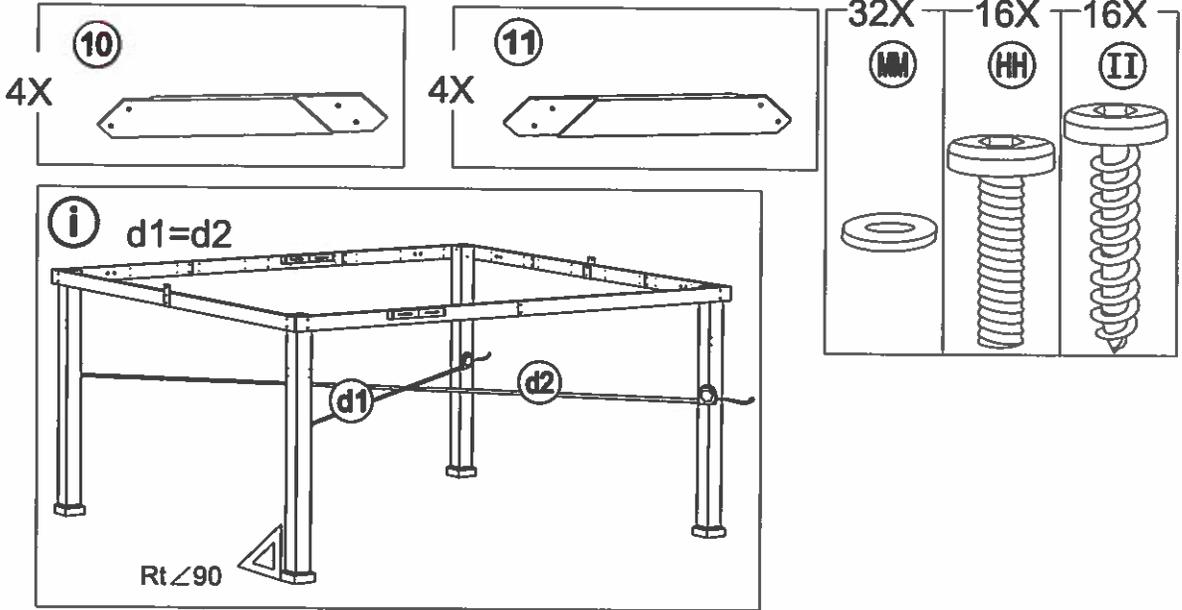


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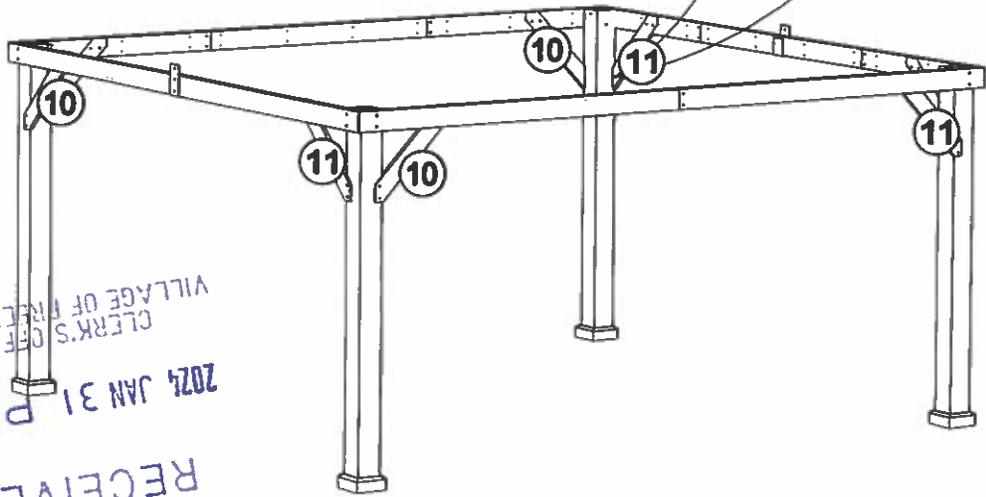
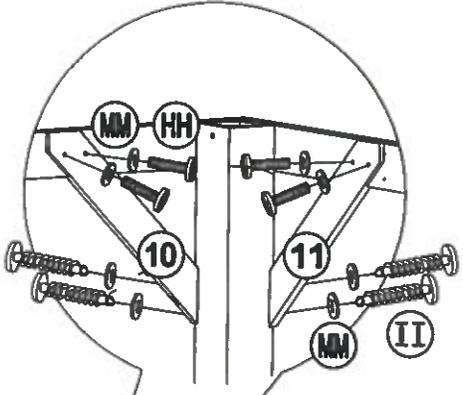
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9



**Assembly Tip on Step 8:**  
 Please measure to make sure the length of d1 is equal to d2 before moving to next step to ensure a square frame and best results. Keep the beam at right angles to the post, the post at right angles to the ground, and keep the beam horizontal.

