

Application Date: 10/11/23
Fees Paid: \$

SP# _____

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 134 S OCEAN AVENUE ZONING DISTRICT Residence APARTMENT
SECTION 62 BLOCK 114 LOT 110 LOT SIZE: 16,600

<input type="checkbox"/> TENANT <u>APPLICANT</u>	<input type="checkbox"/> LESSEE	PROPERTY OWNER	
Name: <u>R SHARAH</u>		Name: <u>LOOK NORTH TOGETHER, INC.</u>	
Address: <u>6500 JERICHO TPKE SUITE W</u> <u>3YOSSET, NEW YORK 11791</u>		Address: <u>1488 DEER PARK ROAD ST 36</u> <u>NORTH BABYLON NY 11703</u>	
Telephone #:		Telephone #: <u>347 837-3660</u>	

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: APARTMENT Proposed Land Use: APARTMENT

Description of Proposed Work: CONSTRUCT A NEW 3 STORY 19,966 SF
APARTMENT BUILDING WITH UNDERGROUND PARKING AND
ROOF TOP TERRACE

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
_____ YES NO

[Signature]
APPLICANT'S SIGNATURE
Sworn to before me this 22
day of AUGUST, 2023
[Signature]
Notary Public

08/22/2023
DATE
STELLA VLAHOS-KITAS
Notary Public - State of New York
No. 01VL6264910
Qualified in Nassau County
My Commission Expires December 5, 2024

Property Owner's Consent: _____ am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 22
day of August, 2023
[Signature]
Notary Public
ISABELLA VLAHOS
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01AN6339518
Qualified in Suffolk County
Commission Expires April 4, 2024

08/22/2023
DATE

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FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE

FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

October 11, 2023

Amended SITE PLAN LETTER

Look North Together Inc.
1488 Deer Park Avenue – Suite 364
North Babylon, NY 11703

RE: 134 S. Ocean Avenue, Freeport, NY
Zoning District – Residence Apartment – Sec. 62 Blk.114 Lot 110
Building Permit Application #20211963
Description: Construct a new 24 unit, 3-story 19,996 sq. ft. multiple dwelling

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
Jonathan Smith, Building Inspector
/cd

c: Village Clerk
Laura Colletti, R. A.

VILLAGE CLERK'S OFFICE
FREEPORT, NY

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ZBA Approval Needed:

Yes: X No: _____

Encl.

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. # 20211963

Location: 134 S. Ocean Avenue, Freeport, NY

Applicant : Look North Together Inc.

Description: Construct a new 24 unit, three-story 19,966 sq. ft. multiple dwelling with underground parking and rooftop terrace

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

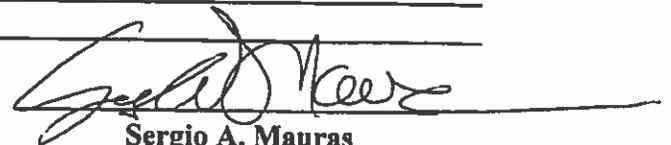
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

DATED: June 22, 2022 - Amended


Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

MAF 9/2 2022

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
134 So Ocean Avenue, Freeport, NY 11520			
Name of Action or Project: 134 So Ocean			
Project Location (describe, and attach a location map): 134 So Ocean Avenue between west Merrick Rd and Smith St			
Brief Description of Proposed Action: Provide new 3 story 24 apartment building, steel framed, with underground parking for 24 cars			
Name of Applicant or Sponsor: Laura Coletti, RA c/o Impact Architecture, pllc		Telephone: 631-339-0590 E-Mail: lcoletti@impactarchitecture1.com	
Address: 399 Conklin St, Suite 208			
City/PO: Farmingdale		State: New York	Zip Code: 11735
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
3 a. Total acreage of the site of the proposed action?		.38 acres acres	
b. Total acreage to be physically disturbed?		.38 acres acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.38 acres acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		<input checked="" type="checkbox"/>	
Adequate Storm Drains provided			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Laura Coletti</u>	Date: <u>3-10-2022</u>	
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 WILLIAMSBURG COUNTY
 WILLIAMSBURG, VA

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION**

DATE: October 20, 2022

APPROVAL

Building Department Permit Application#20211963

Chairman, regarding Application #2022-29 for the premises located at 134 South Ocean Avenue, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-48, 210-47A, 210-51A, 210-172A(2)(A), and 210-49C seeking approval for a new 24 unit 3 story 19,966 square foot multiple dwelling with underground parking and rooftop terrace.

I, Drew Scopelitis, move that this Board make the following findings of fact:

A public hearing was held on August 18, 2022 wherein applicant was represented by attorney Christian Browne. He explained that he was back on a project that the Board weighed in on about one year earlier. The prior application proposed 18 units when 17 were permitted, and 15 parking spaces were provided. The Board denied it in large part due to the parking deficiency. The new application seeks to provide more parking underground, so that 24 parking spaces are provided for the 24 units proposed. Additionally, all of the 2 bedroom units have been eliminated and the building will consist entirely of one bedroom units and studios.

The first variance is a density variance, where 17 units are permitted and 24 are proposed. The second is for building height where 2 ½ stories and 32 feet are permitted, where 3 stories and 39 feet 3 inches is proposed. Mr. Browne explains that the building itself is only 32 feet and the extra height comes from a pergola on the roof. The roof is being used as the open green space for recreation. The pergola adds to the attractiveness of that space, but can be removed if the Board objected to that height. The building does not comply with front yard setback due to the average setback, which is 62 feet whereas normally only 25 feet is required. Applicant meets the 25 foot setback. 24 parking spaces are provided, where 32 are required, but one space is provided per unit. Almost 10,000 square feet is required of open space, but just over 9,000 is provided.

Kennan Cody, the traffic engineer also presented on behalf of applicant. He explained that as compared with the prior application, the percentage variance is now lower. The site is considered a transit-oriented development. Typically those tenants don't necessarily use a vehicle in day to day life and may not have a car. They conducted a parking study and observed limited street parking during the hours under observation, however, based on the ITE information, the estimated parking demand for a 24 unit building is 15 vehicles during the week and 17 on the weekend. So the 24 parking spaces provided are sufficient.

The Board's main objection when the application was last heard was inadequate parking. The Board had suggested that the applicant come back with a project that better meets the parking demand. This project achieves those goals. The other variances of density, front

setback, building height, and open space are insubstantial when viewed in connection with the entire project.

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance;
 - b. that the benefit sought by the applicant cannot be achieved by some method feasible for the applicant to pursue, other than an area variance;
 - c. that the requested area variance is insubstantial;
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty was not self-created.

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2. The Board, as lead agency, has determined that this action is an unlisted action under SEQRA. A short environmental assessment form has been completed by the applicant and this Board. The Board finds no environmental impact under SEQRA, issues a negative declaration, and no further review is required.

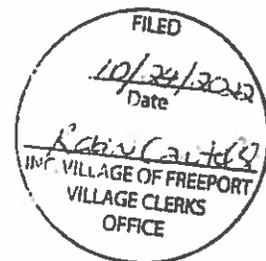
I further move that this application be granted subject to the following conditions:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.
3. This application for variance(s) is being granted on the basis of the specific use proposed. If anything in this application is to change, the applicant must return to the Board for further review.
4. Green space on the roof must be maintained as open recreation space. Should this space stop being available to use by residents, these variances are revoked and applicant must return to the zoning board for further review in order to continue use as an apartment building.

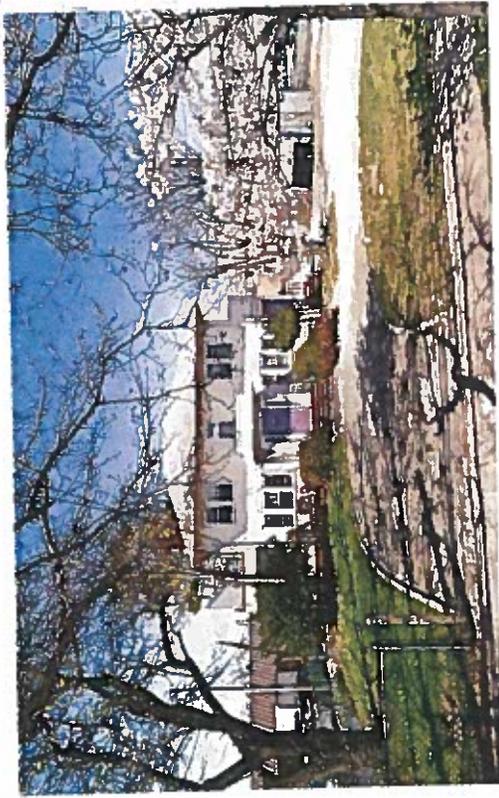
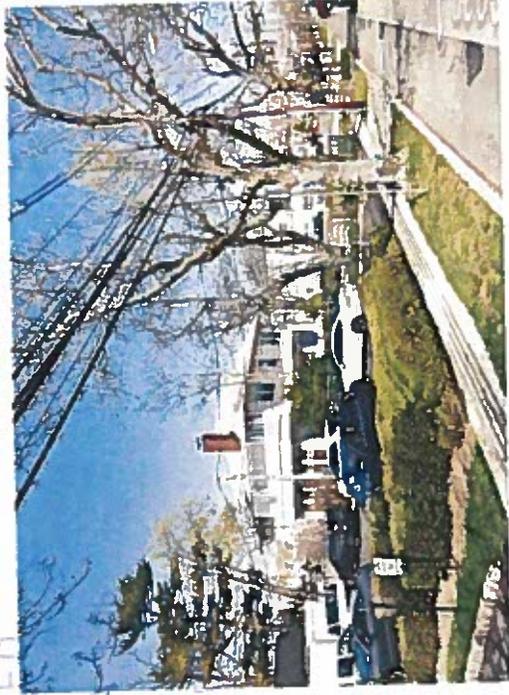
Second by: Charles Hawkins

The Clerk polled the Board:

Deputy Carey	In Favor
Member Mineo	Excused
Member Jackson	Excused
Member Hawkins	In Favor
Alternate Scopelitis	In Favor
Alternate Pinzon	In Favor
Chairperson Rhoden	In Favor



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South view

East View



Rear View

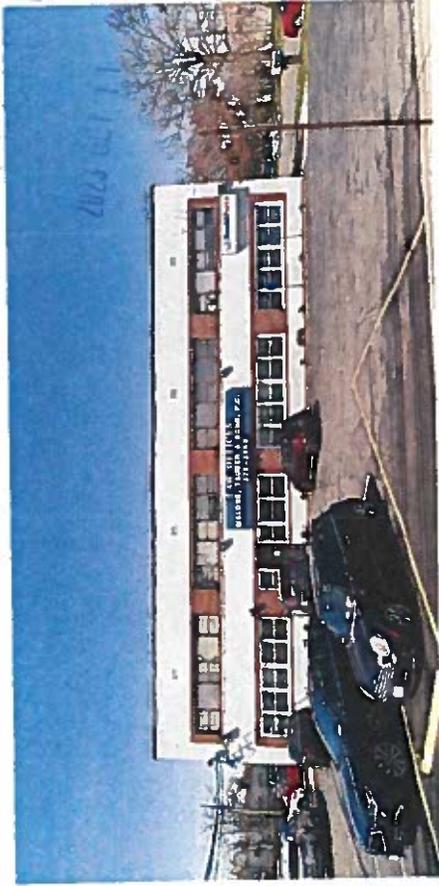
North View



130 South Ocean



140 South Ocean



121 South Ocean



155 South Ocean

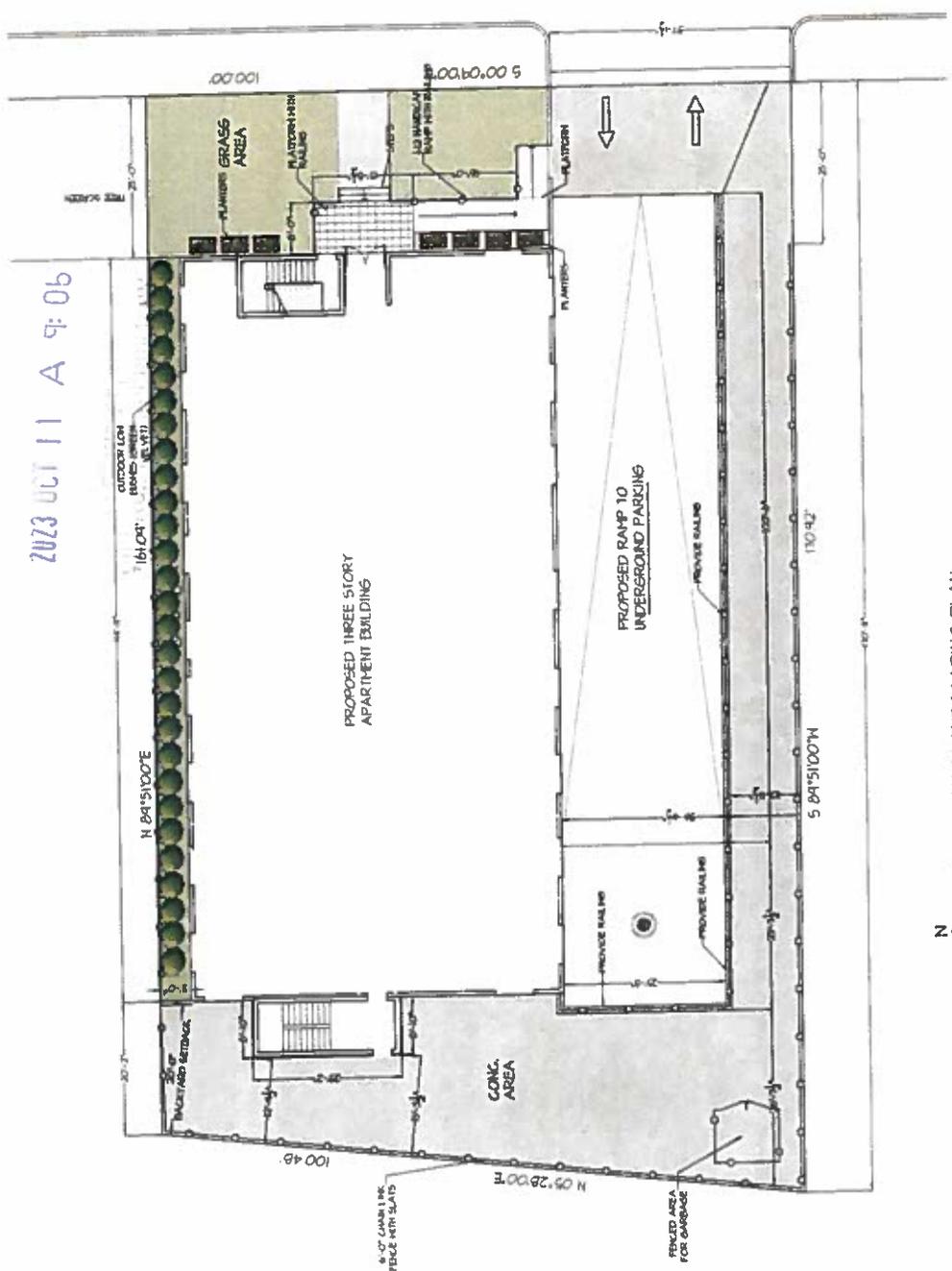
R. SHARAH
 ARCHITECT
 100 WEST 10TH STREET
 NEW YORK, NY 10011
 TEL: 212 255 1234
 FAX: 212 255 1235
 WWW.RSHARAH.COM

THREE STORY BUILDING
 154 SOUTH OCEAN AVENUE
 FREEPORT, NEW YORK 11520

SCOPE: THREE STORY BUILDING

NO.	DATE	DESCRIPTION
1	08/15/2023	ISSUED FOR PERMIT
2	09/01/2023	REVISED PER COMMENTS
3	09/15/2023	REVISED PER COMMENTS
4	09/28/2023	REVISED PER COMMENTS
5	10/05/2023	REVISED PER COMMENTS
6	10/12/2023	REVISED PER COMMENTS
7	10/20/2023	REVISED PER COMMENTS
8	10/28/2023	REVISED PER COMMENTS
9	11/05/2023	REVISED PER COMMENTS
10	11/12/2023	REVISED PER COMMENTS
11	11/20/2023	REVISED PER COMMENTS
12	11/28/2023	REVISED PER COMMENTS
13	12/05/2023	REVISED PER COMMENTS
14	12/12/2023	REVISED PER COMMENTS
15	12/20/2023	REVISED PER COMMENTS
16	12/28/2023	REVISED PER COMMENTS
17	01/05/2024	REVISED PER COMMENTS
18	01/12/2024	REVISED PER COMMENTS
19	01/20/2024	REVISED PER COMMENTS
20	01/28/2024	REVISED PER COMMENTS
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42	07/12/2024	REVISED PER COMMENTS
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69	02/05/2025	REVISED PER COMMENTS
70	02/12/2025	REVISED PER COMMENTS
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74	03/12/2025	REVISED PER COMMENTS
75	03/20/2025	REVISED PER COMMENTS
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77	04/05/2025	REVISED PER COMMENTS
78	04/12/2025	REVISED PER COMMENTS
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88	06/28/2025	REVISED PER COMMENTS
89	07/05/2025	REVISED PER COMMENTS
90	07/12/2025	REVISED PER COMMENTS
91	07/20/2025	REVISED PER COMMENTS
92	07/28/2025	REVISED PER COMMENTS
93	08/05/2025	REVISED PER COMMENTS
94	08/12/2025	REVISED PER COMMENTS
95	08/20/2025	REVISED PER COMMENTS
96	08/28/2025	REVISED PER COMMENTS
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99	09/20/2025	REVISED PER COMMENTS
100	09/28/2025	REVISED PER COMMENTS

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SITE PLAN / LANDSCAPING PLAN

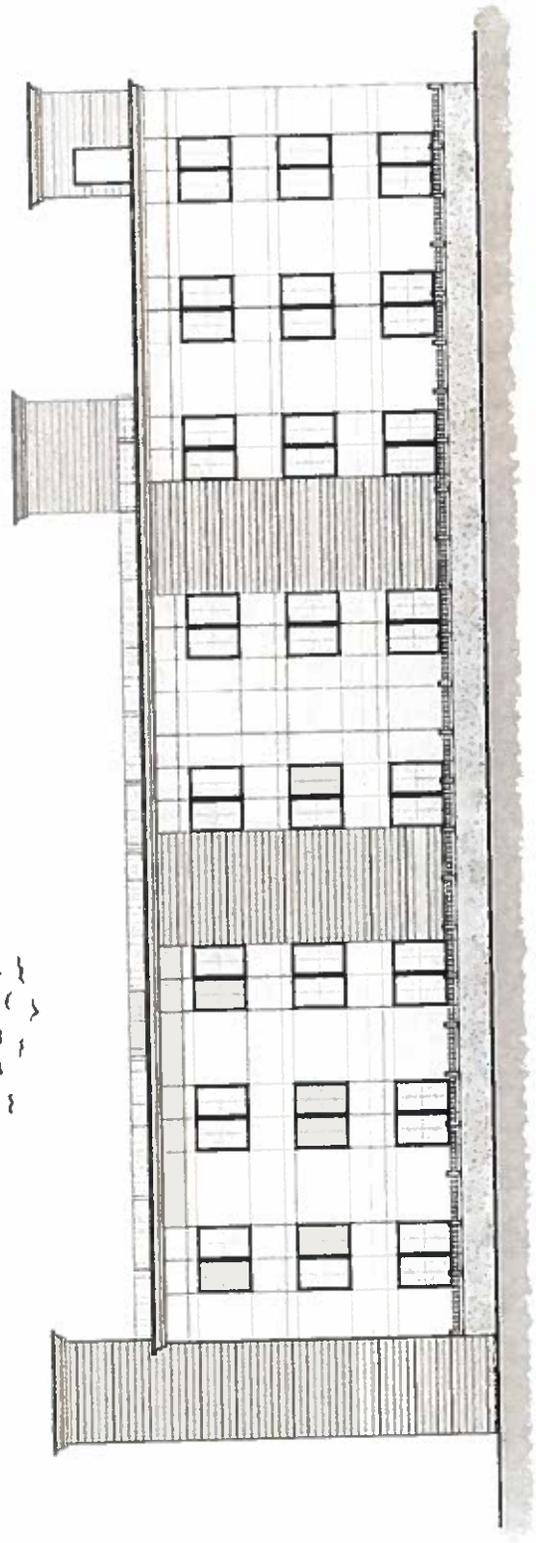
R. SHATAHAI

THREE STORY BUILDING

100-0234A REV

DATE: 07/27/06

RECEIVED
2003 OCT 11 A 9:06
NEW YORK CITY
BUILDING DEPARTMENT



SECTION A-A

PROJECT NO.	100-0234A
DATE	07/27/06
DESIGNER	R. SHATAHAI
SCALE	1/8" = 1'-0"
DESCRIPTION	THREE STORY BUILDING
LOCATION	100-0234A
OWNER	
ARCHITECT	
ENGINEER	
DATE	
BY	
CHECKED	
DATE	

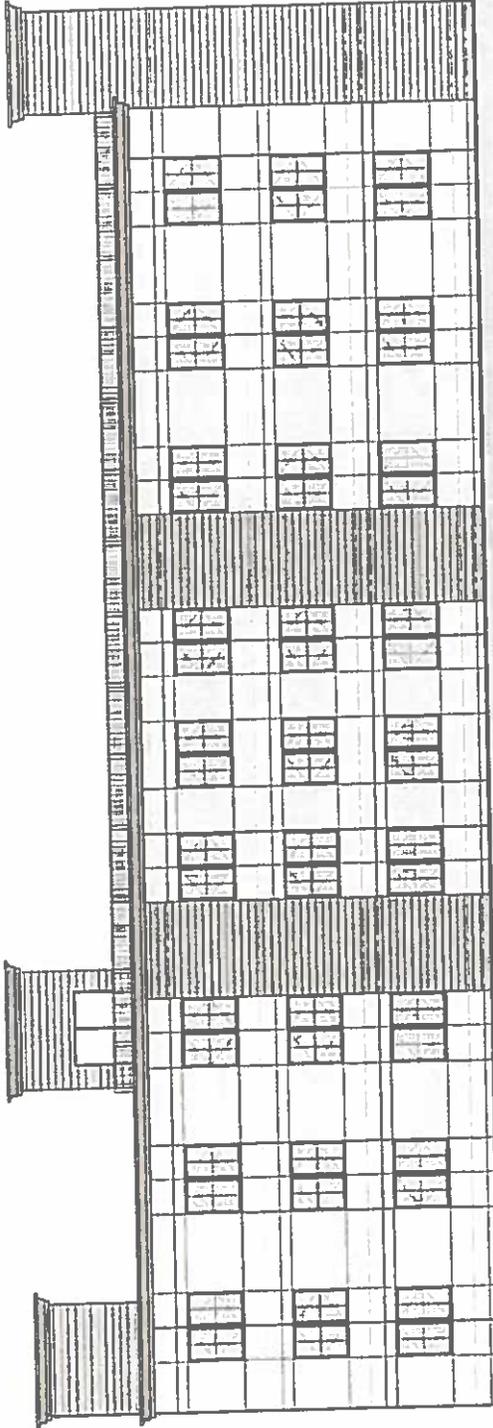
R. SHATARAHI

THREE STORY BUILDING

RECEIVED

2023 OCT 11 A 9 05

VILLAGE OF EAST FORT WY



WEST ELEVATION

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R SHATARAH

CONSULTING ENGINEERS, P.C.

6500 Jericho Turnpike, Suite 1W
Syosset, NY 11791

Telephone: (516)731-4687
Fax: (516)796-2744
Email: Rudolph@Rsce-PC.com

WINDOWS:

NEW WINDOWS
CASEMENT WINDOW
(NO KIND OF SIMULATED MULLIONS CONTAINED
INSIDE
LAYERS OF GLASS)
MANUFACTURED BY: ANDERSON (OR EQUAL)
BLACK: BLACK



RECEIVED

2013 OCT 11 A 9:07

PROJECT ENGINEER
VICTOR M. RUDOLPH, P.E.
SYOSSET, NY



Decorative and Protective Exterior Wall Finishes

Color swatches shown are for representational purposes only. Please request a sample from your local Dryvit distributor for a true color match.

RECEIVED

2023 JUL 11 A 9:07

WILLIAMSON COUNTY, TN

Blacks & Grays

150 Flint	151 Cozy Black	152 Anthracite Coal	453 Stainless	454 Stone Gray	523 Gray Mist	525 Gray Barn	526 Fern Ridge
131 Gull Gray	132 Mountain Fog	133 Driftwood	452 Stormy Nite	602 Dawn Gray	603 Winter Gray	613 Overcast	614 Smoke Signal
527 Brushed Gray	528 Citation	529 Hurricane Gray	530 Metal Gray	600 Pewter	621 Whale Gray	622 Gray Flannel	623 Gray Steele
615 Tattletale	616 King's Gray	617 Winter Eve	618 Antique Gray	619 Foggy Day	620 Whale Gray	621 Whale Gray	622 Gray Flannel

R SHATARAH
 ARCHITECTS
 100 WEST 11TH STREET
 NEW YORK, NY 10011
 TEL: 212 333 3333
 FAX: 212 333 3333
 WWW.RSHATARAH.COM

SCOPE: THREE STORY BUILDING
 THREE STORY BUILDING
 134 SOUTH OCEAN AVENUE
 FREEPORT, NEW YORK 11520

DATE	DESCRIPTION
01/15/11	PRELIMINARY
02/15/11	REVISED FOR PERMIT
03/15/11	REVISED FOR PERMIT
04/15/11	REVISED FOR PERMIT
05/15/11	REVISED FOR PERMIT
06/15/11	REVISED FOR PERMIT
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09/15/11	REVISED FOR PERMIT
10/15/11	REVISED FOR PERMIT
11/15/11	REVISED FOR PERMIT
12/15/11	REVISED FOR PERMIT

PROJECT: 134 SOUTH OCEAN AVENUE
 SHEET: 00001
 DRAWING TITLE: 00001
 SCALE: 1/8" = 1'-0"
 DATE: 01/15/11
 DRAWN BY: R.S.
 CHECKED BY: R.S.
 PROJECT NO.: 00001
 SHEET NO.: 00001



LOCATION MAP

SCALE: NTS

AS PER 2020 BUILDING CODE OF NEW YORK STATE

CONSTRUCTION TYPE: NON-CONCRETE
 BUILDING IS LOCATED IN A SEISMIC ZONE. THE SEISMIC DETECTION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE 2020 BUILDING CODE OF NEW YORK STATE.

EXISTING FOUNDATION SHALL BE REINFORCED BY ANCHORED STEEL BOLTS TO THE EXISTING FOUNDATION.

PROJECT DATA

PROJECT NAME: 134 SOUTH OCEAN AVENUE
 PROJECT LOCATION: FREEPORT, NEW YORK 11520
 DATE: 01/15/11

CONSTRUCTION TYPE: NON-CONCRETE
 BUILDING HEIGHT: 3 STORY
 TOTAL AREA OF BUILDING: 8000 SQ FT
 TOTAL AREA OF LOT: 10000 SQ FT

OWNER: R. SHATARAH ARCHITECTS
 ARCHITECT: R. SHATARAH ARCHITECTS
 ENGINEER: R. SHATARAH ARCHITECTS

CONSTRUCTION TYPE: NON-CONCRETE
 BUILDING HEIGHT: 3 STORY
 TOTAL AREA OF BUILDING: 8000 SQ FT
 TOTAL AREA OF LOT: 10000 SQ FT

CONSTRUCTION TYPE: NON-CONCRETE
 BUILDING HEIGHT: 3 STORY
 TOTAL AREA OF BUILDING: 8000 SQ FT
 TOTAL AREA OF LOT: 10000 SQ FT

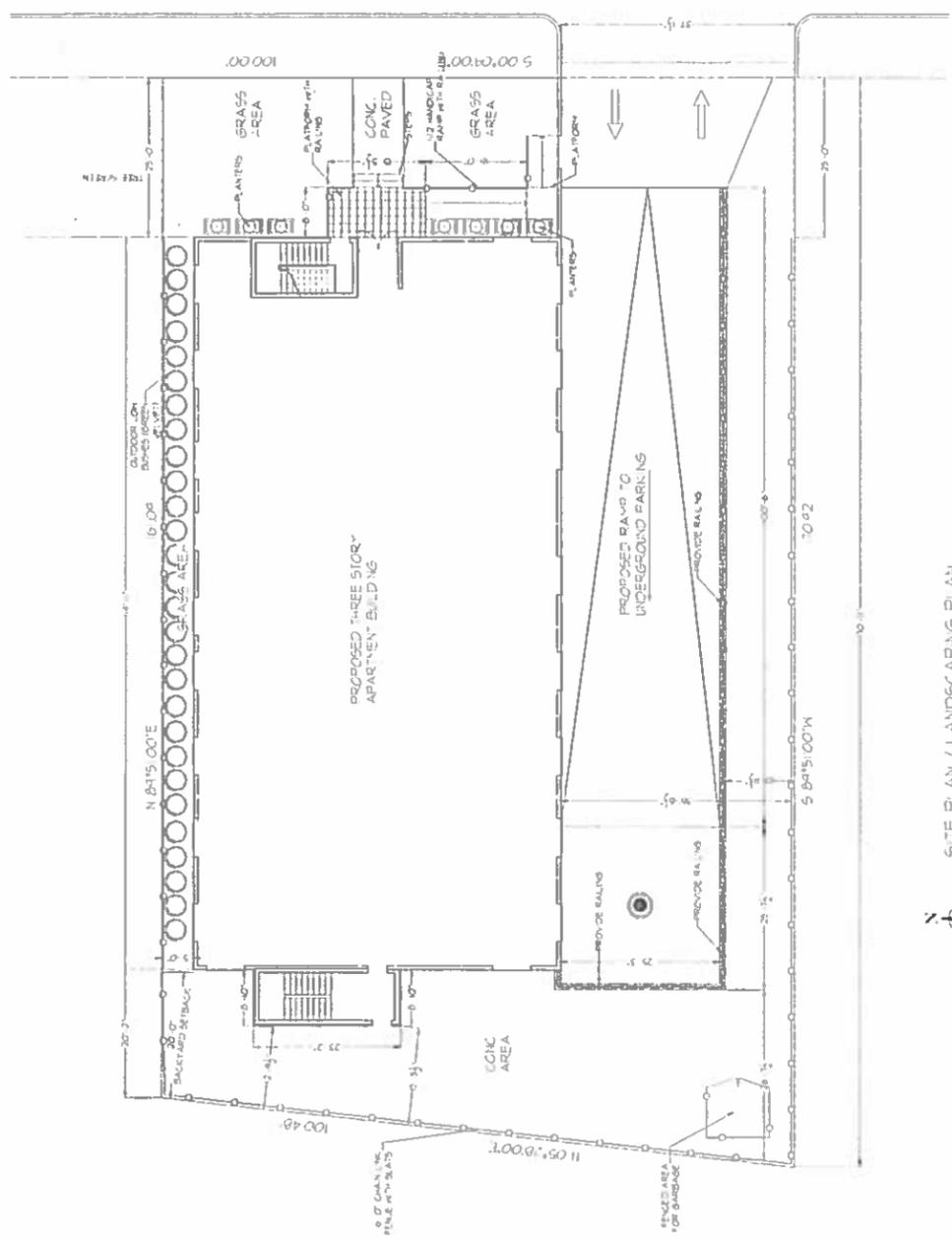
CONSTRUCTION TYPE: NON-CONCRETE
 BUILDING HEIGHT: 3 STORY
 TOTAL AREA OF BUILDING: 8000 SQ FT
 TOTAL AREA OF LOT: 10000 SQ FT

INDEX OF DRAWINGS

SHEET	TITLE	REVISIONS
00001	GENERAL NOTES	
00002	GENERAL NOTES	
00003	GENERAL NOTES	
00004	GENERAL NOTES	
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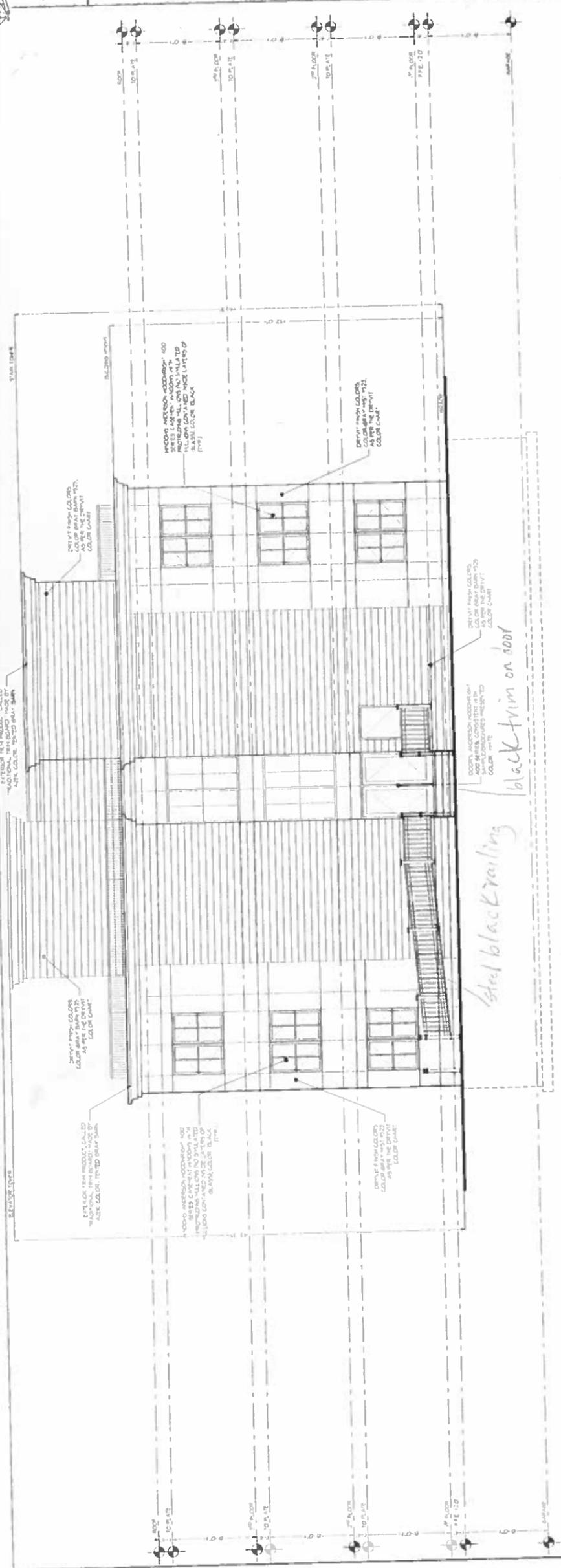
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01	07/20/08	PREPARED FOR PERMITS
02	07/20/08	FIELD FOR SUBMISSION

DATE	07/20/08
PROJECT	THREE STORY BUILDING
CLIENT	REPERT
DESIGNED BY	R.S.
CHECKED BY	R.S.
DRAWING TITLE	SITE PLAN
DRAWING NO.	08-010
SCALE	1" = 10'-0"



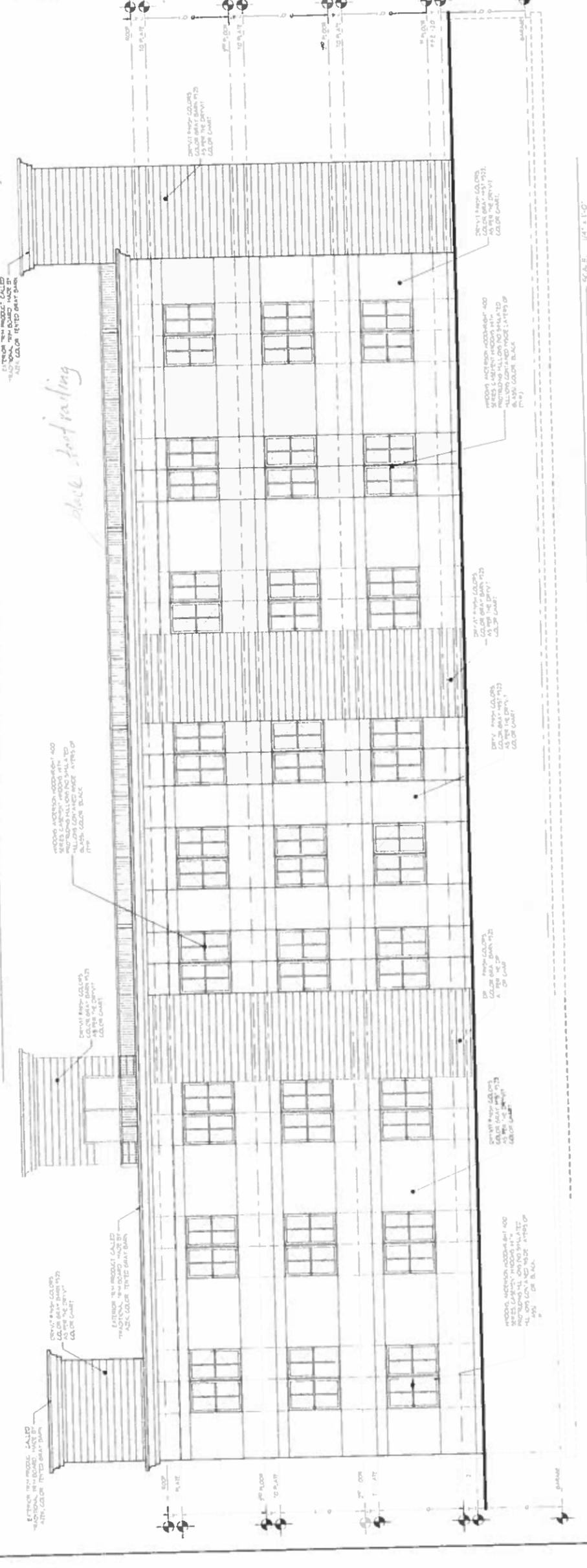
SITE PLAN / LANDSCAPING PLAN
 SCALE 1" = 10'-0"
 SCALE 1" = 10'-0"

DATE	10/1/11
BY	R. SHALAKATI
PROJECT #	00001
CLIENT	R.S.
SCALE	1/4" = 1'-0"
DATE	10/1/11
BY	R. SHALAKATI
PROJECT #	00001
CLIENT	R.S.
SCALE	1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