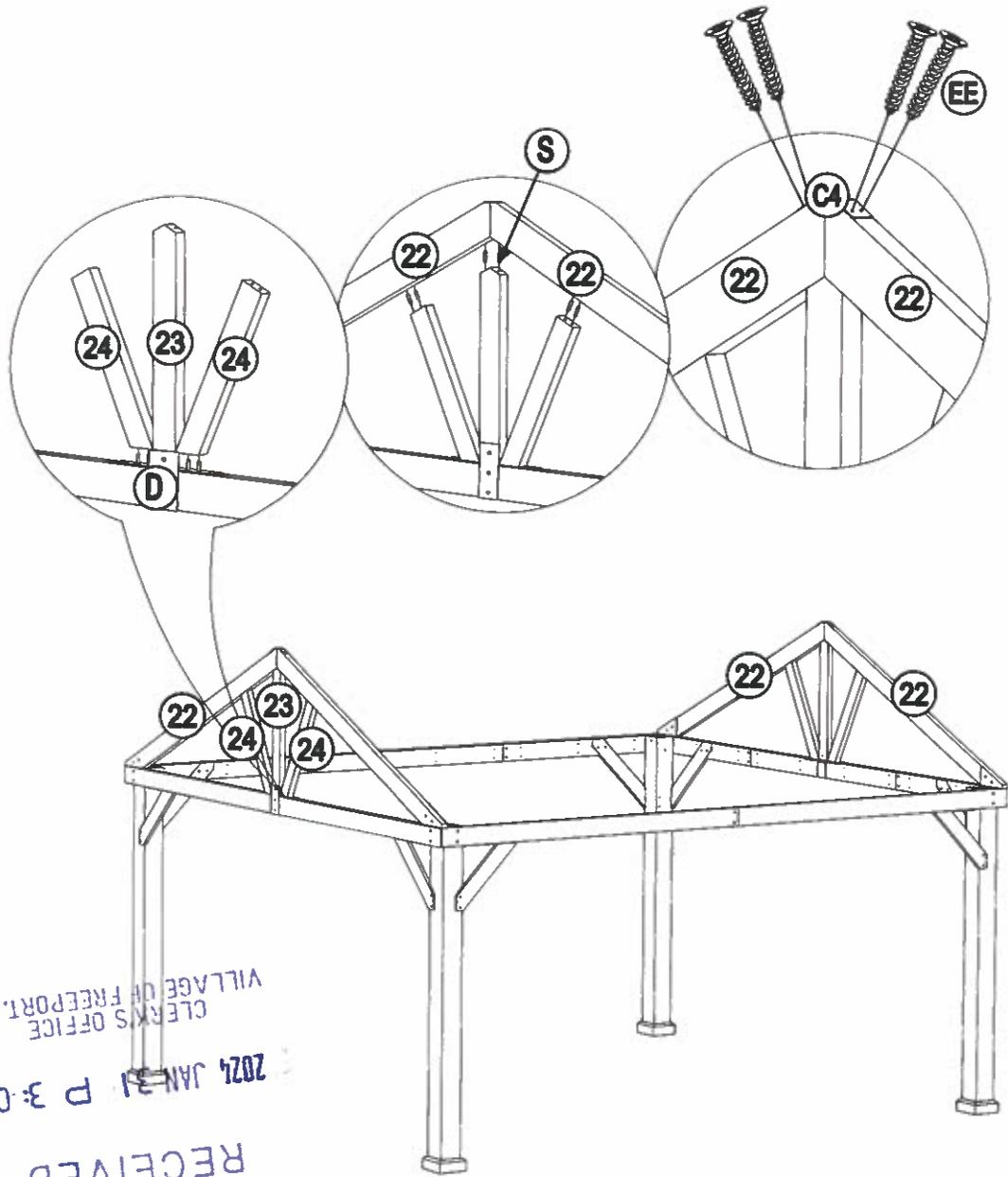
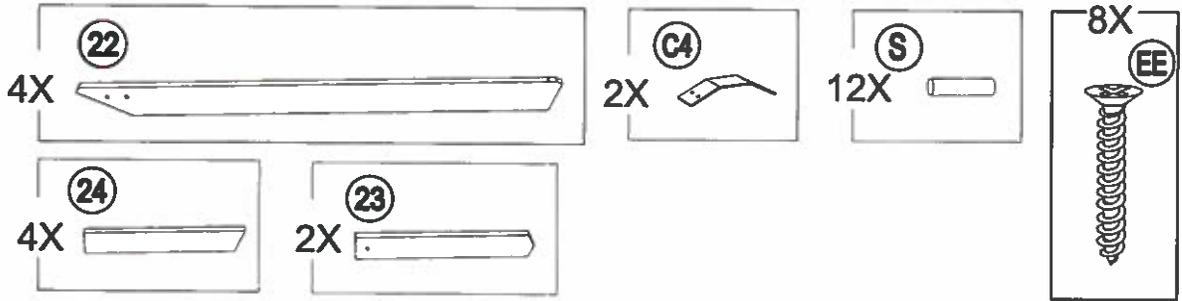


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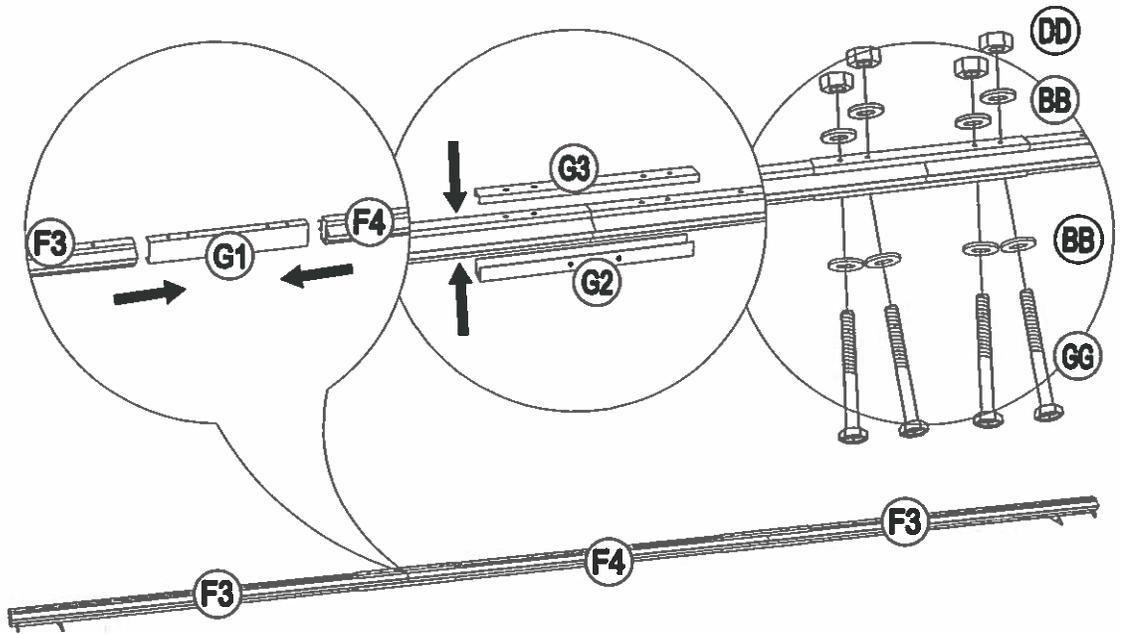
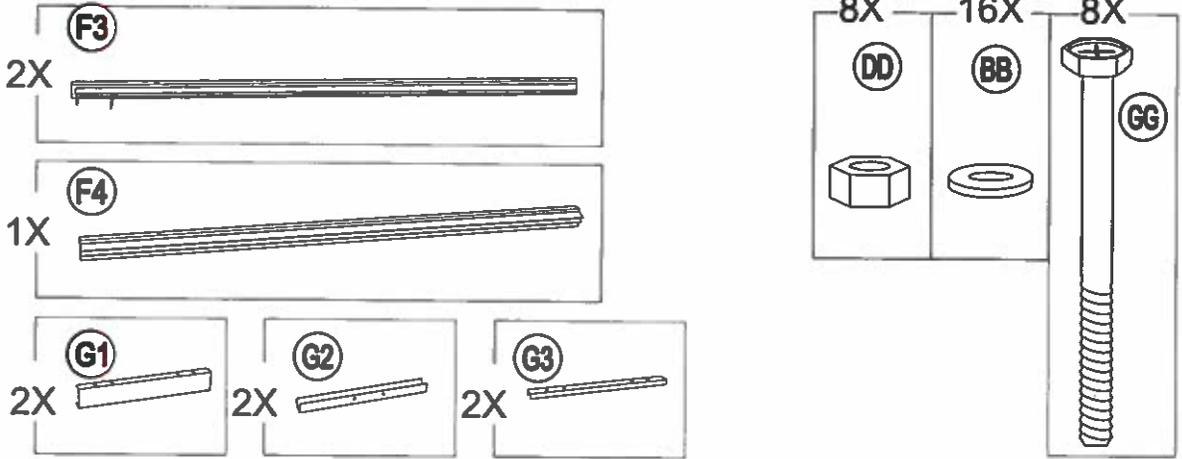