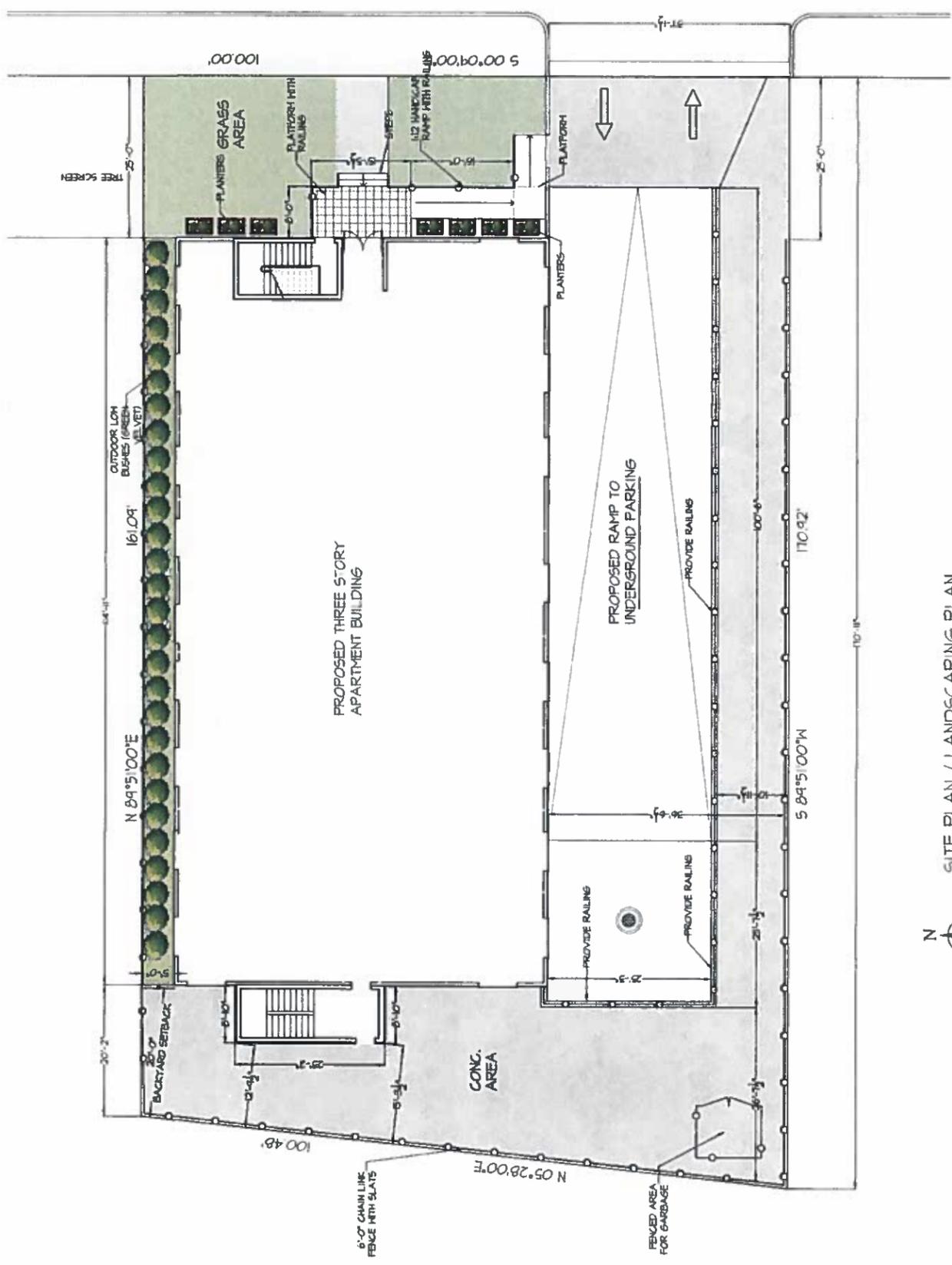
R. SHATARAH
 ARCHITECT
 145 WEST 14TH STREET
 NEW YORK, NY 10011
 TEL: 212 255 1234
 FAX: 212 255 5678
 WWW.RSHATARAH.COM

THREE STORY BUILDING
 14 SOUTH OCEAN AVENUE
 FREEPORT, NEW YORK 11520

SCOPE: THREE STORY BUILDING

NO.	DATE	DESCRIPTION
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199	01/15/20	REVISED PER COMMENTS
200	02/01/20	REVISED PER COMMENTS

DATE: 11/15/17
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT NO.: 17-001
 SHEET NO.: 1 OF 1
 SCALE: AS SHOWN
 PROJECT: 14 SOUTH OCEAN AVENUE
 CITY: FREEPORT, NY
 STATE: NY
 COUNTY: SUFFOLK
 ZONING: R-100
 LOT: 14.00
 AREA: 10,000 SQ FT
 HEIGHT: 30 FT
 DISTRICT: 14.00



SITE PLAN / LANDSCAPING PLAN

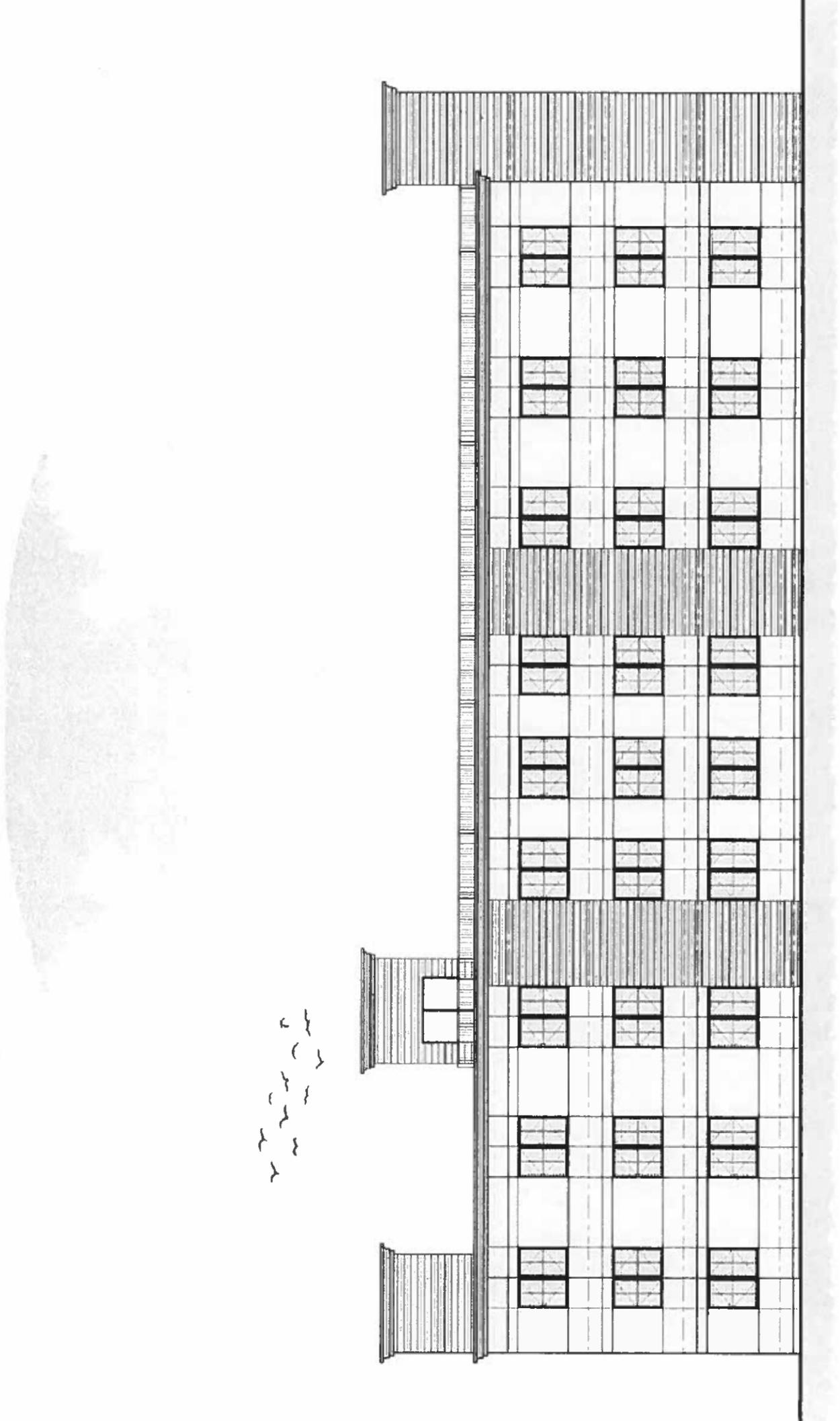
R. SHATARAH
 ARCHITECT
 134 SOUTH OCEAN AVENUE
 FREEPORT, NEW YORK 11520
 TEL: 516.431.1111
 FAX: 516.431.1111
 WWW.RSHATARAH.COM

SCOPE: THREE STORY BUILDING
THREE STORY BUILDING
 134 SOUTH OCEAN AVENUE
 FREEPORT, NEW YORK 11520

NO.	DATE	DESCRIPTION
01	10/10/08	ISSUED FOR PERMITS
02	11/10/08	ISSUED FOR PERMITS
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04	01/10/09	ISSUED FOR PERMITS
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40	01/10/12	ISSUED FOR PERMITS
41	02/10/12	ISSUED FOR PERMITS
42	03/10/12	ISSUED FOR PERMITS
43	04/10/12	ISSUED FOR PERMITS
44	05/10/12	ISSUED FOR PERMITS
45	06/10/12	ISSUED FOR PERMITS
46	07/10/12	ISSUED FOR PERMITS
47	08/10/12	ISSUED FOR PERMITS
48	09/10/12	ISSUED FOR PERMITS
49	10/10/12	ISSUED FOR PERMITS
50	11/10/12	ISSUED FOR PERMITS
51	12/10/12	ISSUED FOR PERMITS
52	01/10/13	ISSUED FOR PERMITS
53	02/10/13	ISSUED FOR PERMITS
54	03/10/13	ISSUED FOR PERMITS
55	04/10/13	ISSUED FOR PERMITS
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58	07/10/13	ISSUED FOR PERMITS
59	08/10/13	ISSUED FOR PERMITS
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75	12/10/14	ISSUED FOR PERMITS
76	01/10/15	ISSUED FOR PERMITS
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79	04/10/15	ISSUED FOR PERMITS
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93	06/10/16	ISSUED FOR PERMITS
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96	09/10/16	ISSUED FOR PERMITS
97	10/10/16	ISSUED FOR PERMITS
98	11/10/16	ISSUED FOR PERMITS
99	12/10/16	ISSUED FOR PERMITS
100	01/10/17	ISSUED FOR PERMITS

DESIGNED BY: R. SHATARAH
 DRAWN BY: R. SHATARAH
 CHECKED BY: R. SHATARAH
 DATE: 10/10/08

PROJECT: 0300-15
 SHEET: 01
 SCALE: 1/8" = 1'-0"
 DATE: 10/10/08



NORTH ELEVATION



DATE: 10/1/00
SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

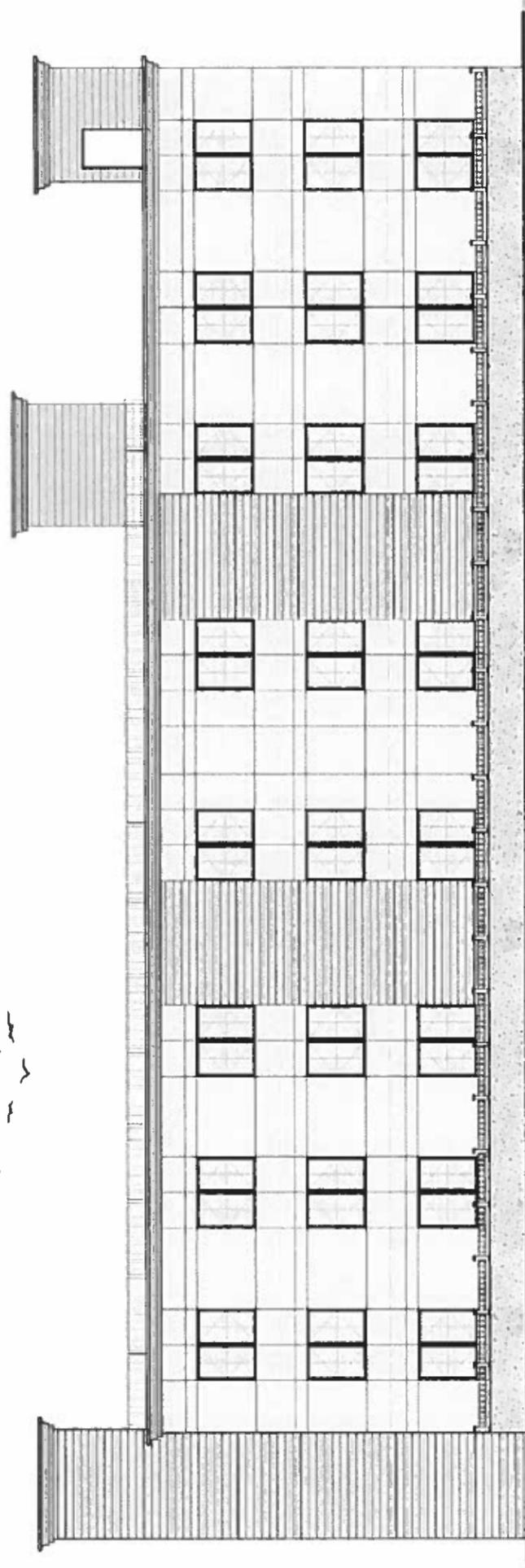
SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

SOUTH ELEVATION



THREE STORY BUILDING

134 SOUTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

SCOPE: THREE STORY BUILDING

R. SHATARAH
ARCHITECT
1000 JEROME ST. # 4
FREEPORT, N.Y. 11520
TEL: 516-341-1111
FAX: 516-341-1112
WWW.SHATARAH.COM

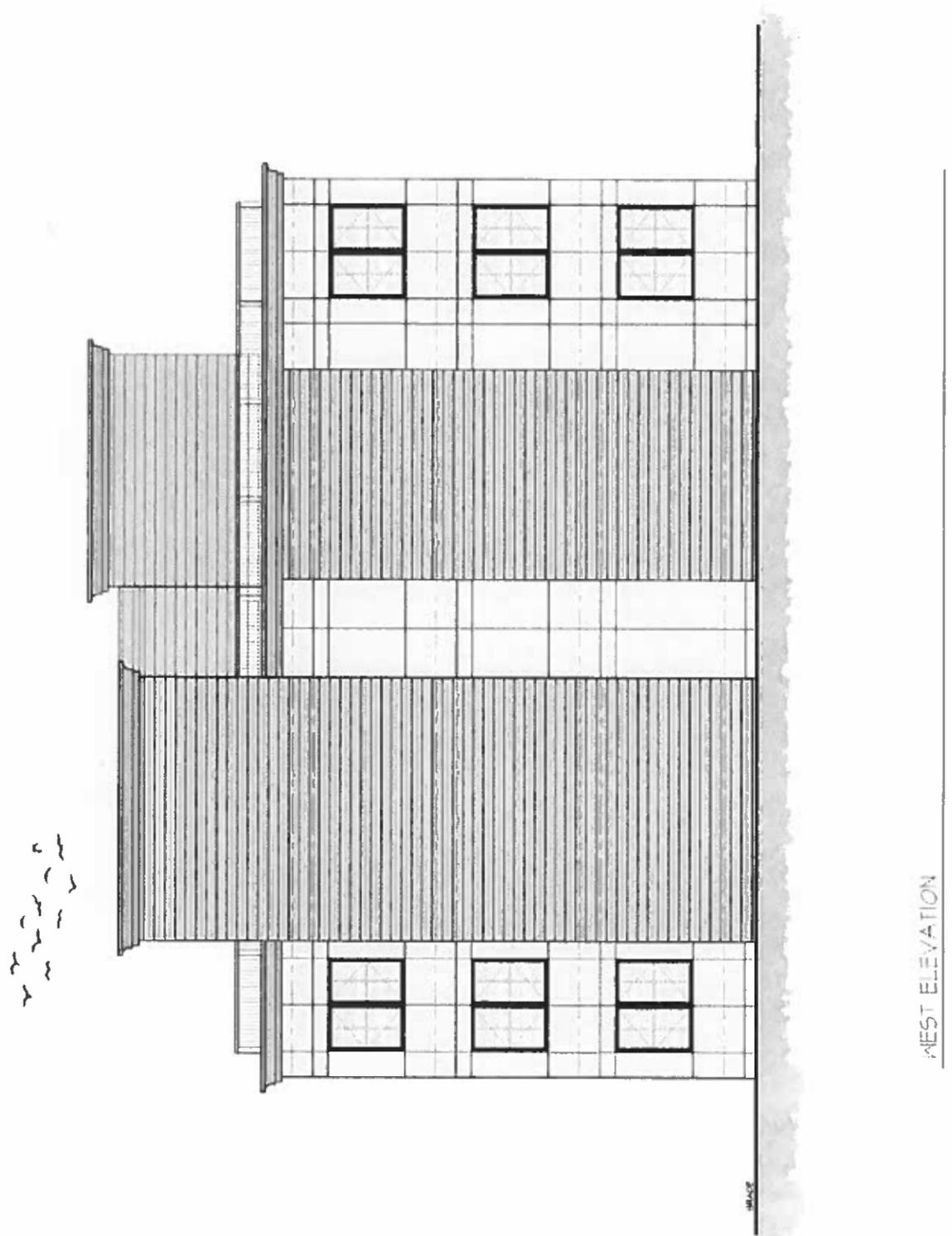
R SHATARAH
 ARCHITECTS
 1000 JEROME AVENUE
 NEW YORK, NY 10017
 TEL: 212-462-4681
 FAX: 212-462-7744
 WWW.RSHATARAH.COM

SCOPF THREE STORY BUILDING
 134 SOUTH OCEAN AVENUE
 FREEPORT NEW YORK 11520

DATE	DESCRIPTION
01/20/11	ISSUED FOR PERMITS
01/21/11	
01/22/11	
01/23/11	
01/24/11	
01/25/11	
01/26/11	
01/27/11	
01/28/11	
01/29/11	
01/30/11	
01/31/11	

PROJECT NO. 11-001
 SHEET NO. 11-001-01
 DATE: 01/20/11
 SCALE: AS SHOWN
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: SCOPF THREE STORY BUILDING
 ADDRESS: 134 SOUTH OCEAN AVENUE, FREEPORT, NY 11520

DATE: 01/20/11
 SCALE: AS SHOWN
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: SCOPF THREE STORY BUILDING
 ADDRESS: 134 SOUTH OCEAN AVENUE, FREEPORT, NY 11520