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# 13

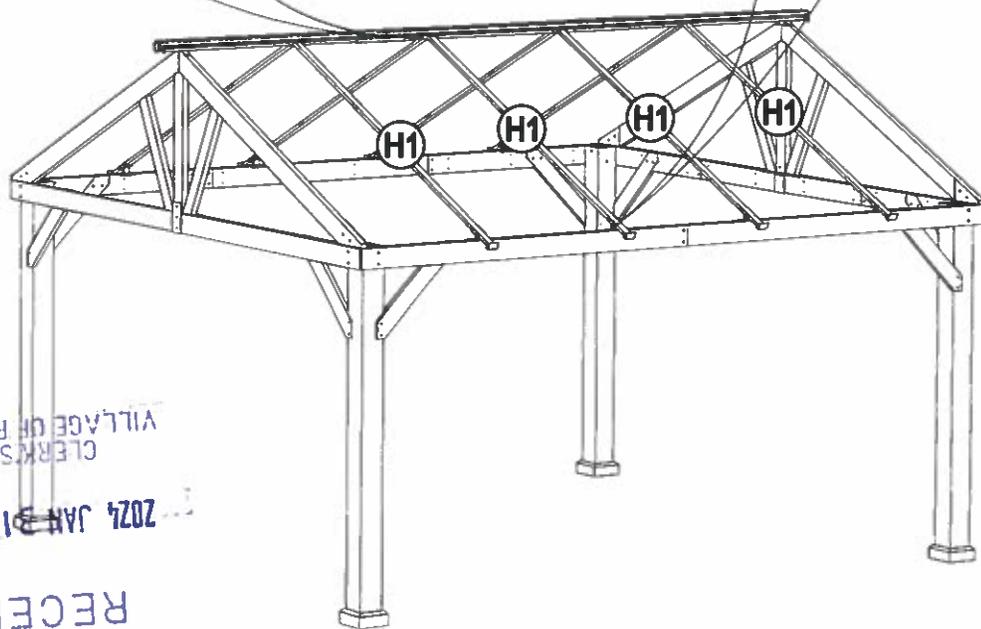
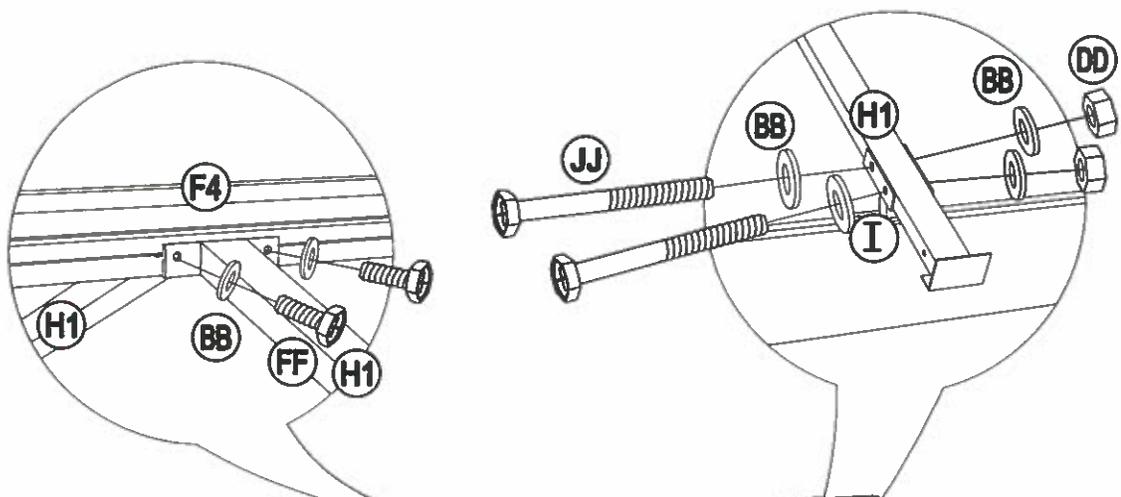
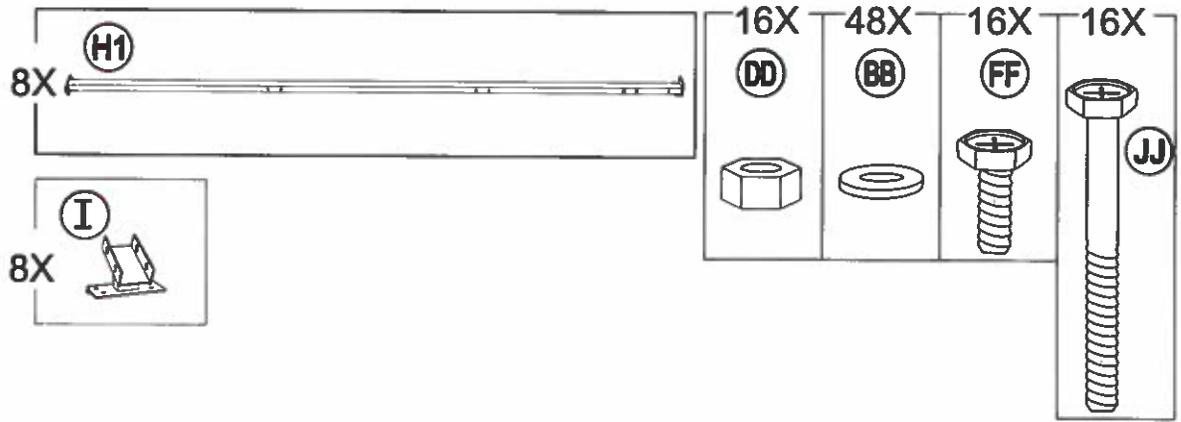