WEST ELEVATION

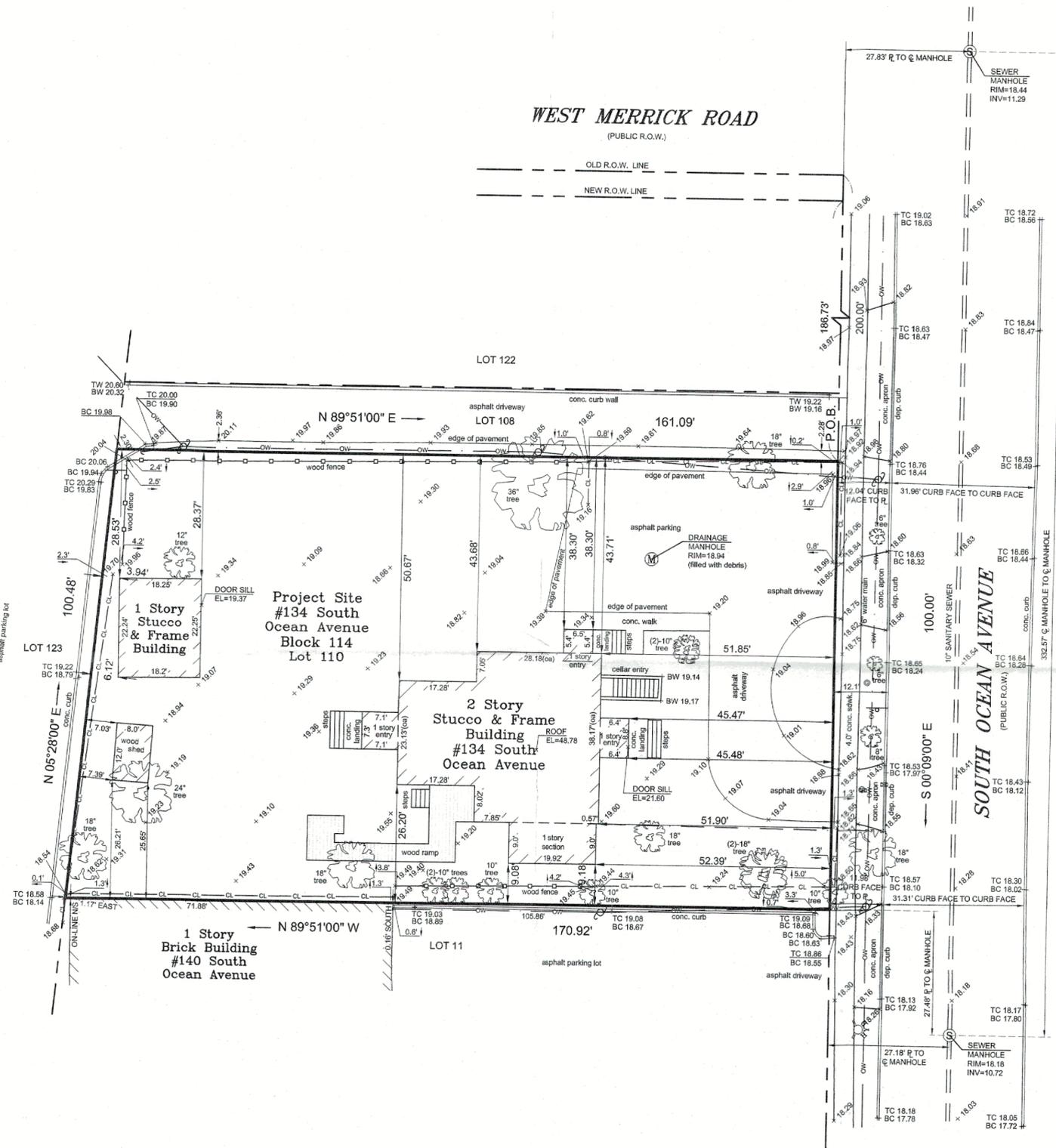
TOPOGRAPHIC SURVEY

LOT: 110
 BLOCK: 114
 VILLAGE: Freeport
 TOWN: Hempstead
 COUNTY: Nassau
 STATE: New York

OVERALL AREA - 16,600.50 SQ. FT./0.38 ACRES

NOTES:

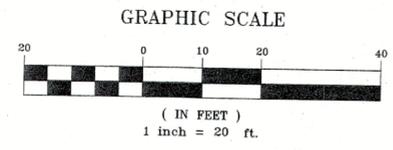
1. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7203, SUB-DIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.
2. COPIES FROM THE ORIGINAL OF THIS SURVEY MAP NOT MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL NOT BE CONSIDERED A VALID TRUE COPY.
3. ALL ELEVATIONS NOTED ON THIS SURVEY ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS ESTABLISHED AND MAINTAINED BY THE NATIONAL GEODETIC SURVEY OF THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION OR SUCCESSOR AGENCY, WHICH IS HEREBY ESTABLISHED AS THE CITY DATUM BY LOCAL LAW 96 OF 2013.
4. LEGAL GRADES SHOWN WERE TAKEN FROM THE BOROUGH SECTIONAL MAPS. LEGAL GRADES REFER TO TOP OF CURB.
5. THE OFFSETS AND DIMENSIONS SHOWN FROM THE STRUCTURES TO THE PROPERTY LINES ARE TAKEN AT GROUND LEVEL AND ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF STRUCTURES AND ANY OTHER CONSTRUCTION.
6. SUBSURFACE INFORMATION HEREON HAS BEEN OBTAINED FROM NEW YORK CITY AGENCIES AND PRIVATE COMPANIES. THIS INFORMATION IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTORS SHALL, BEFORE COMMENCING EXCAVATION, NOTIFY THE APPROPRIATE DEPARTMENTS AND UTILITY COMPANIES OF THEIR PROPOSED WORK AND REQUEST THAT THE PARTICULAR UTILITY LINES BE MARKED BY THE AGENCY OR COMPANY HAVING JURISDICTION.
7. NOT RESPONSIBLE FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES, VAULTS, TANKS OR OTHER APPURTENANCES. THE USER OF THIS SURVEY SHOULD BE AWARE THAT WRITTEN AND UNWRITTEN EASEMENTS MAY GIVE OTHERS RIGHTS WHICH MAY AFFECT THE USE OF THIS PROPERTY.
8. BEFORE PERFORMING ANY EXCAVATION OR DRILLING ON THIS SITE, IT IS REQUIRED THAT SUBSURFACE SERVICE, INCLUDING THE UNDERGROUND MAINS, DUCTS AND CABLES BE MARKED AND IDENTIFIED BY THE UTILITY COMPANY OR AGENCY INVOLVED. THIS SHOULD BE DONE BY PROVIDING THE AFFECTED UTILITY WITH THE NOTICED REFERRED TO IN THE STATE OF NEW YORK INDUSTRIAL CODE 53.
9. THIS IS TO CERTIFY THAT THERE ARE NO STREAMS OR OTHER WATER COURSES ON OR IN THE PROPERTY EXCEPT AS SHOWN ON THE MAP.
10. THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE COMMITTEE REPORT AND IS SUBJECT TO THE COVENANTS, RESTRICTIONS AND EASEMENTS THAT BE CONTAINED THEREIN.



NOTE: THERE IS A 6" WATER MAIN ALONG WEST SIDE OF SOUTH OCEAN AVENUE, AND A 20" WATER MAIN ALONG EAST SIDE OF SOUTH OCEAN AVENUE, AS PER VILLAGE WATER MAINS MAP. PRECISE LOCATIONS UNKNOWN.

LEGEND

- CATCH BASIN
- TRAFFIC SIGNAL
- LIGHT POLE
- UTILITY POLE
- GUY WIRE
- WATER MANHOLE
- CON ED MANHOLE
- UTILITY MANHOLE
- SEWER MANHOLE
- DRAINAGE MANHOLE
- ELECTRIC MANHOLE
- STEAM MANHOLE
- TELEPHONE MANHOLE
- MANHOLE (unknown)
- ELECTRIC BOX
- MAIL BOX
- MUNI-METER
- GAS VALVE
- MONITORING WELL
- WATER VALVE
- STEAM VALVE
- FIRE HYDRANT
- STREET SIGN
- DRAIN GRATE
- PEDESTRIAN BOX
- ANTENNA
- BOLLARD
- BIKE RACK
- OVERHEAD WIRES
- METAL FENCE
- WOOD FENCE
- CHAIN LINK FENCE
- WIRE FENCE
- UG ELECT. LINE
- UG WATER LINE
- UG GAS LINE
- UG STEAM LINE
- UG SEWER LINE
- UG TELEPHONE LINE
- PROPERTY LINE
- BUILDING FOOTPRINT
- TOP OF CURB
- BOTTOM OF CURB
- SIDEWALK ELEV.
- CENTERLINE ELEV.
- LEGAL GRADE
- TOP OF PARAPET
- FINISHED FLOOR ELEV.
- FIRE ESCAPE
- SEWER INVERT ELEV.
- MUNI METER
- MAIL BOX
- UNDERGROUND
- UTILITY BOX
- PHONE BOOTH
- CELLAR ENTRANCE
- CATCH BASIN



Survey Date: 9/12/2023 Drawing Date 9/18/2023 Drawn By: JAB Scale: 1" = 20'

Map of Topographic Survey for #134 South Ocean Avenue Freeport, Long Island, NY

REVISION	DATE	BY

Cornerstone Surveyors, P.C.
 54 Big Spring Rd
 Calton, N.J. 07830
 (908) 975-2996
 www.CornerstonePLS.com



R SHATARAH CONSULTING ENGINEERS, P.C.

6500 Jericho Turnpike, Suite 1W
Syosset, NY 11791

Telephone: (516)731-4687
Fax: (516)796-2744
Email: Rudolph@Rsce-PC.com

BUILDING LIGHTS:

12 IN, 120 VOLTS OUTDOOR LED
LIGHTING FIXTURES
MANUFACTURED BY: LUMIN (OR
EQUAL)
COLOR: BRONZE
SIZE ; WIDTH 5", HEIGHT 12", DEPTH
3.9", WEIGHT 3LBS



SPECIFICATIONS:

LAMP TYPE : LED BUILT-IN
TOTAL LUMENS: 823
TOTAL WATTS: 26.10
VOLTS: 120
COLOR TEMP: 3000 (SOFT WHITE)

PVC GUARD RAIL:
42-IN. MATTE WHITE WROUGHT PVC
CLASSIC
STAIR BALUSTER
MANUFACTURED BY: ALL ISLAND
RAILING (OR EQUAL)
COLOR: WHITE



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VILLAGE OF FREEPORT, NY

2023 DEC 19 P 2:43

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R SHATARAH

CONSULTING ENGINEERS, P.C.

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Syosset, NY 11791

Telephone: (516)731-4687
Fax: (516)796-2744
Email: Rudolph@Rsce-PC.com

Specifications

Collection Name	N/A
Type	Classic
Style	VR6/8-3
Actual Height (Inches)	42 in
Actual Width (Inches)	6 in
Actual Thickness (Inches)	6 in
Manufacturer Color/Finish	WHITE
Warranty	None
Color/Finish Family	WHITE
Material	PVC
Decorative Element	N/A
Top Type	Pin top

EXTERIOR CORNER BOARD:
"TRADITIONAL TRIM BOARD"
MANUFACTURED BY: AZEK EXTERIORS
(OR EQUAL)
COLOR: WHITE.



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Syosset, NY 11791

Telephone: (516)731-4687
Fax: (516)796-2744
Email: Rudolph@Rsce-PC.com

SIDING:

FAÇADE:

HARDIEPLANK WOOD SUBSTITUTE
SIDING
MANUFACTURER: JAMES HARDIE
(OR EQUAL)
COLOR: ARCTIC WHITE, TIMBER
BARK, LIGHT MIST, KHAKI BROWN.



KHAKI BROWN



TIMBER BARK



ARCTIC WHITE



LIGHT MIST

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Telephone: (516)731-4687
Fax: (516)796-2744
Email: Rudolph@Rsce-PC.com

REFERENCES

<https://www.andersenwindows.com/windows-and-doors/windows/casement-windows/>

<https://azekexteriors.com/products/trim/cornerboards/cornerboards#traditional>

https://www.lumens.com/pitch-led-indoor-outdoor-wall-sconce-by-visual-comfort-modern-TECP90024.html?cgid=37&dwvar_TECP90024_AttrValue1=Bronze&dwvar_TECP90024_AttrValue2=5%20in&dwvar_TECP90024_AttrValue3=120%20Volt#tileIndex=9

<https://www.urbanpot.com/en/product-page/geo-cube>

<https://www.jameshardie.com/color-and-design/house-siding-ideas-gallery>

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VILLAGE OF FRENCH CREEK, NY



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43

COLORADO STATE UNIVERSITY
WILLIAMSON RESEARCH CENTER

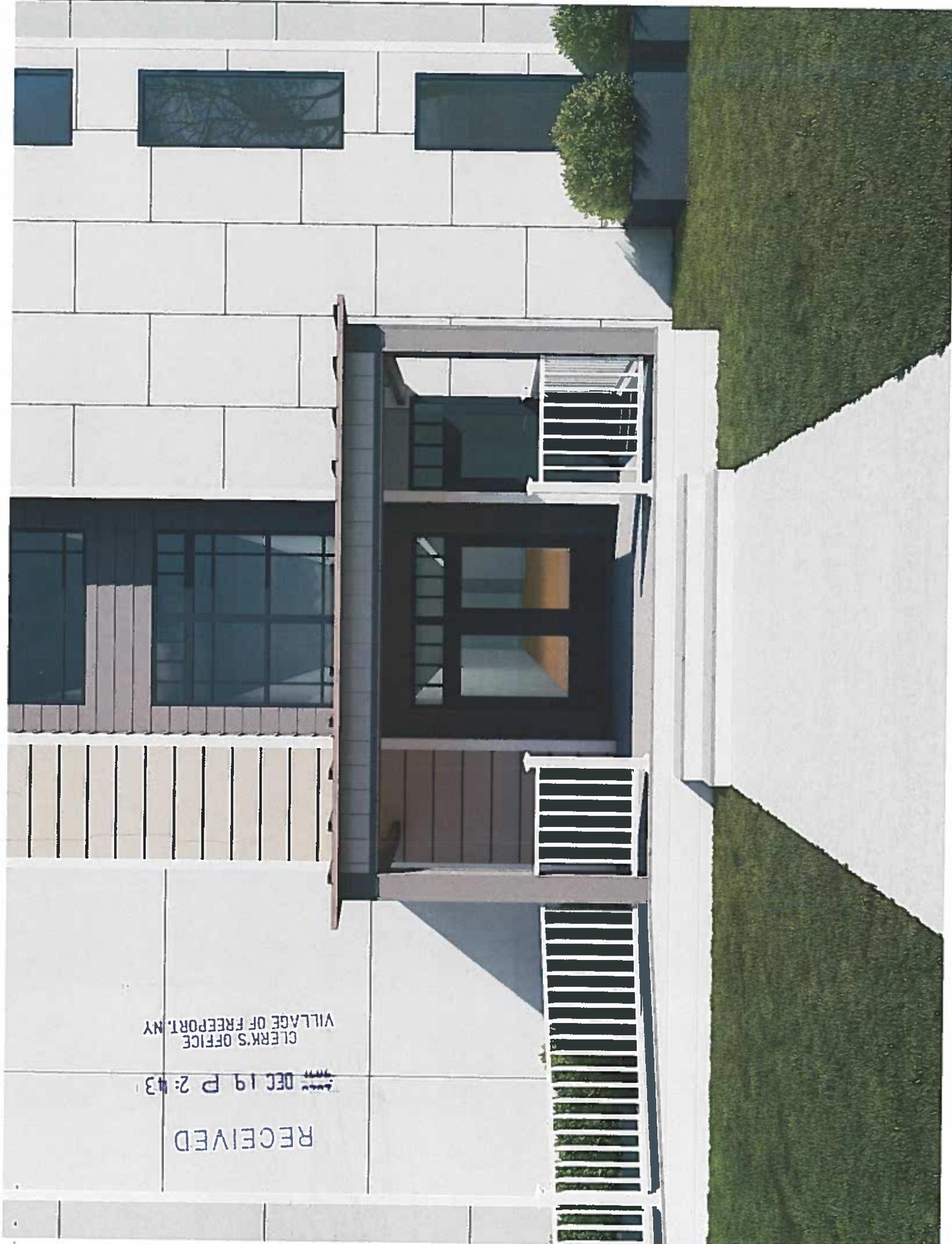




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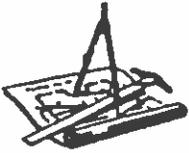
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Syosset, NY 11791

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Fax: (516)796-2744
Email: Rudolph@Rsce-PC.com

WINDOWS:

NEW WINDOWS
CASEMENT WINDOW
(NO KIND OF SIMULATED MULLIONS CONTAINED
INSIDE
LAYERS OF GLASS)
MANUFACTURED BY: ANDERSON (OR EQUAL)
COLOR: BLACK



SITE PLAN PLANTERS:

FIBER GLASS PLANTERS
GEO CUBE
MANUFACTURED BY: URBAN POT
URBAIN (OR EQUAL)
COLOR: FAUX LEAD
SIZE ; W: 28" x 56" x 28" H



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VILLAGE OF FREEPORT, NY



R SHATARAH
CONSULTING ENGINEERS, P.C.

6500 Jericho Turnpike, Suite 1W
Syosset, NY 11791

Telephone: (516)731-4687
Fax: (516)796-2744
Email: Rudolph@Rsce-PC.com

SP3676 - 134 S. Ocean Ave

Material list
134 S OCEAN AVENUE.
FREEPORT, NEW YORK 11520

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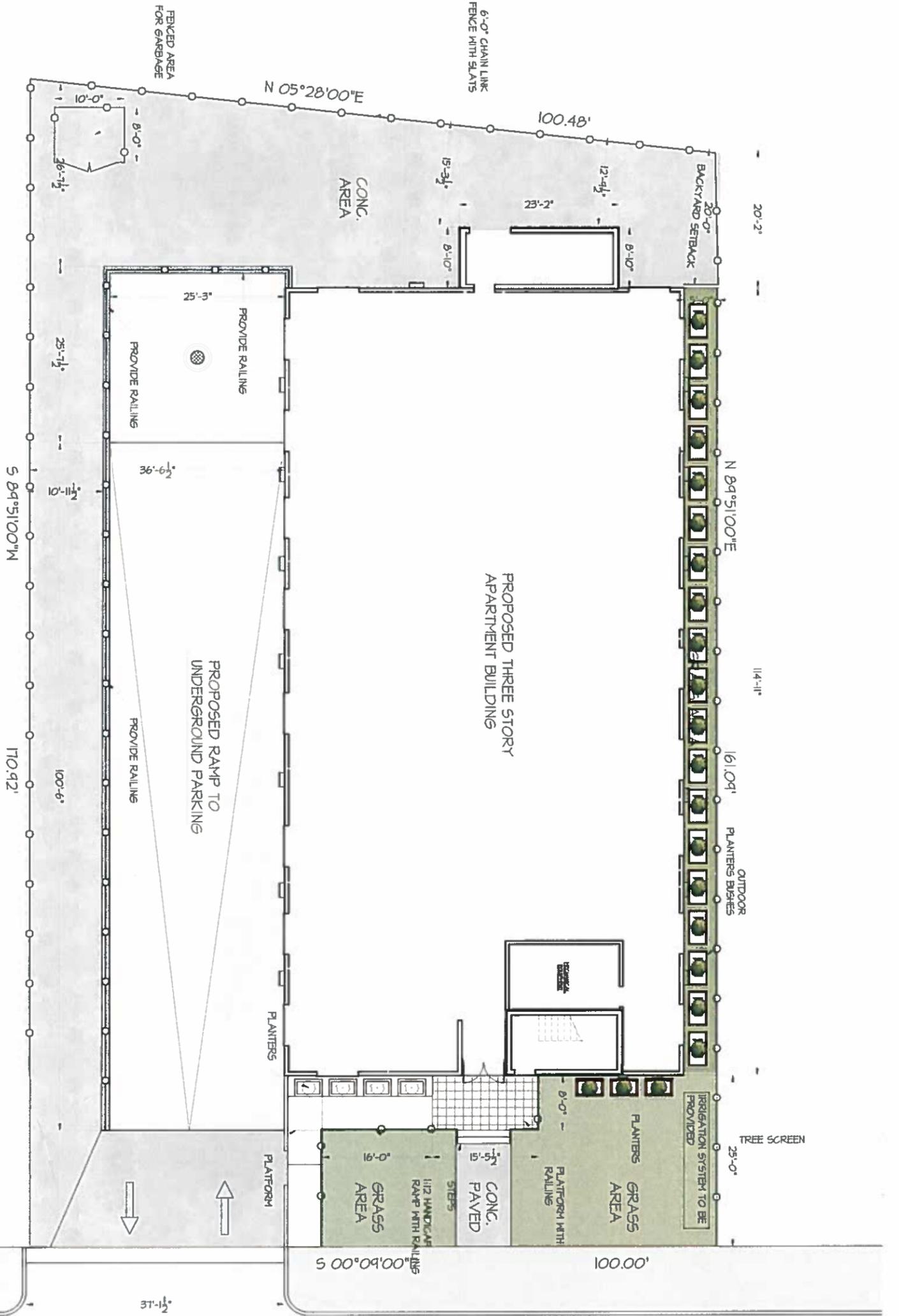
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2023

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VILLAGE OF FREEPORT, NY



SITE PLAN / LANDSCAPING PLAN



SCOPE: THREE STORY BUILDING

THREE STORY BUILDING

184 SOUTH OCEAN AVENUE
FREEPORT, NEW YORK 11520



R SHATARAH
CONSULTANTS INC.
1000 BRIDGE PLAZA
FREEPORT, NY 11520
TEL: (516) 325-4444
FAX: (516) 325-2111
WWW.RSHATARAH.COM

REV	DATE	COMMENT
1	4/25/20	ISSUED FOR REVIEW
2	8/24/23	ISSUED FOR REVISION
3	12/12/23	ISSUED FOR SITE PLAN SUBMISSION

PROJECT #	0000004
CLIENT	NA
DATE	12/12/23
PROJECT TITLE	SITE PLAN
SCALE	AS SHOWN
DESIGNER	NA
CHECKER	NA
DATE	12/12/23
PROJECT #	0000004
CLIENT	NA
DATE	12/12/23
PROJECT TITLE	SITE PLAN
SCALE	AS SHOWN
DESIGNER	NA
CHECKER	NA
DATE	12/12/23

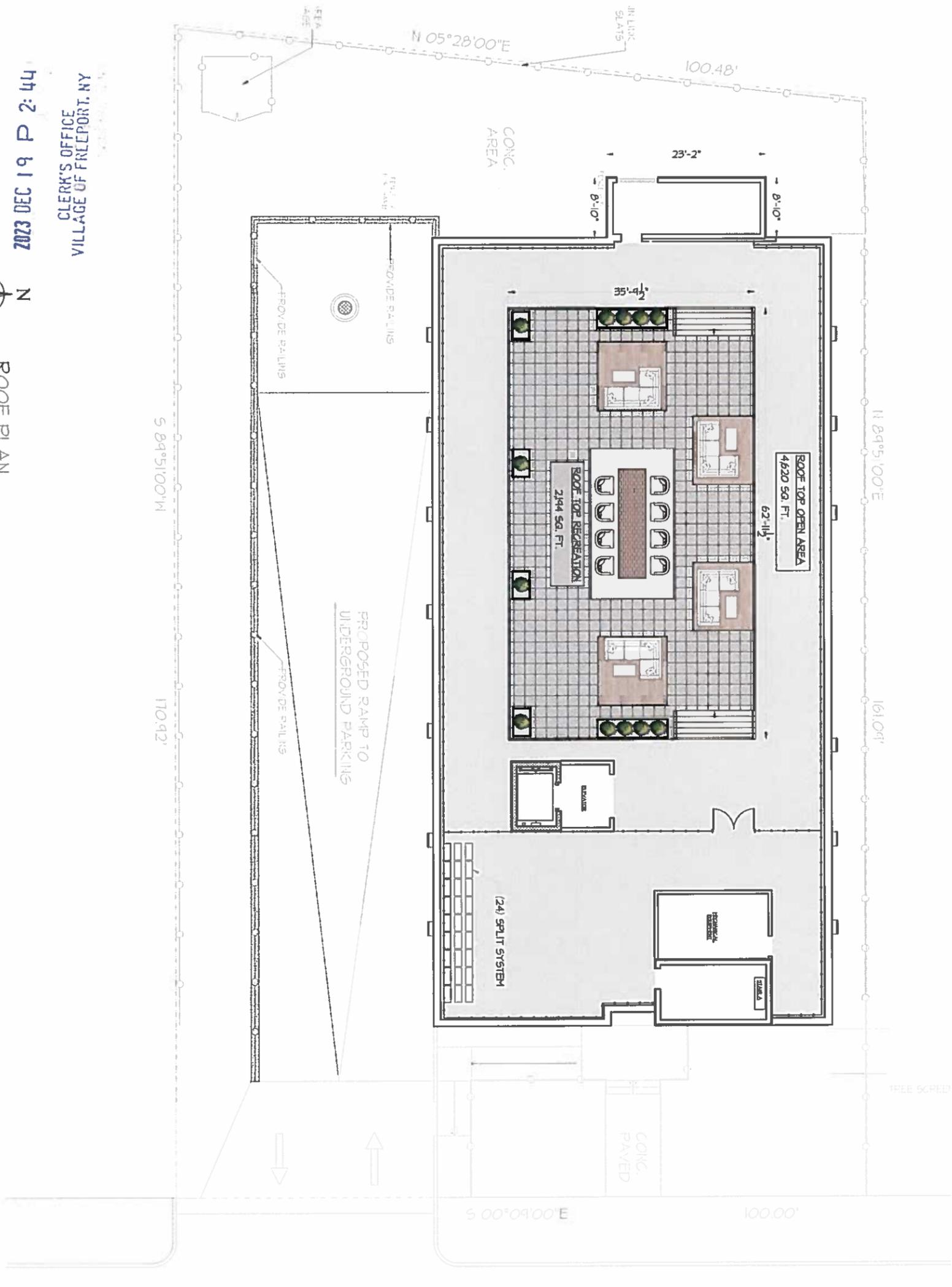
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VILLAGE OF FREEPORT, NY



ROOF PLAN



R SHATARAH
ARCHITECTS
1120 ROUTE 208
FREEPORT, NY 11520
PH: 516.461.2244
WWW.RSHATARAH.COM

SCOPE: THREE STORY BUILDING

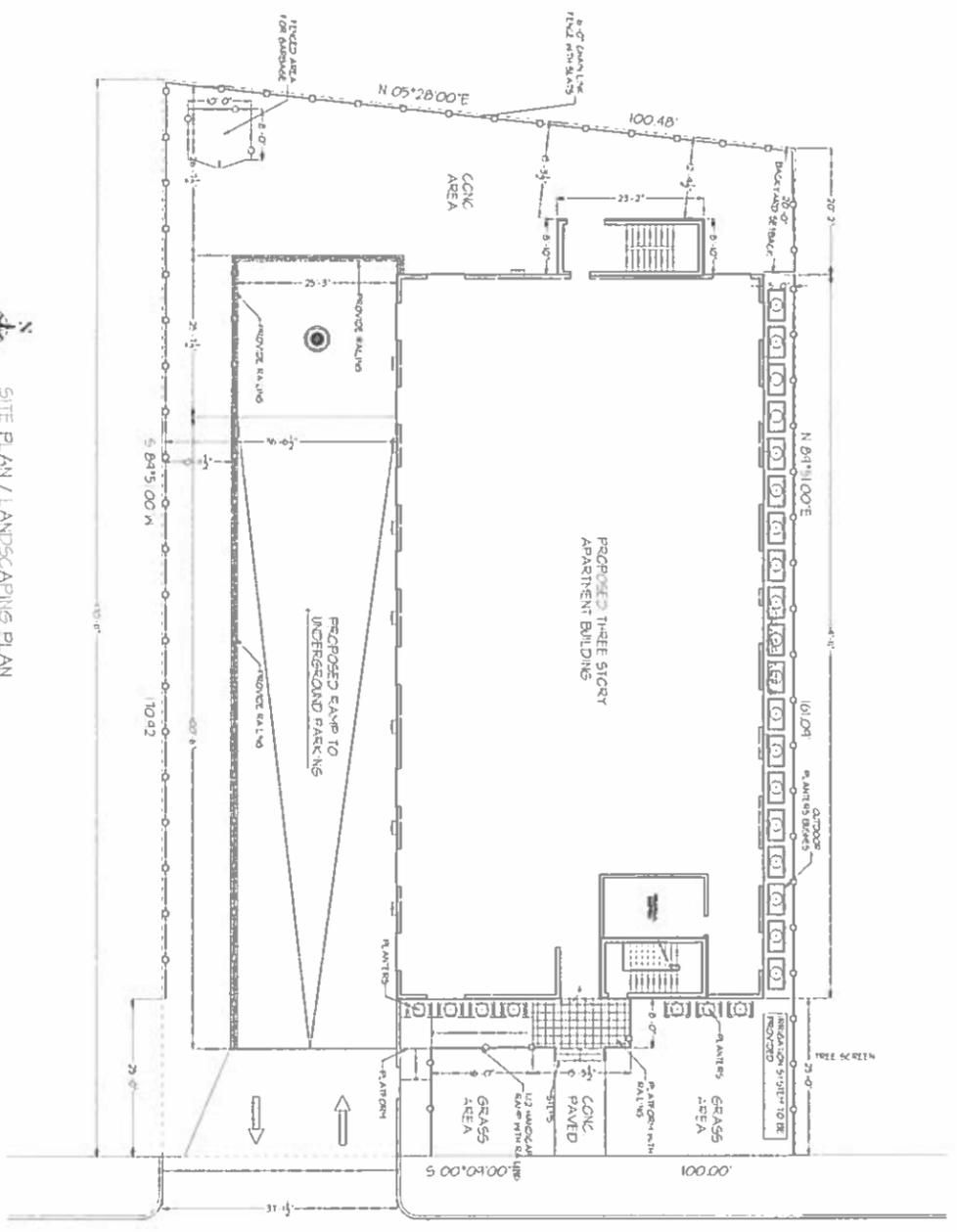
THREE STORY BUILDING

134 SOUTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

REV	DATE	COMMENT	BY
1	4/25/23	ISSUED FOR REVIEW	R.S.
2	05/27/23	ISSUED FOR PERMISSORS	R.S.
3	12/13/23	ISSUED FOR SITE PLAN APPROVAL	R.S.

PROJECT NO.	23-001
DATE	12/13/23
SCALE	AS SHOWN
DESIGNED BY	R.S.
CHECKED BY	R.S.
DATE PLOTTED	12/13/23
PLOTTED BY	R.S.
SCALE	AS SHOWN
PROJECT NO.	23-001
DATE	12/13/23
SCALE	AS SHOWN
DESIGNED BY	R.S.
CHECKED BY	R.S.
DATE PLOTTED	12/13/23
PLOTTED BY	R.S.

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 2023 DEC 19 P 2:44
 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY



SITE PLAN / LANDSCAPING PLAN
 SCALE 1/8"=1'-0"
 SCALE 1/10"=1'-0"

SCOPE: THREE STORY BUILDING
THREE STORY BUILDING
 134 SOUTH OCEAN AVENUE
 FREEPORT, NEW YORK 11520

R SHATARAH
 ARCHITECTS
 6500 BRIDGE PLAZA
 SUITE 100
 FREEPORT, NY 11520
 TEL: 516.461.2211
 FAX: 516.461.2212
 WWW.RSHATARAH.COM

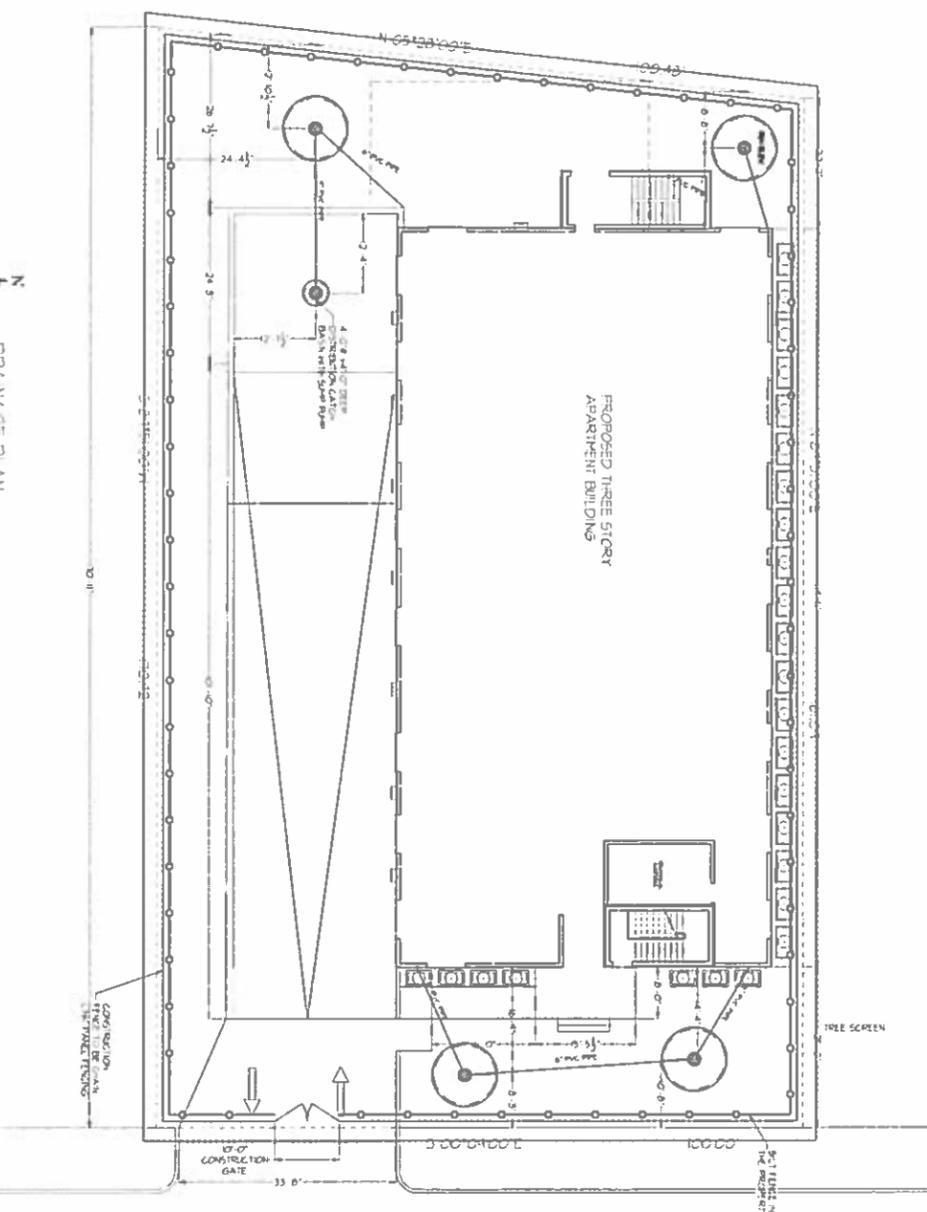
REV	DATE	COMMENT
0	4/25/18	VALID FOR REVIEW
1	8/24/18	VALID FOR SUBMISSION
2	12/22/23	VALID FOR SITE PLAN SUBMISSION

PROJECT: 24A-1504-28E
 PROJECT DATE: 4/25/2018
 PROJECT: 020013
 DRAWING: 03
 DRAWING TITLE: SITE PLAN
 DRAWN BY: C-02-00
 CHECKED BY: L-02-13

SCOPE: THREE STORY BUILDING

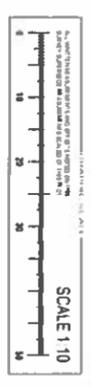
THREE STORY BUILDING

134 SOUTH OCEAN AVENUE
 FREEPORT, NEW YORK 11520



GENERAL NOTES:
 1. ALL DRAINAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE UPC AND THE LATEST EDITION OF THE NYC DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) PLUMBING CODE.
 2. ALL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NYC DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) PLUMBING CODE.
 3. ALL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NYC DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) PLUMBING CODE.
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 9. ALL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NYC DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) PLUMBING CODE.
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DRAINAGE NOTES:
 1. ALL DRAINAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE UPC AND THE LATEST EDITION OF THE NYC DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) PLUMBING CODE.
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 5. ALL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NYC DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) PLUMBING CODE.
 6. ALL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NYC DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) PLUMBING CODE.
 7. ALL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NYC DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) PLUMBING CODE.
 8. ALL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NYC DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) PLUMBING CODE.
 9. ALL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NYC DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) PLUMBING CODE.
 10. ALL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NYC DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) PLUMBING CODE.



DRAINAGE PLAN

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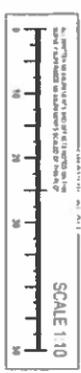
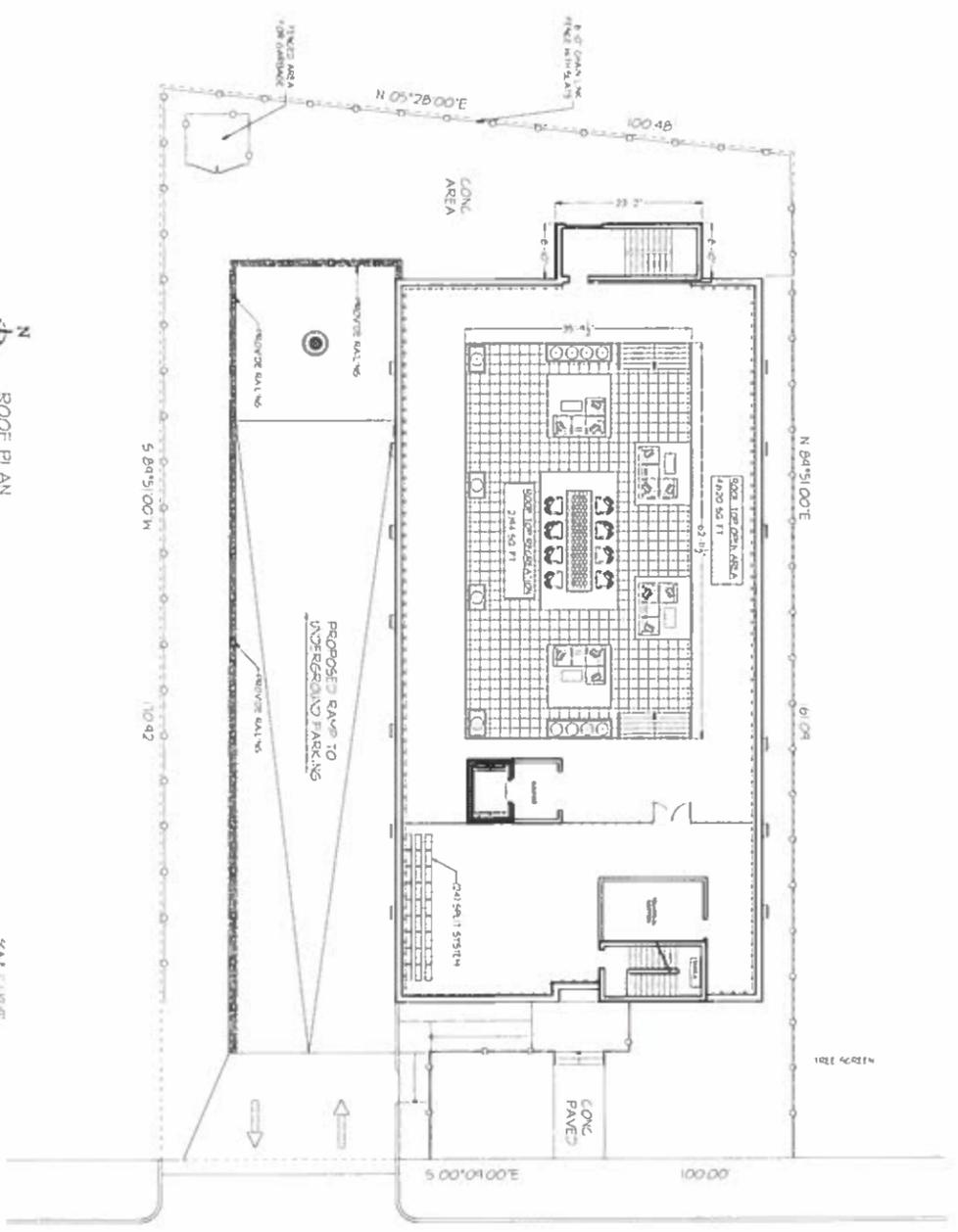
DATE	COMMENT
12/19/23	ISSUED FOR SITE PLAN SUBMISSION
12/15/23	REVISED FOR REVISION
12/15/23	REVISED FOR REVIEW