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# 15

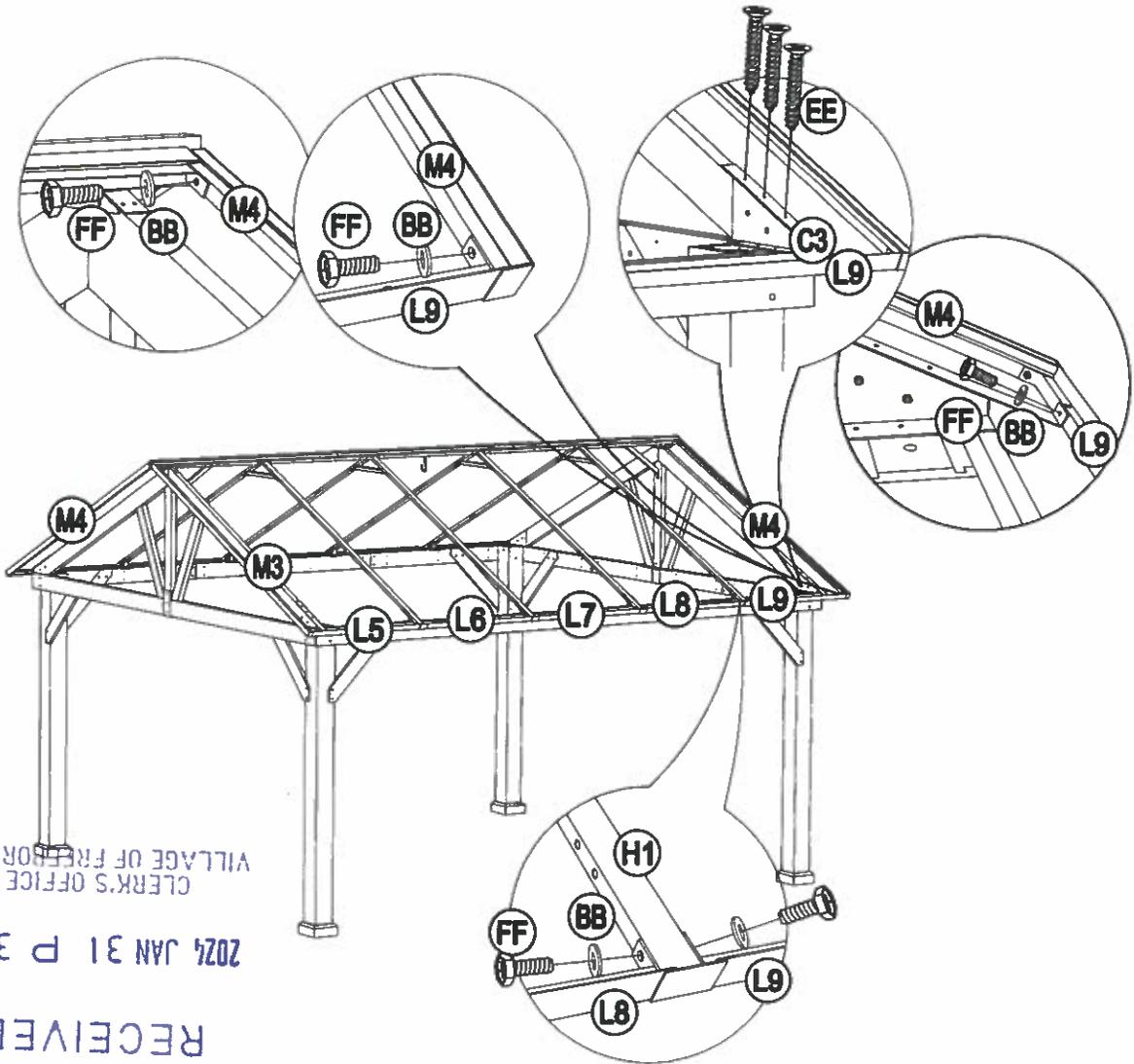
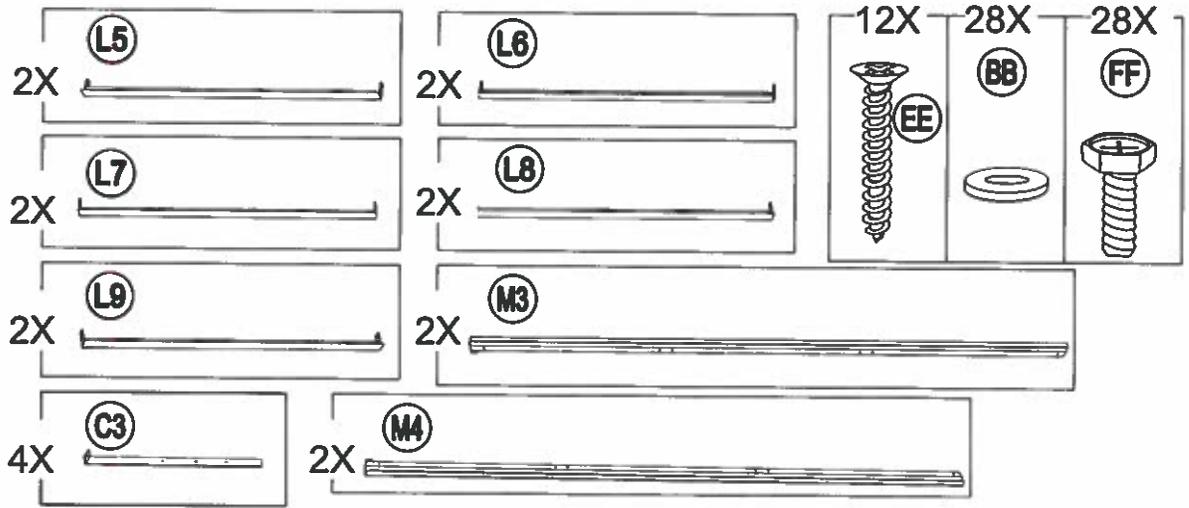


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# 17



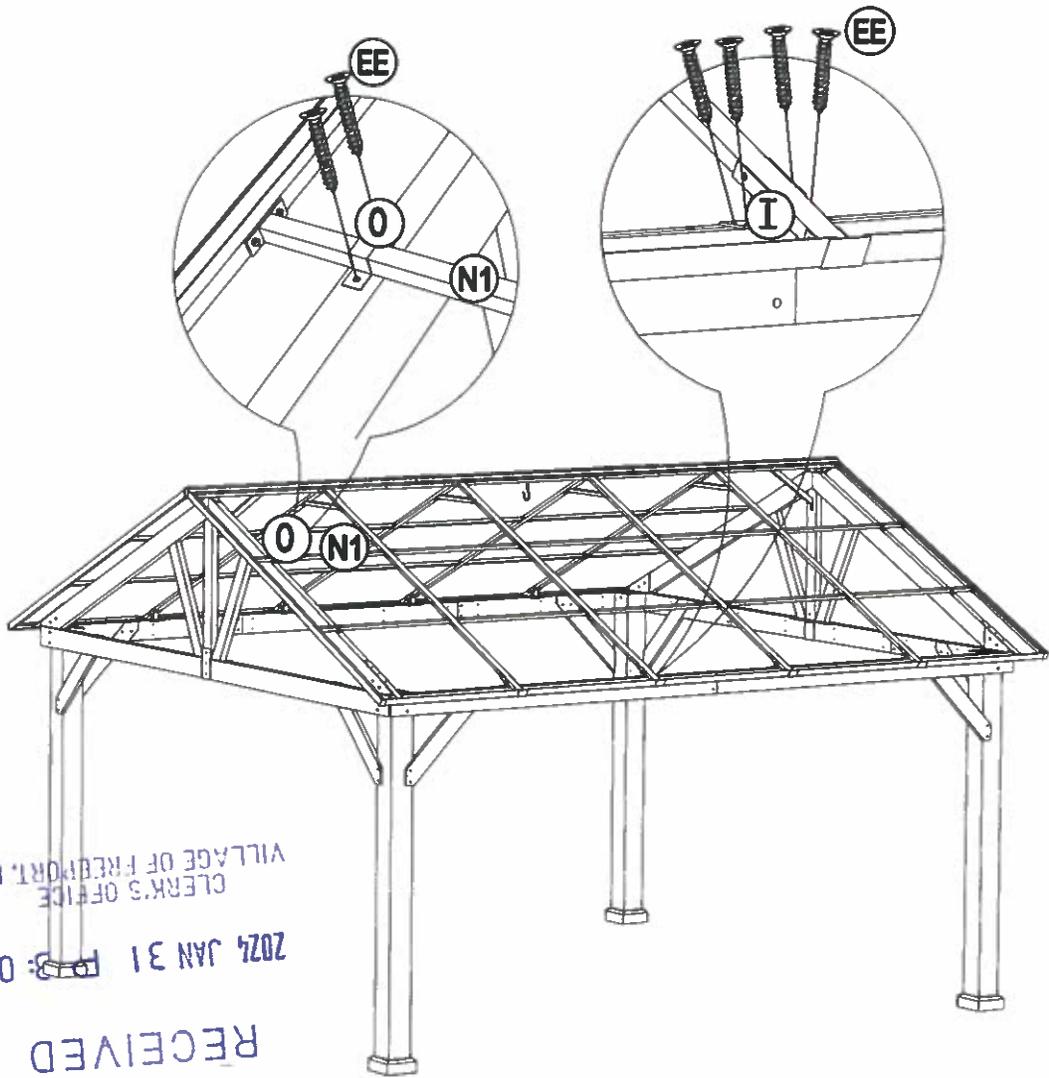
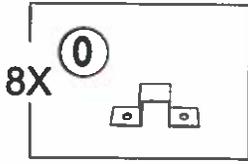
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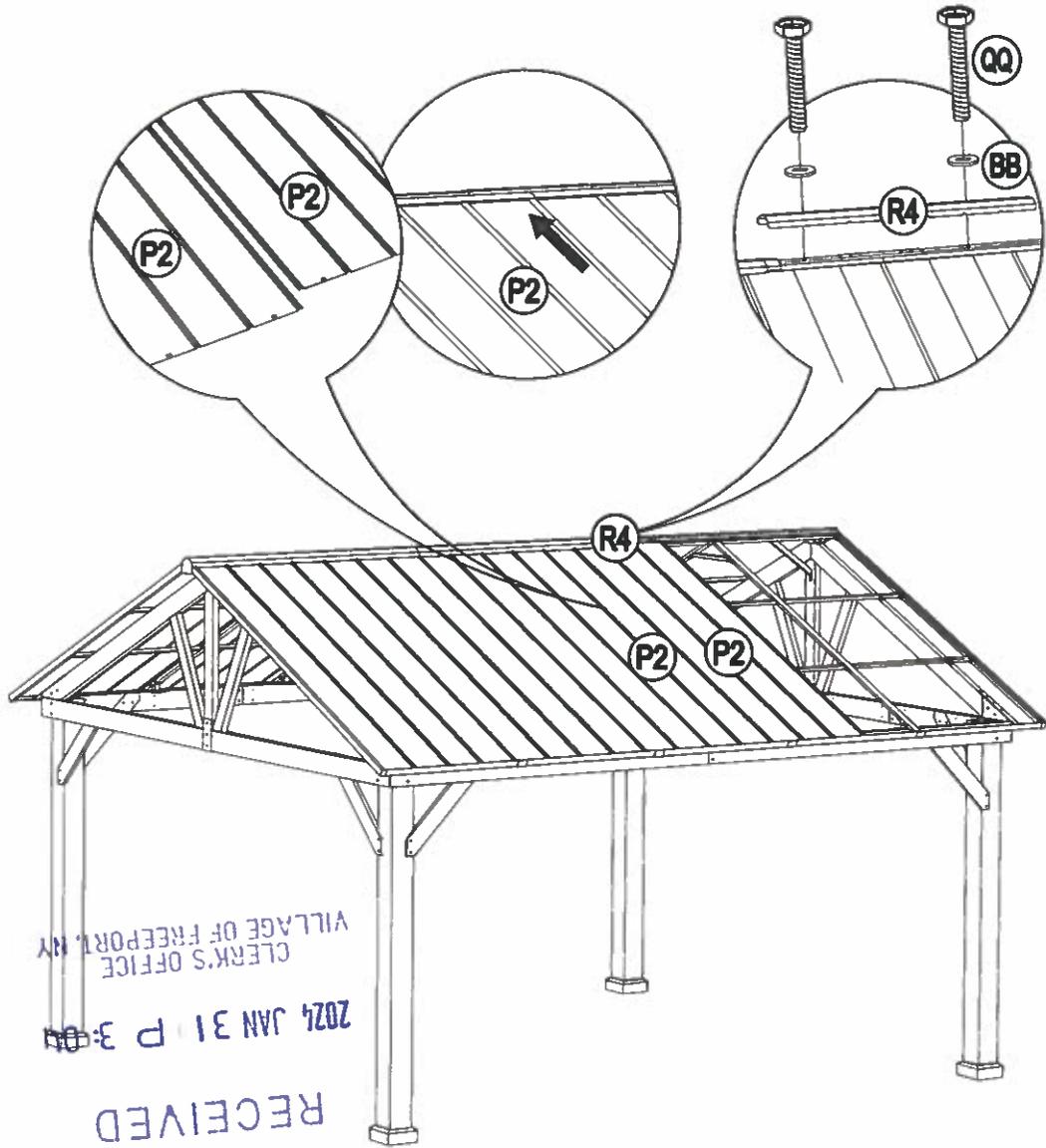
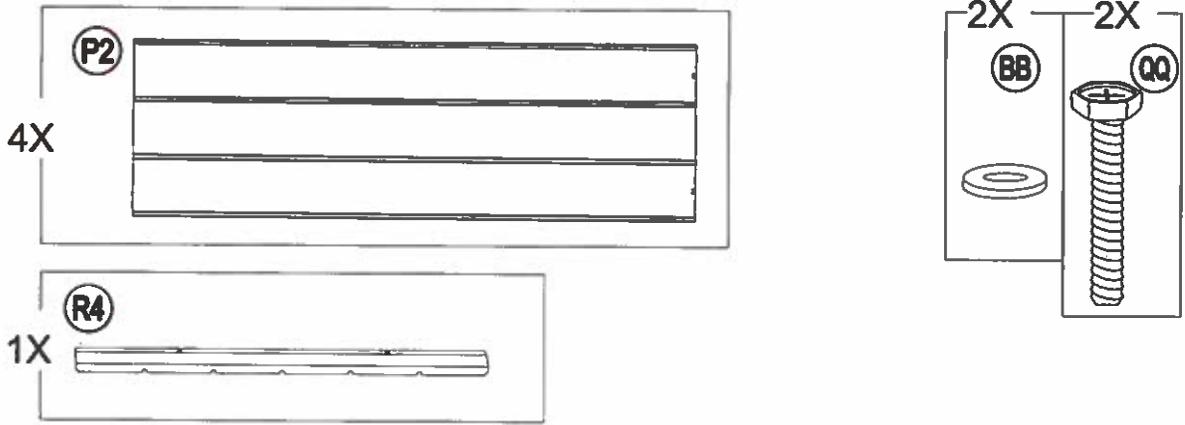