PROJECT	SEA LINDA
CLIENT	SEA LINDA
DATE	12/19/23
SCALE	1/10
DRAWN BY	SEA LINDA
CHECKED BY	SEA LINDA
DATE	12/19/23
PROJECT	SEA LINDA
CLIENT	SEA LINDA
DATE	12/19/23
SCALE	1/10
DRAWN BY	SEA LINDA
CHECKED BY	SEA LINDA
DATE	12/19/23

SCOPE: THREE STORY BUILDING

THREE STORY BUILDING

134 SOUTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

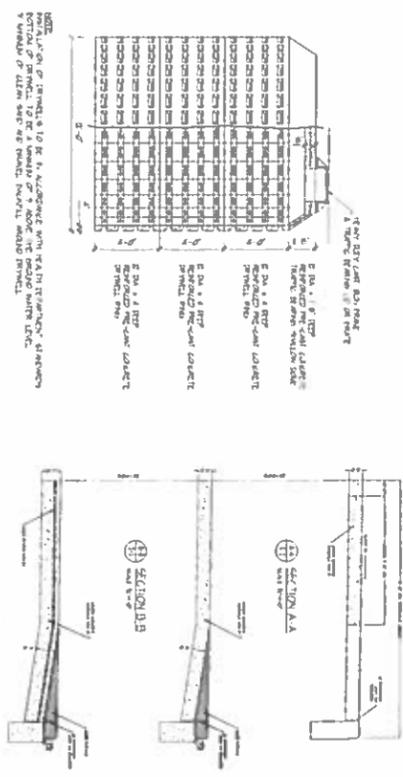


ROOF PLAN
SCALE: 1/8\"/>

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OFFICE OF FREEPORT, NY

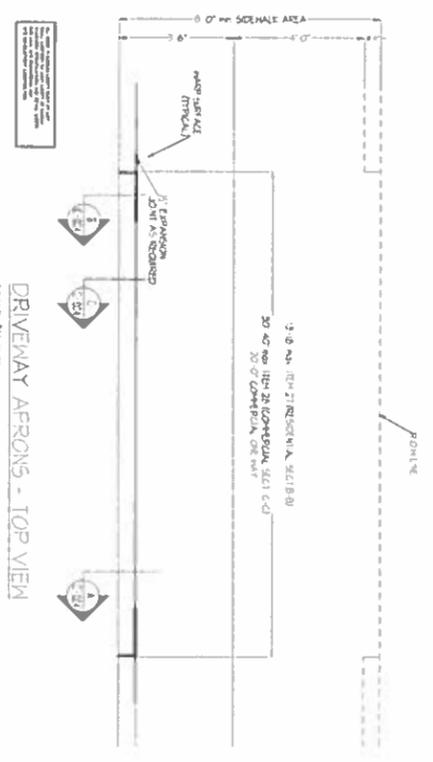
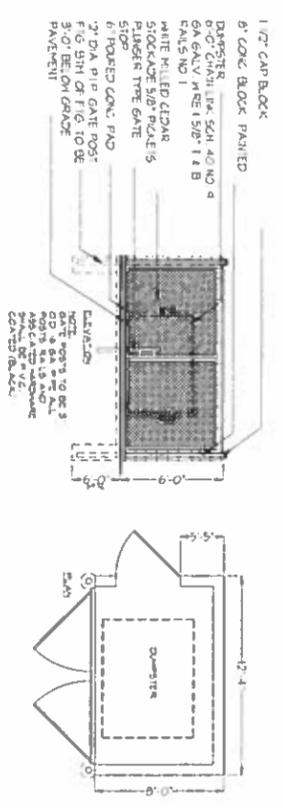
REV	DATE	COMMENT
0	4/25/10	ISSUED FOR PERMIT
1	04/27/11	ISSUED FOR PERMIT
2	07/27/11	ISSUED FOR SITE PLAN SUBMISSION

OWNER	SEALED
DATE	4/27/2010
PROJECT	00003
DESIGN BY	RA
DRAWN BY	RA
CHECKED BY	RA
SCALE	1/8\"/>
DATE	12/19/11
PROJECT	00003
DESIGN BY	RA
DRAWN BY	RA
CHECKED BY	RA
SCALE	1/8\"/>
DATE	12/19/11



DRYWELL DETAIL

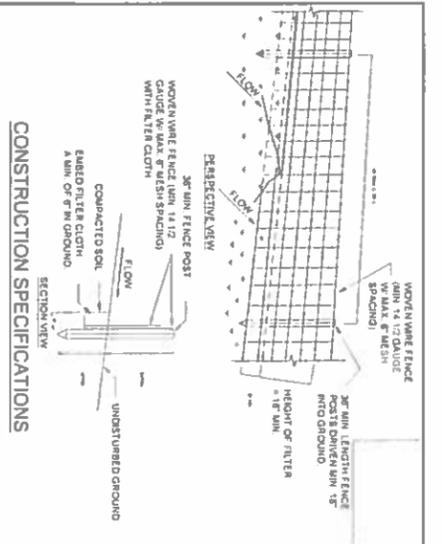
- NOTES:
1. ALL CONCRETE SHALL BE CAST IN PLACE.
 2. ALL REINFORCEMENT SHALL BE EPOXY COATED.
 3. ALL WALLS SHALL BE FINISHED WITH 1/2\"/>



DRIVEWAY APRONS - TOP VIEW
SCALE 3/8\"/>



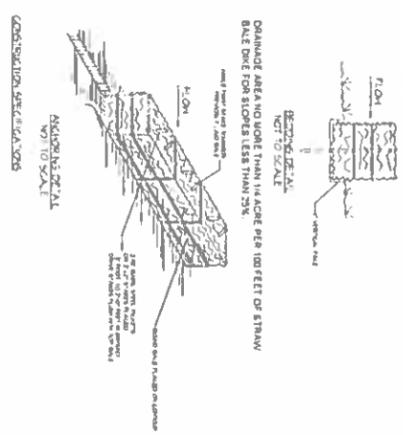
DRIVEWAY APRONS - FRONT ELEVATION
SCALE 3/8\"/>



CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER T OR U TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

SILT FENCE



ANALOGOUS DETAIL
SCALE

1. BALES SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTIGUOUS AND IN A ROW WITH TIES TIGHTLY ADJUSTING THE NOMINAL BALE.
2. EACH BALE SHALL BE DEJECTED IN THE SLOT A MINIMUM OF 14 INCHES AND PLACED SO THE BUNDLES ARE HORIZONTAL.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAPLES OR BE DRIVEN THROUGH THE BALE TO POSTS SPACED 24\"/>

SILT BALE
DIVE

R SHATARAH
 REGISTERED ARCHITECT
 4200 WOODBURN ROAD
 FREEPORT, NY 11520
 TEL: 516-351-4441
 FAX: 516-351-5744

SCOPE: THREE STORY BUILDING
THREE STORY BUILDING
 134 SOUTH OCEAN AVENUE
 FREEPORT, NEW YORK 11520

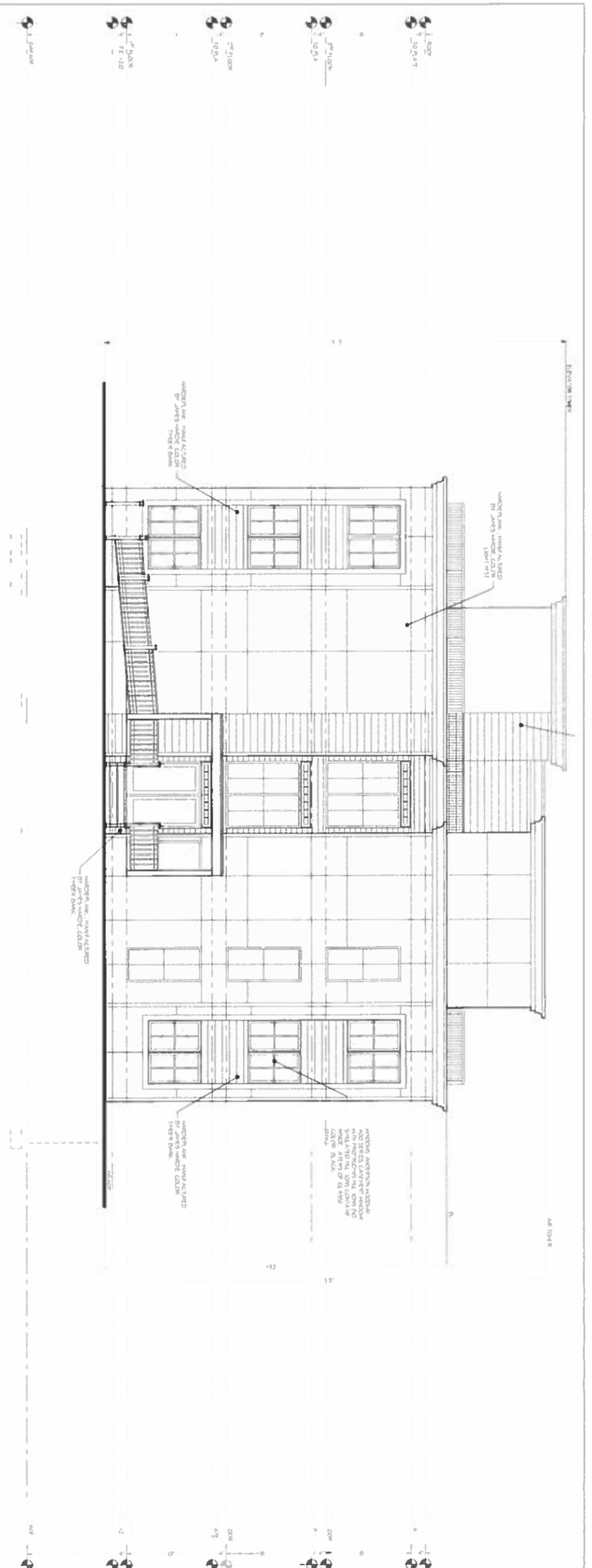
NO.	DATE	COMMENT
1	12/20/08	ISSUED FOR REVIEW
2	12/23/08	ISSUED FOR REVISION
3	12/23/08	ISSUED FOR SITE PLAN REVISION

OF PLAN, SHEET: 134-1-100A-001
 PROJECT: 134-1-100A-001
 DRAWN BY: SA
 CHECKED BY: SA
 DATE: 12/23/08
 SCALE: 1/8\"/>

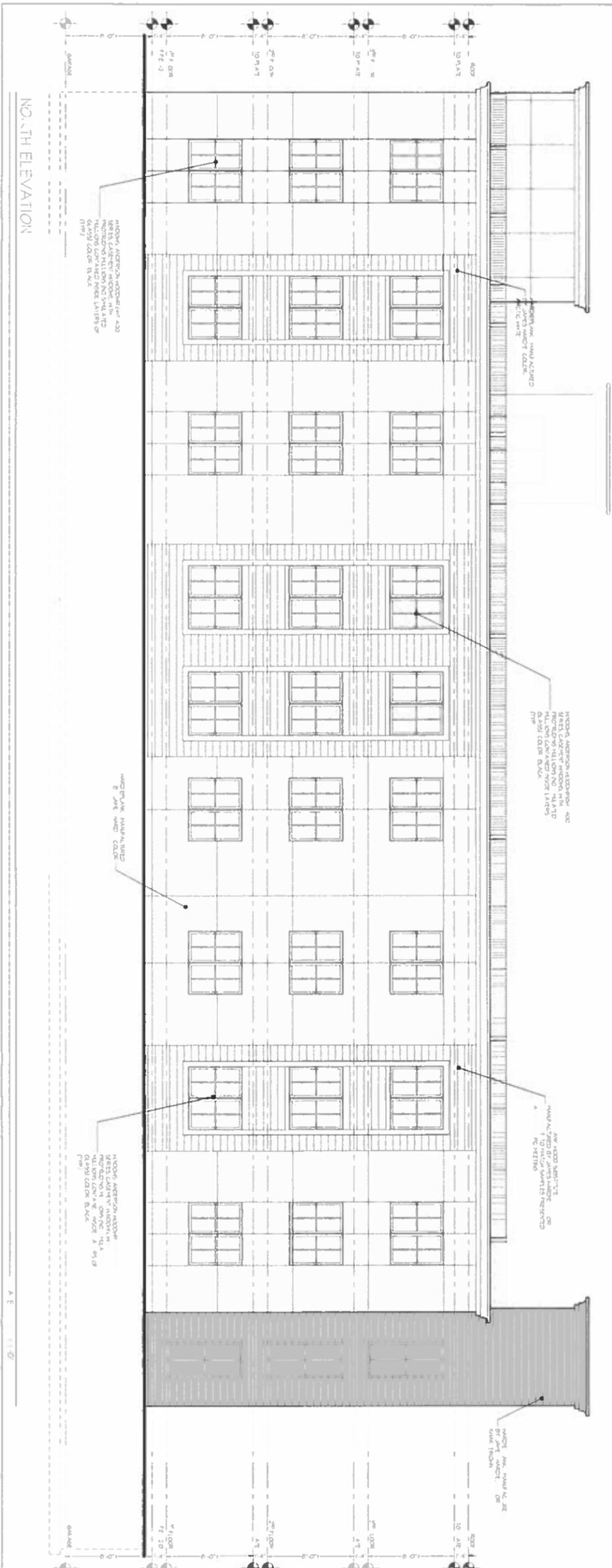
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2019 FEB 25 P 2:45
9N 7LD BLDG
CLERK'S OFFICE
NY STATE DEPT OF CORRECTIONS



EAST ELEVATION



NORTH ELEVATION

REV	DATE	COMMENT
1	02/25/19	ISSUED FOR SITE PLAN SUBMISSION
2	02/25/19	REVISED FOR REVIEW
3	02/25/19	FINAL DESIGN

PROJECT: 9N 7LD BLDG
 DRAWN BY: R. SHATARAH
 CHECKED BY: R. SHATARAH
 DATE: 02/25/19

Application Date: 12/6/2023
Fees Paid: \$225

SP# 3687

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 137 Grafting Place ZONING DISTRICT Residence A
SECTION 55 BLOCK 252 LOT 130 LOT SIZE: _____

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Jose Carbajal</u> <u>TRIBAL Home Improvement Inc</u>	Name: <u>Fredy Antonio Jovel</u>
Address: <u>20 Overland Ave</u> <u>Amityville NY 11801</u>	Address: <u>137 Grafting Place</u> <u>Freeport NY 11520</u>
Telephone #: <u>516 996 3036</u>	Telephone #: <u>516 884 9334</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Residential Proposed Land Use: Residential

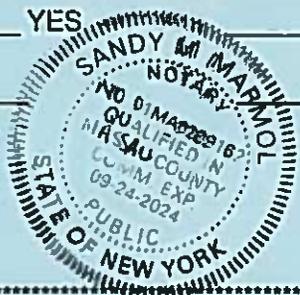
Description of Proposed Work: Remove Old Cement Driveway
extend 55 x 11 right side & lay down new pavers

I request a preliminary meeting: ___ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES NO _____
DATE 11/20/23

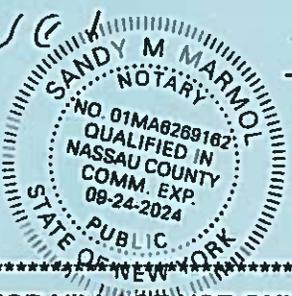
[Signature]
APPLICANT'S SIGNATURE
Sworn to before me this 20th
day of November, 2023
[Signature]
Notary Public



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VILLAGE OF FREEPORT NY

Property Owner's Consent:
I, Fredy A. Jovel am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 20th
day of November, 2023
[Signature]
Notary Public



DATE 11/20/23

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: ___ YES ___ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

SUBMISSION CHECKLIST

YES	NO	N/A	
_____	_____	_____	1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only)
_____	_____	_____	2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.
_____	_____	_____	3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:
_____	_____	_____	a. Title of drawing, including name and address of applicant.
_____	_____	_____	b. North point, scale, and date.
_____	_____	_____	c. Boundaries of the project.
_____	_____	_____	d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
_____	_____	_____	e. Floodplain boundaries as determined by the Federal Emergency Management Agency.
_____	_____	_____	f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.
_____	_____	_____	g. Location of outdoor storage and description of materials to be stored.
_____	_____	_____	h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
_____	_____	_____	i. Location and description of all proposed waterfront public access/recreation provisions.
_____	_____	_____	j. Description of sewage disposal and water supply systems and locations of such facilities.
_____	_____	_____	k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
_____	_____	_____	l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
_____	_____	_____	m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
_____	_____	_____	n. Location, design and size of all signs and lighting facilities.
_____	_____	_____	o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
_____	_____	_____	p. Building orientation and site design for energy efficiency and visual quality.
_____	_____	_____	q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
_____	_____	_____	r. Description and location of erosion control measures including proposed location of sediment sink/setting pond and interceptor swales, etc..
_____	_____	_____	s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
_____	_____	_____	t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.
_____	_____	_____	u. Estimated project construction schedule.
_____	_____	_____	v. Record of application for approval status of all necessary permits from federal, state and county officials.
_____	_____	_____	w. Identification of any federal, state or county permits required for project execution.
_____	_____	_____	x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER
November 10, 2023

Fredy Jovel
137 Graffing Place
Freeport, NY 11520

RE: 137 Graffing Place, Freeport, NY 11520
Zoning District: Residence A Sec. 55 Blk. 252 Lot. 130
Building Permit Application #20233516

Description: – Remove and replace old driveway (216 SF) and expand driveway (616 SF)

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes ___ No X

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

2023 DEC 12 A 10: 01

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VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

 The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20233516

Location: 137 Graffing Place, Freeport NY 11520

Applicant: Fredy Jovel

Description : Remove and replace old driveway (216 SF) and expand driveway (616 SF)

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: November 10, 2023

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

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VILLAGE OF FREEPORT, NY

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: Reconstruct Driveway							
Project Location (describe, and attach a location map): 137 Grafing Pl. Freeport NY 11520							
Brief Description of Proposed Action: Remove Old Cement extend 55x11 right side lay down new pavers							
Name of Applicant or Sponsor: Freddy Antonio Lovel		Telephone: 516 884 9334					
Address: 137 Grafing Pl.							
City/PO: Freeport		State: NY	Zip Code: 11520				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="font-size: 1.5em;">✓</td> <td></td> </tr> </table>	NO	YES	✓	
NO	YES						
✓							
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="font-size: 1.5em;">✓</td> <td></td> </tr> </table>	NO	YES	✓	
NO	YES						
✓							
3.a. Total acreage of the site of the proposed action? _____		acres					
b. Total acreage to be physically disturbed? _____		acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____		acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

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 VILLAGE OF FREEPORT, NY

		NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Consistent with the adopted comprehensive plan?		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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 WILLIAMS COUNTY RECEIPT

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Jose M. Carbajal</u>	Date: <u>10/24/23</u>	
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

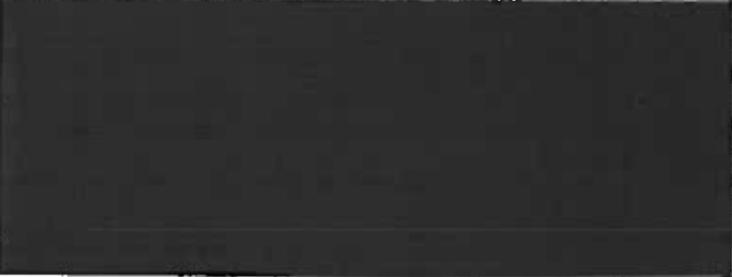
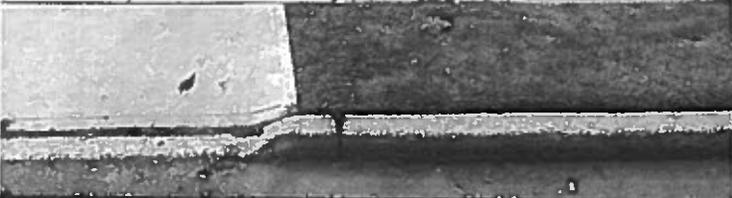
	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	✓	
11. Will the proposed action create a hazard to environmental resources or human health?	✓	

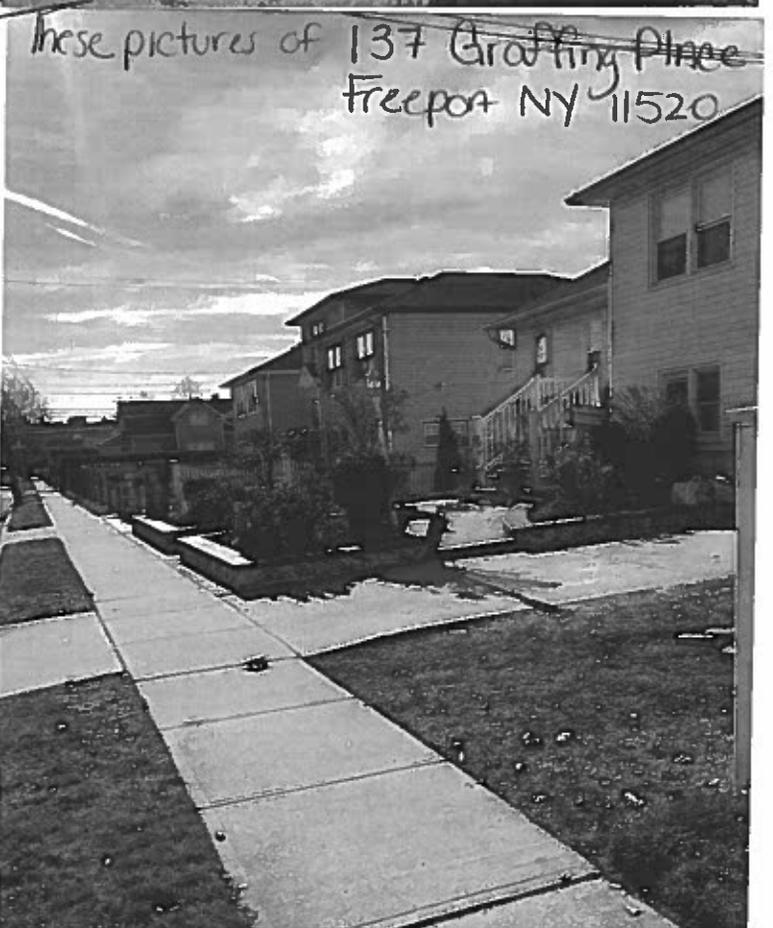
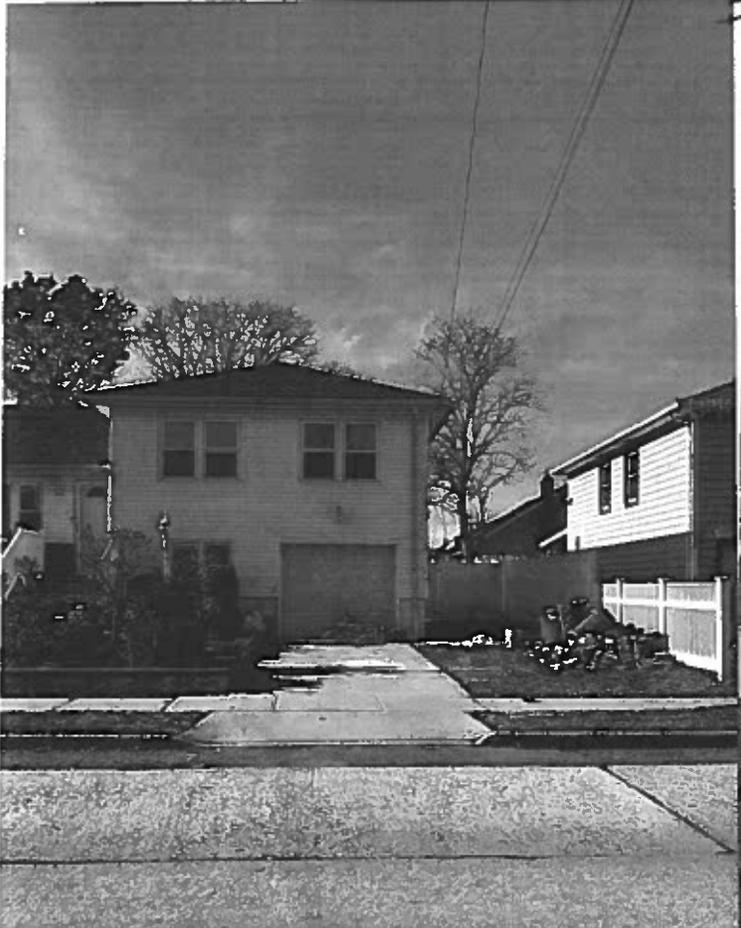
Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



These pictures of 137 Grafting Place
Freeport NY 11520





133 Graffing Place
Freeport NY 11520

Next Door Neighbor

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141 Graffing Place
Freeport NY 11520

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72 E. Dean St
Freeport NY 11520

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72 Washburn Ave
Freeport NY 11520

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69 E Dean St.
Freeport NY 11520

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Application Date: 12/15/24
Fees Paid: 1225

SP# 3688

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 577 Nassau Ave ZONING DISTRICT Residence A
SECTION 62 BLOCK 183 LOT 392 LOT SIZE: _____

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Same as owner</u>	Name: <u>Christopher Puglia</u>
Address: _____	Address: <u>577 Nassau Ave.</u>
Telephone #: _____	Telephone #: <u>914-380-2028</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: New patio

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

_____ YES NO

[Signature]
APPLICANT'S SIGNATURE

11/29/23
DATE

Sworn to before me this 29
day of November 20 23

[Signature]
Notary Public



Property Owner's Consent: I, Christopher Puglia am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE

12/13/23
DATE

Sworn to before me this 13
day of December 20 23

[Signature]
Notary Public



FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

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VILLAGE OF FREEPORT, NY

INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

Christopher Puglia
577 Nassau Ave
Freeport, NY 11520

SITE PLAN LETTER
November 3, 2023

RE: 577 Nassau Ave -, Freeport, NY 11520

Zoning District: Residence A Sec. 62 Blk. 183 Lot. 392
Building Permit Application #20233509

Description: - Maintain under construction (45sf) roof/portico over existing concrete.

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes ___ No X

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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Notice

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X Negative Declaration

 Positive Declaration

VILLAGE OF FREEPORT, NY

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

 The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

 Building Permit App. 20233509

 Location: 577 Nassau Ave, Freeport NY 11520

 Applicant: Christopher Puglia

 Description : Maintain under construction (45sf) roof/portico over existing concrete.

 Lead Agency: Department of Buildings

Agency Contact Person:

for the Board of Trustees

Superintendent of Buildings

Village of Freeport

(516) 377-2242

46 North Ocean Avenue, Freeport, NY

 REASONS(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: November 3, 2023

Sergio A. Mauras

Sergio A. Mauras

Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information. **VILLAGE OF FREEPORT, NY**

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information

Name of Action or Project:		Maintain under construction (45 s.f.) roof/portico over existing concrete front access platform	
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Maintain under construction (45 s.f.) roof/portico over existing concrete front access platform to existing 2-Story 1-Family Residence			
Name of Applicant or Sponsor:		Telephone: (631) 432-2153	
Christopher Puglia		E-Mail: simedianelis@gmail.com	
Address:		577 Nassau Avenue	
City/PO: Freeport		State:	Zip Code:
		New York	11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			✓
2. Does the proposed action require a permit, approval or funding from any other governmental agency? If Yes, list agency(s) name and permit or approval:		NO	YES
		✓	
3. a. Total acreage of the site of the proposed action?		0.11	acres
b. Total acreage to be physically disturbed?		0.11	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.11	acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?		✓	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	✓
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	✓	✓	✓
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	✓
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	✓
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	2023 DE	RV	FE
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	YES
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	YES
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		✓	
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
16. Is the project site located in the 100 year flood plain?	✓		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	YES
	✓		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?
If Yes, explain purpose and size: _____

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?
If Yes, describe: _____

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?
If Yes, describe: _____

NO YES

NO YES

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Christopher Puglia Date: 10/04/2023

Signature: _____

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor otherwise available to the reviewer. When answering the questions the reviewer should be guided by the project sponsor responses ~~then~~ ^{then} reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Mo derate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	



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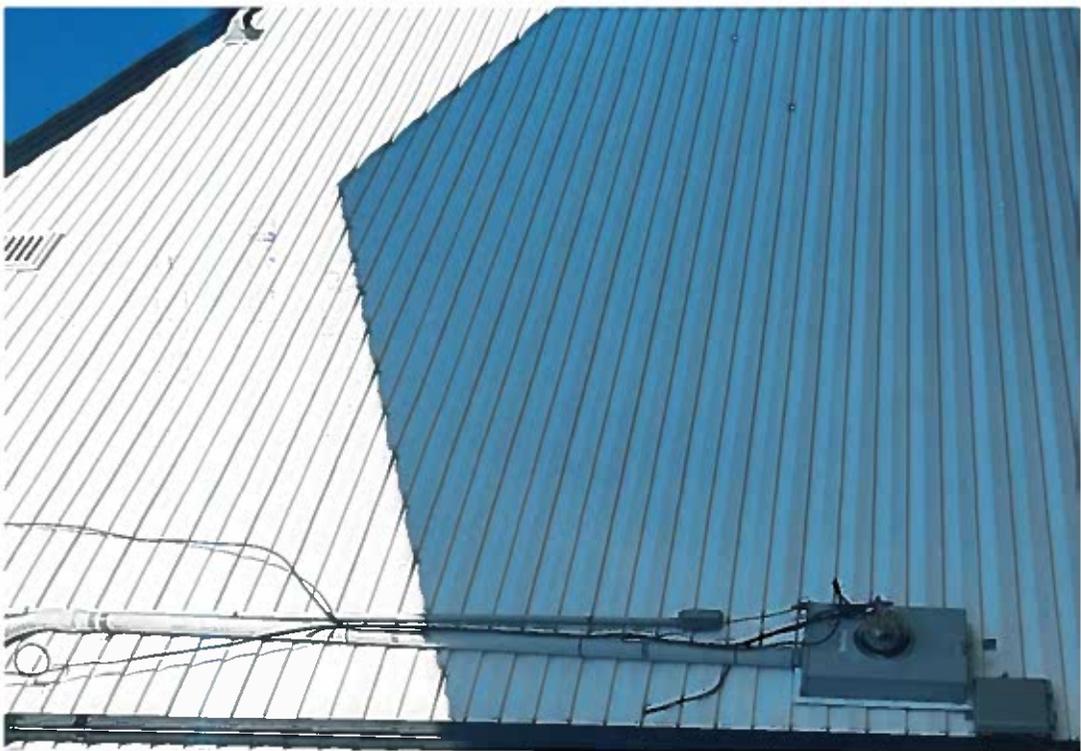
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VILLAGE OF FREEPORT, NY

VLADIMIR CONSTANT P.E.
 7 Melnick Court
 Westbury, New York 11590
 Phone: (516) 779-2343
 E-MAIL: v.constant@yaboo.com



CONSULTANT



MAR DRAFTING CORPORATION
 RESIDENTIAL & COMMERCIAL DESIGN

33 LAMONT PLACE
 WEST BABYLON, N.Y. 11704
 OFF: (631) 920-2445
 CEL: (631) 704-6601
 E-MAIL: MARDRAFTING@GMAIL.COM

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		

APPLICATION NO.

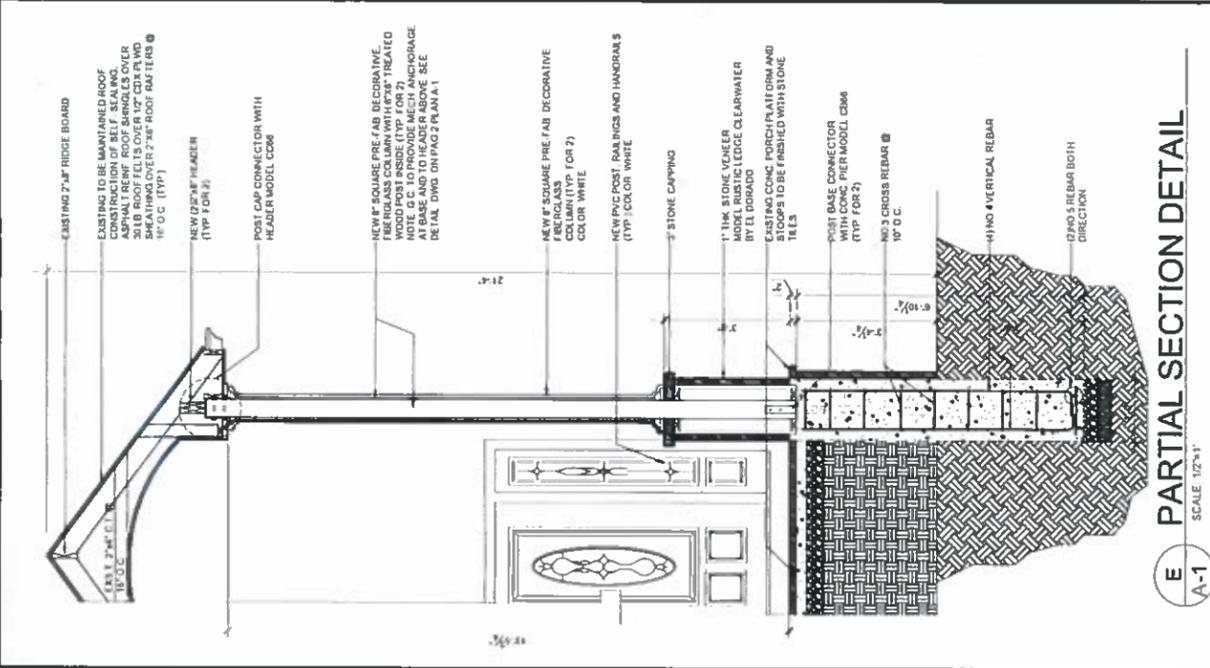
APPLICANT/OWNER
 Christopher Puglia
 ADDRESS:
 577 Nassau Avenue
 Freeport, NY 11520
 Email: margaret_vinuel@outlook.com
 PHONE: (516) 851-1888
 EMERGENCY CONTACT:
 MIGUEL RAMIREZ
 (631) 704-6601

PROJECT TITLE
 REMOVE AND REPLACE
 W/ NEW FRONT ACCESS
 PORTICO TO 2-STORY
 1-FAMILY RESIDENCE
 577 NASSAU AVENUE
 FREEPORT, NEW YORK 11520
 SBL 62 183 192

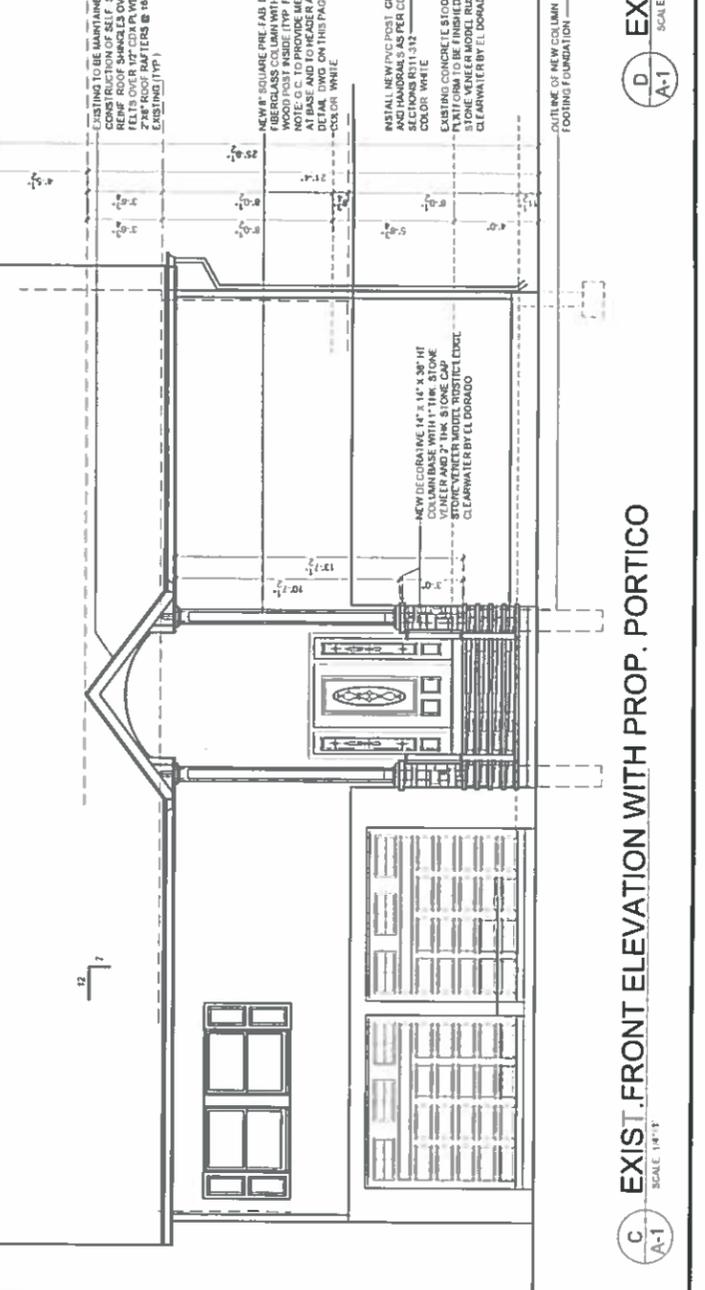
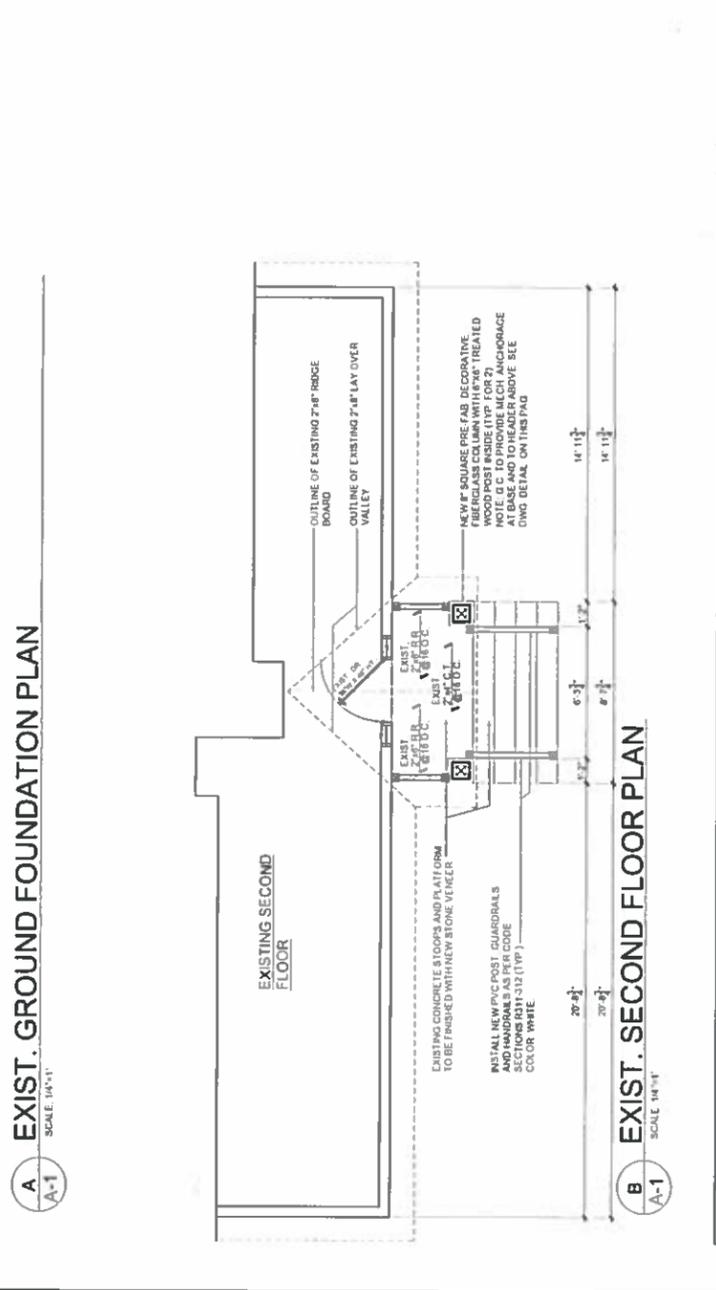
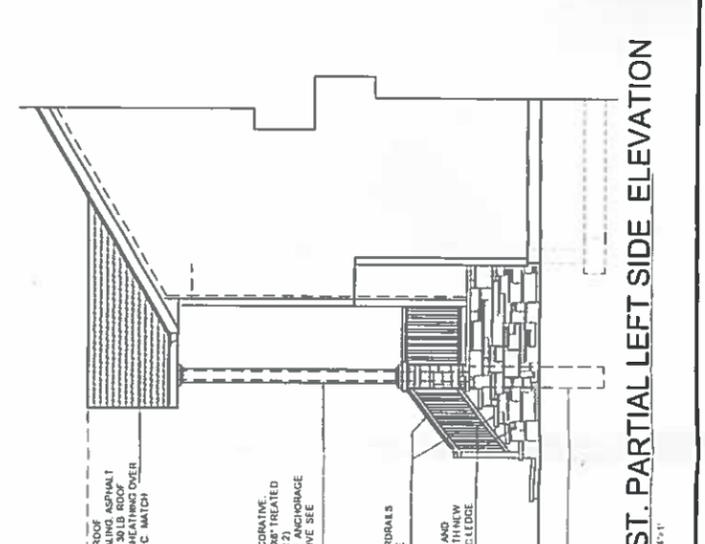
DRAWING TITLE
 PROP. FLOOR PLAN,
 ELEVATIONS AND BUILDING
 SECTION DETAIL