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# 21

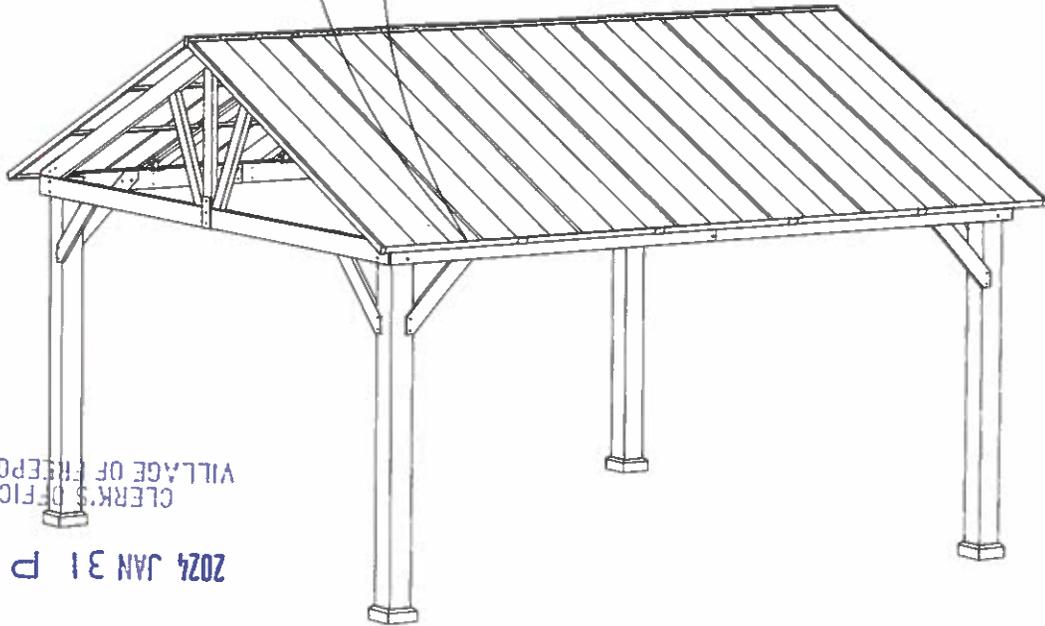
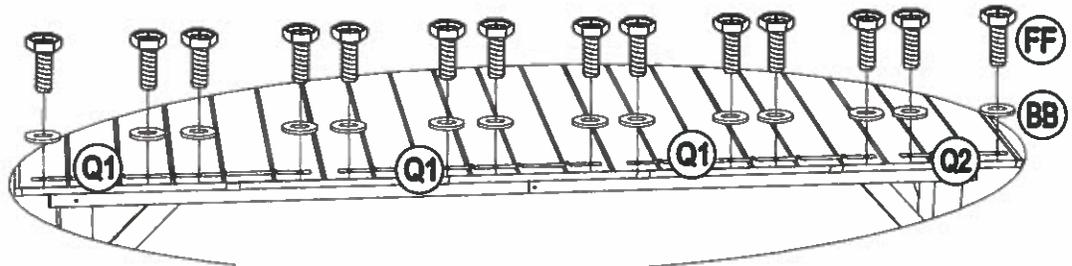
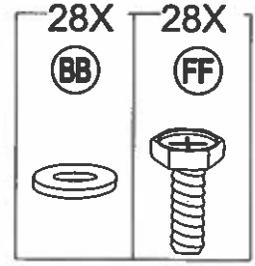
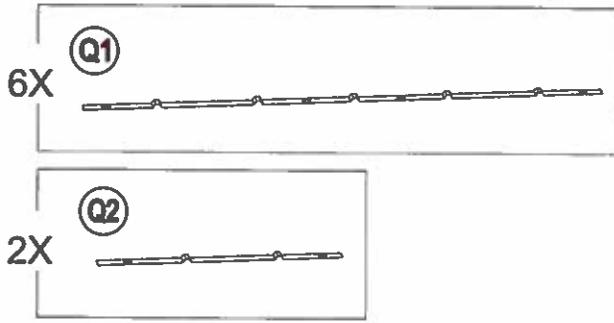


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## Care and Maintenance

- Our steel components for garden accessories and furniture are treated with rust inhibiting paint that protects it from rusting. However, due to the nature of steel, surface oxidation (rusting) will occur once these protective coatings are scratched. This is not a defect and thus not covered by the warranty.
- To minimize this condition, we recommend care when assembling & handling the product to prevent scratching the paint. Should any scratching or damage occur, we recommend immediate touch-up with rust inhibiting paint.
- Surface rust can also be easily removed with a very light application of common cooking oil. If surface oxidation (rusting) occurs and if no measure is taken to prevent this, the oxidation may start dripping on to deck or patio and caused damaging stains, which may be difficult to remove. This can be prevented if the above-mentioned measures are taken to keep the product from oxidizing.
- Use damp cloth to wipe off the stains as quickly as possible.
- If necessary, wash with a mild solution of soap and water; rinse thoroughly and dry completely.
- Periodically check and ensure that all bolts are well-tighten during use

## Limited Manufacturer's Warranty

Sunjoy Group warrants to the original purchaser that this item is free from defects in workmanship and materials for a period of **1 year** from the date of purchase, provided the item was factory-sealed at the time of purchase and is maintained with care and used only for personal, residential purposes. Should any manufacturing defect arise within this warranty period, Sunjoy Group will replace (at our option) any defective merchandise or parts upon proof of purchase; however, transportation and delivery costs, as well as payments to a third party for assembly or disassembly of the item, remain the responsibility of the purchaser. A purchaser of an "open box," previously-returned, or "clearance" item, as well as original purchasers outside of the warranty period, may obtain replacement parts from Sunjoy Group for products in current production, at nominal cost.

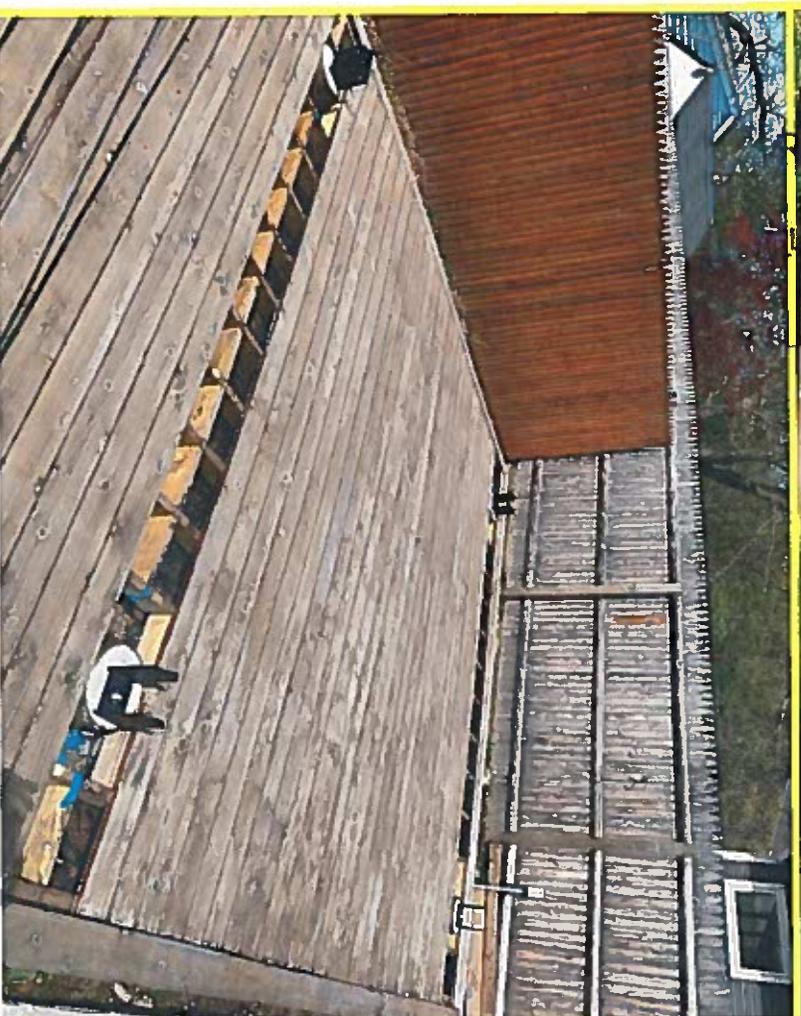
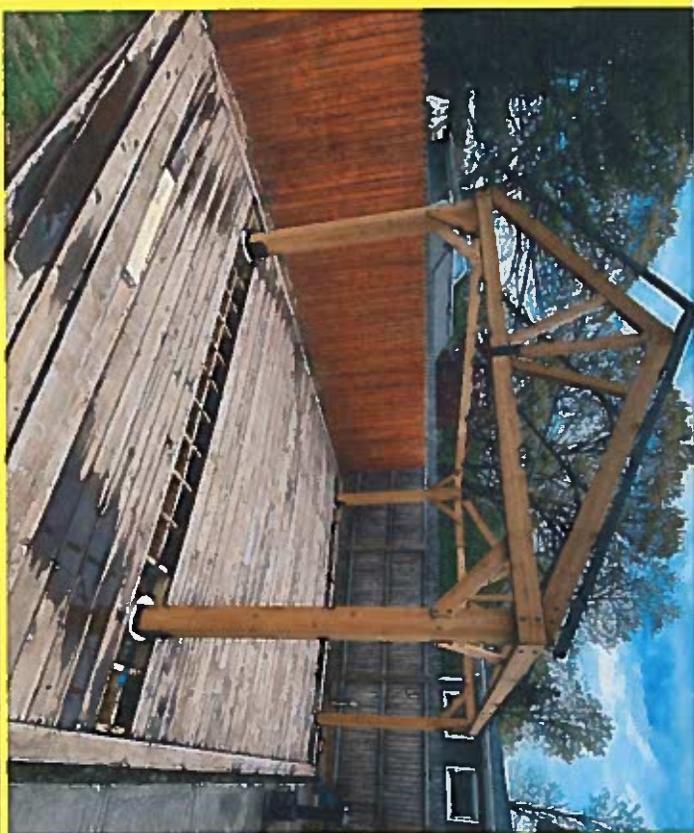
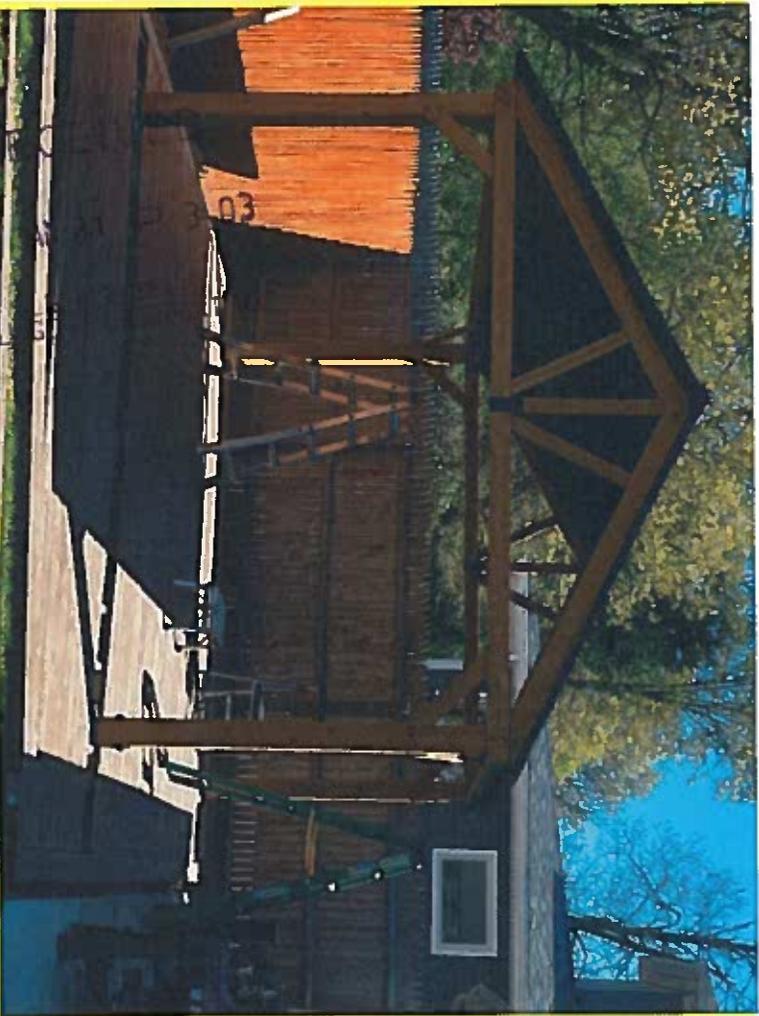
## Exclusions:

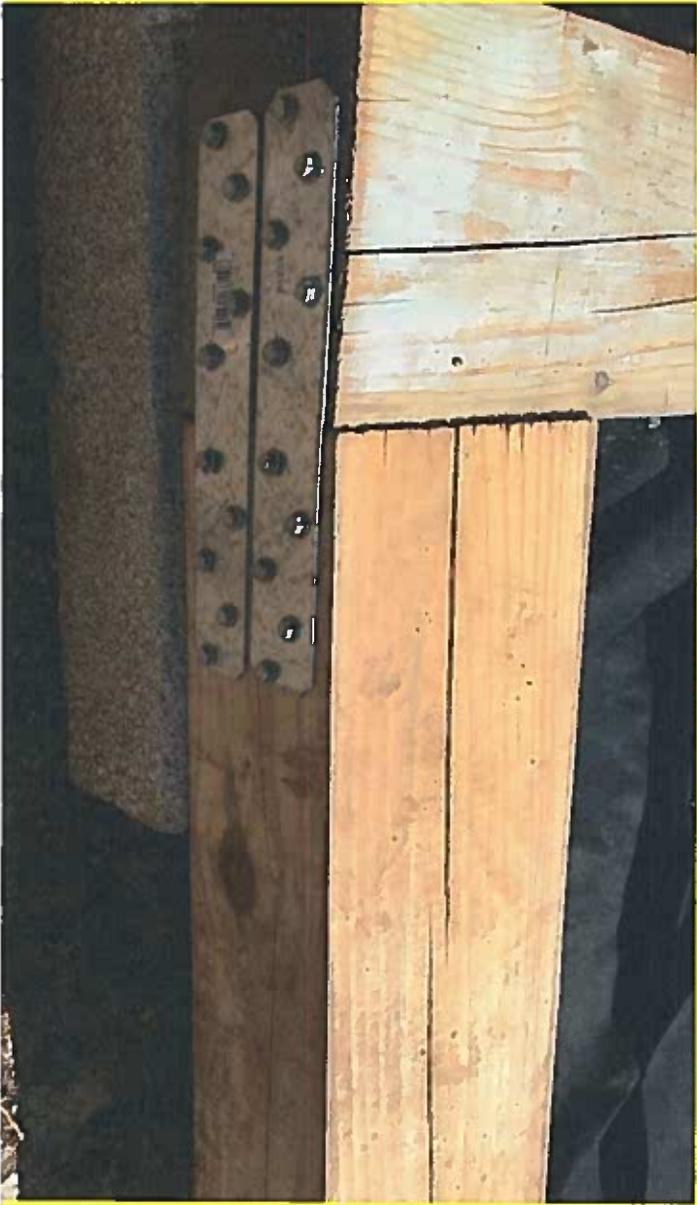
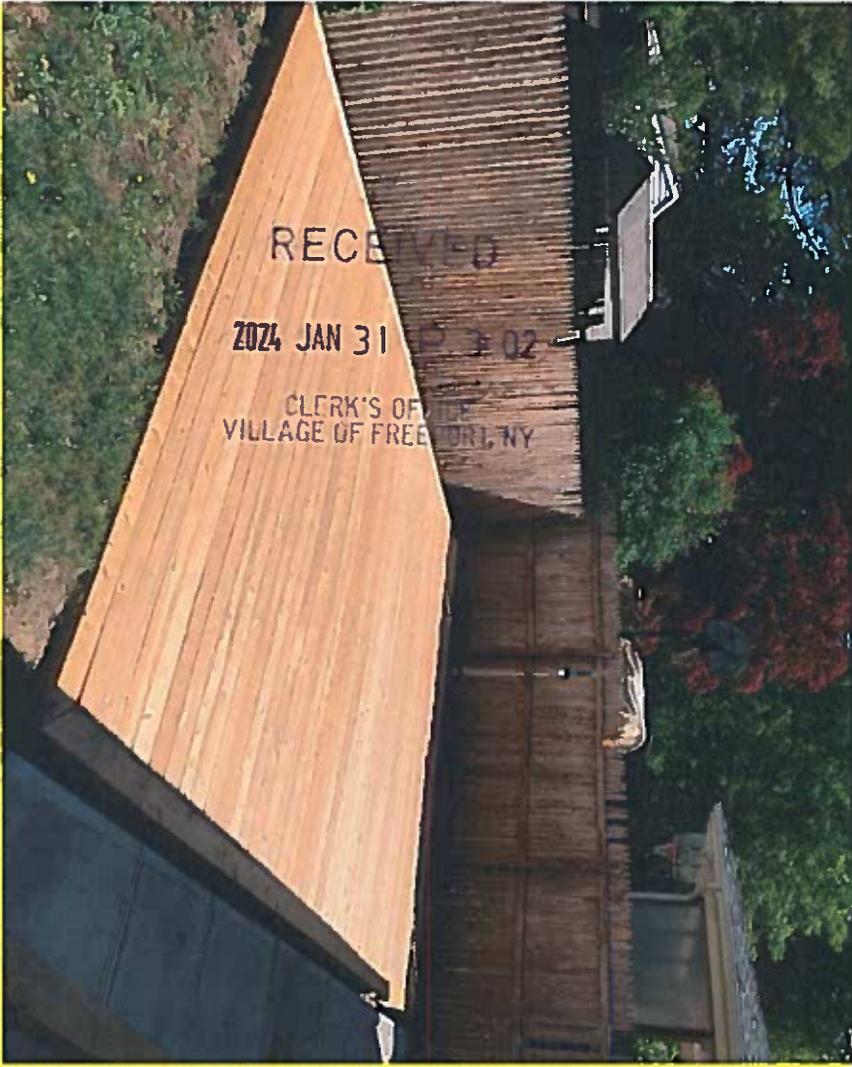
Items used for commercial, contract, or other non-residential purposes, or items damaged due to acts of nature, vandalism, misuse, or improper assembly are not covered. Corrosion or rusting of hardware is not covered. Proof of purchase (dated register receipt) is required for warranty claims. Warranty is to the original purchaser and is non-transferable. Any replacement of warranted items will be in the original style and color, or a similar style and color if the original is unavailable or has been discontinued. As some states do not allow exclusions or limitations on an implied warranty, the above exclusions and limitations may not apply. This warranty gives you specific rights, and you may also have other rights, which vary from state to state.

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