DRAWN & DESIGNED BY: MIGUEL RAMIREZ
CHECKED BY: VLADIMIR CONSTANT
DATE: 11/17/2023
SCALE: AS SHOWN

DRAWING NO.: A-1
PROJECT NO.: 202325
SHEET NO.: 2



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A EXIST. GROUND FOUNDATION PLAN
 SCALE: 1/4"=1'

B EXIST. SECOND FLOOR PLAN
 SCALE: 1/4"=1'

C EXIST. FRONT ELEVATION WITH PROP. PORTICO
 SCALE: 1/4"=1'

D EXIST. PARTIAL LEFT SIDE ELEVATION
 SCALE: 1/4"=1'

GENERAL NOTES 1

- All work shall be done in strict accordance with provisions of the applicable codes, laws, ordinances, and regulations...
2. Each contractor shall be held to have visited the site and to have verified all existing conditions prior to submission of bid...
3. In all cases, drawings shall not be scaled for information...
4. Contractor shall verify and be responsible for all field dimensions and job conditions and shall notify the Architect of any discrepancies...
5. The Contractor shall be responsible for obtaining all necessary permits...
6. All new materials and installations shall be in accordance with the manufacturer's latest printed specifications...
7. All work shall be performed in accordance with best established trade practices...
8. The Contractor shall be responsible for obtaining all necessary permits...
9. Each contractor shall be responsible for any damage to adjoining property...
10. Indications of work to be removed are general only...
11. The Contractor shall be responsible for obtaining all necessary permits...
12. The Contractor shall be responsible for obtaining all necessary permits...
13. Drywall construction shall be in accordance with the manufacturer's latest printed specifications...
14. Alterations to existing work shall be patched and finished...
15. Clean all floors, walls, doors, masonry, glass, etc...
16. All existing floor areas which are damaged as a result of any work shall be repaired to match the existing conditions...
17. Erieme spread of all interior finishes shall meet or exceed Class II (ASTM E-64) or Class III (ASTM E-661) requirements...
18. All mechanical and electrical work shall be in full conformance with the applicable codes of N.Y. State, and all other applicable codes and regulations...
19. Plumbing work shall be installed by a plumber licensed with the State of New York...
20. Electrical work shall be installed by an electrician licensed in the State of New York...
21. All cabinetry and casework to be fabricated and installed in accordance with the N.Y.S. Building Code...
22. During demolition work, property protect all existing work...
23. Soil or measure as indicated at 3,000 lbs. per sq. ft...
24. Eriemy Conversion, Construction Code of N.Y. State, effective August 6, 2007.

GENERAL CODE NOTES 2

- 1. SEE DRAWINGS FOR WINDOW AND WINDOW SCHEDULES
2. GENERAL CONSTRUCTION DETAILS FASTENING AND SHIMMING SCHEDULES
3. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE APPLICABLE CODES, LAWS, ORDINANCES, AND REGULATIONS
4. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE APPLICABLE CODES, LAWS, ORDINANCES, AND REGULATIONS
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20. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE APPLICABLE CODES, LAWS, ORDINANCES, AND REGULATIONS

2020 RESIDENTIAL CODE OF NYS - ANALYSIS

CHAPTER 3 - BUILDING PLANNING
LOCAL DESIGN CRITERIA
CONSTRUCTION SHALL BE DESIGNED IN ACCORDANCE WITH THE AMERICAN FOREST & PAPER ASSOCIATION WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO-FAMILY DWELLINGS (WFCM) 2015 EDITION (AS PER R301.2.1.1)
FLOOR LIVE LOAD (AS PER TABLE R301.2)
ATTICS WITH LIMITED STORAGE (20 PSF)
DECKS WITHOUT STORAGE (40 PSF)
PASSENGER VEHICLE GARAGES (40 PSF)
ROOMS OTHER THAN SLEEPING ROOMS (40 PSF)
ROOF LIVE LOAD
(ROOF SHALL BE DESIGNED FOR THE LIVE LOAD INDICATED IN TABLE R301.2 (BELOW) OR THE SNOW LOAD INDICATED IN TABLE R301.2 (1) WHICHEVER IS GREATER)

Table with 2 columns: ROOF SLOPE, TRIBUTARY LOADED AREA IN SQUARE FEET FOR ANY STRUCTURAL MEMBER. Rows include 1:12, 2:12, 3:12, 4:12, 5:12, 6:12, 7:12, 8:12, 9:12, 10:12, 11:12, 12:12.

GENERAL STRUCTURAL NOTES

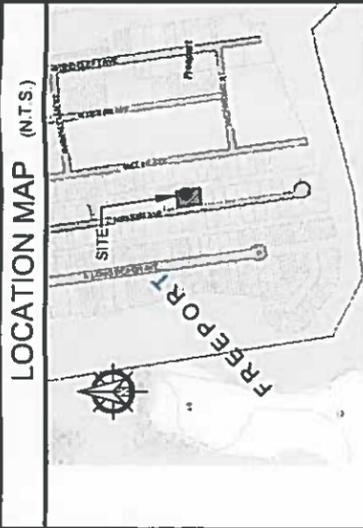
ALTERNATE WOOD STUDS
CONSTRUCTION GRADE DOUGLAS FIR SOUTH 81
1x6 S200 284
1x6 S200 284 (COMPRESSION PARALLEL)
1x6 S200 284 (COMPRESSION PARALLEL TO GRAIN)
1x6 S200 284 (HORIZONTAL SHEAR)
REFERENCES
CODES OF NEW YORK STATE
AMERICAN FOREST & PAPER ASSOCIATION (WFCM) 2015 EDITION
TIMBER CONSTRUCTION MANUAL (TICM)
AMERICAN CONCRETE INSTITUTE (ACI)
CONCRETE
1. Design materials and methods of construction shall comply with the applicable codes of N.Y. State, and all other applicable codes and regulations.
2. Concrete and reinforcing materials shall conform to the following standards:
A. Portland cement per ASTM C150-84
B. Fine aggregate per ASTM C29.01
C. Coarse aggregate per ASTM C33-84
D. Reinforcing steel per ASTM A618-17
E. Welded mesh per ASTM A954-17
F. Formwork per ASTM A1193-17
G. All bars shall be securely tied in proper position while placing and shall be protected from damage during curing.
H. Minimum concrete cover of reinforcement shall be as follows:
1. Slabs and other horizontal structural members cast against ground: 3"
2. Slabs and other horizontal structural members cast against walls: 2"
3. Columns: 4"
4. Beams: 2"
5. All dowels, anchor bolts, embedded steel, electrical conduits, pipe sleeves, waterways, masonry, masonry and all other embedded items shall be in place before placement of concrete.

RESIDENTIAL BUILDING CODE OF NYS-2020 ANALYSIS

CONSTRUCTION CLASSIFICATION:
TYPE VI - WOOD FRAME
FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:
AS PER TABLE 601 NO FIRE RESISTANCE RATING REQUIRED FOR ANY BUILDING ELEMENTS
CHAPTER 11 - ACCESSIBILITY (SECTION 1103)
1103.4 DETACHED ONE AND TWO FAMILY DWELLINGS AND ACCESSORY STRUCTURES, AND THEIR ASSOCIATED SITES AND FACILITIES AS APPLICABLE IN SECTION 101.2, ARE NOT REQUIRED TO BE ACCESSIBLE

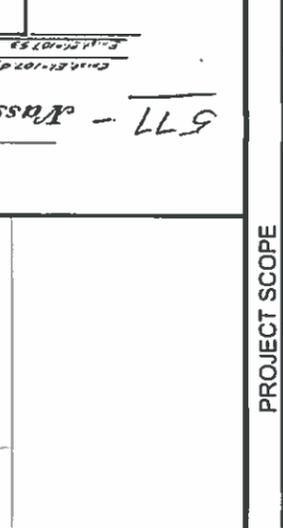
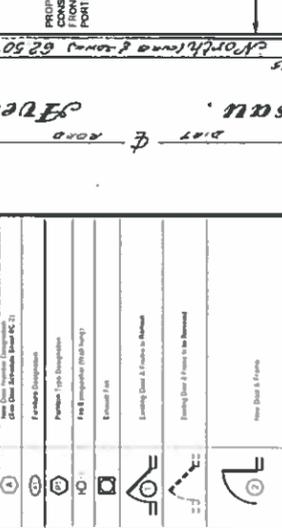
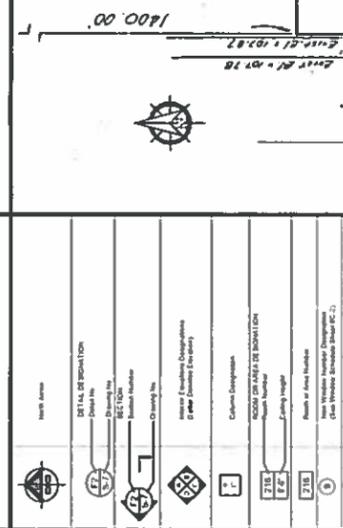
ZONING CALCULATIONS

1. REMOVE AND REPLACE WITH NEW FRONT ACCESS PORTICO OVER EXISTING 34 S.F. CONCRETE PLATFORM
2. INSTALL NEW COLUMN BASE AND FINISH EXISTING CONC. STOOD AND PLATFORM WITH STONE VENEER



CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA
TABLE R301.2(1)
SUBJECT TO DAMAGE FROM
WEATHERING: AS PER TABLE R301.2(1) SEVERE
FROST LINE DEPTH: 3 FT.
TERMITES: AS PER TABLE R301.2(1) MODERATE TO HEAVY
DECAY: AS PER TABLE R301.2(1) SLIGHT TO MODERATE
ICE SHIELD UNDER LAYMENT REQUIRED: YES
WINTER DESIGN TEMP: AS PER TABLE R301.2(1) SUFFOLK - 11
AIR FREEZING INDEX: AS PER TABLE R301.2(1) SUFFOLK - 399

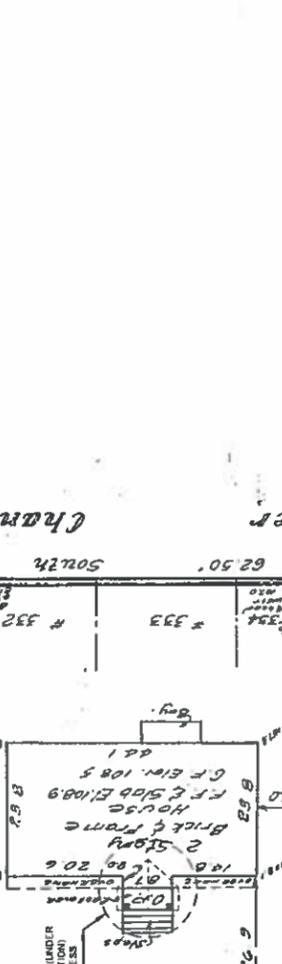
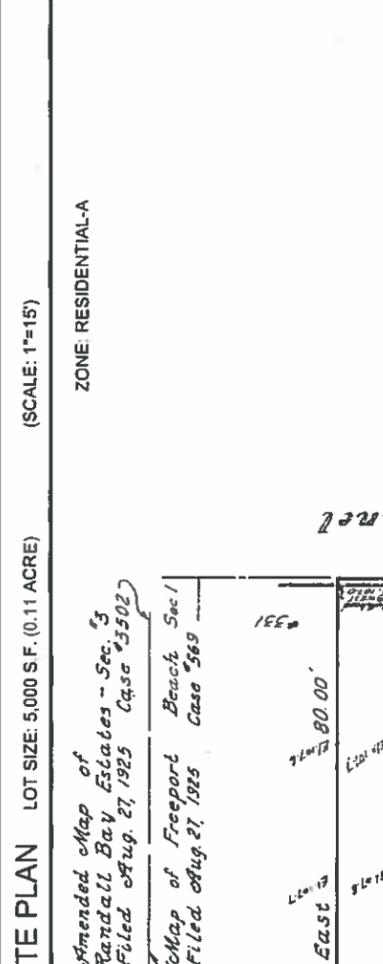
PROPOSED SITE PLAN



RECEIVED
2023 DEC 15 P 2:20
PROJECT NO: 202323
SCALE: AS SHOWN

REMOVE AND REPLACE WITH NEW FRONT ACCESS PORTICO TO 2-STORY 1-FAMILY RESIDENCE
777 NASSAU AVENUE, N.Y., 11520
SBL.: 62 183 392

REVISIONS table with columns for NO., DATE, and DESCRIPTION.



CONSULTANT: M.A.R. DRAFTING CORPORATION. APPLICANT/OWNER: Christopher Puglia. PROJECT TITLE: REMOVE AND REPLACE WITH NEW FRONT ACCESS PORTICO TO 2-STORY 1-FAMILY RESIDENCE.

Application Date: 12/21/23
Fees Paid: \$225.00

SP# 3689

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 325 S. Ocean ave ZONING DISTRICT resident AA
SECTION 62 BLOCK 113 LOT 215 LOT SIZE: _____

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: _____	Name: <u>Claribel Rodriguez</u>
Address: _____	Address: <u>325 S. Ocean ave</u> <u>Freeport NY 11520</u>
Telephone #: _____	Telephone #: <u>516-469-9754</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: resident Proposed Land Use: resident

Description of Proposed Work: extended, widen driveway
67' x 6.9' concrete

I request a preliminary meeting: ___ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
X YES _____ NO

[Signature]
APPLICANT'S SIGNATURE
Sworn to before me this 21
day of December, 2023
Mesheena C. Little
Notary Public

12/21/23
DATE

MESHESSNA C LITTLE
NOTARY PUBLIC-STATE OF NEW YORK
No. 01LI6066956
Qualified in Nassau County
My Commission Expires 11-26-2025

Property Owner's Consent:
I, _____ am (are) the owner(s) of the subject property and consent to the filing of this application

[Signature]
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 21
day of December, 2023
Mesheena C. Little
Notary Public

12/21/23
DATE
MESHESSNA C LITTLE
NOTARY PUBLIC-STATE OF NEW YORK
No. 01LI6066956
Qualified in Nassau County
My Commission Expires 11-26-2025

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: ___ YES ___ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<u>Approved</u> _____ <u>Denied</u> Date: _____
Planning Board Signature: _____	Date: _____

SUBMISSION CHECKLIST

YES	NO	N/A	
_____	_____	_____	1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only).
_____	_____	_____	2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.
_____	_____	_____	3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:
_____	_____	_____	a. Title of drawing, including name and address of applicant.
_____	_____	_____	b. North point, scale, and date.
_____	_____	_____	c. Boundaries of the project.
_____	_____	_____	d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
_____	_____	_____	e. Floodplain boundaries as determined by the Federal Emergency Management Agency.
_____	_____	_____	f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.
_____	_____	_____	g. Location of outdoor storage and description of materials to be stored.
_____	_____	_____	h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
_____	_____	_____	i. Location and description of all proposed waterfront public access/recreation provisions.
_____	_____	_____	j. Description of sewage disposal and water supply systems and locations of such facilities.
_____	_____	_____	k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
_____	_____	_____	l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
_____	_____	_____	m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
_____	_____	_____	n. Location, design and size of all signs and lighting facilities.
_____	_____	_____	o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
_____	_____	_____	p. Building orientation and site design for energy efficiency and visual quality.
_____	_____	_____	q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
_____	_____	_____	r. Description and location of erosion control measures including proposed location of sediment sink/setting pond and interceptor swales, etc..
_____	_____	_____	s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
_____	_____	_____	t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.
_____	_____	_____	u. Estimated project construction schedule.
_____	_____	_____	v. Record of application for approval status of all necessary permits from federal, state and county officials.
_____	_____	_____	w. Identification of any federal, state or county permits required for project execution.
_____	_____	_____	x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER
November 27, 2023

Claribel Rodriguez
325 S Ocean Ave
Freeport, NY 11520

RE: 325 S Ocean Ave, Freeport, NY 11520
Zoning District: Residence AA Sec 62, Blk 113, Lot 215
Building Permit Application #20233538
Description: Extend widen driveway to 462.3 SF

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes ___ No X

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20233538

Location: 325 S Ocean Ave, Freeport NY 11520

Applicant : Claribel Rodriguez

Description : Extend/widen driveway to 462.3 SF

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: November 27, 2023

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Claribel Rodriguez draway			
Project Location (describe, and attach a location map): draway from House			
Brief Description of Proposed Action: Extended widen driveway 462.3 SP			
Name of Applicant or Sponsor: Claribel Rodriguez		Telephone: 516 469-9754	
		E-Mail:	
Address: 325 S Ocean ave			
City/PO: Freeport		State: NY	Zip Code: 11570
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input checked="" type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Claribel Rodriguez</u>	Date: <u>11/2/2023</u>	
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>375 S. Ocean ave</u> ZONING DISTRICT _____ <small>(No.) (Street)</small>
	BETWEEN <u>S. Ocean ave</u> AND <u>Atlantic</u> <small>(Cross Street) (Cross Street)</small>
	SECTION _____ BLOCK _____ LOT _____ APPROX. LOT SIZE _____ X _____ LOT AREA _____

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

A. TYPE OF IMPROVEMENT 1 New building 2 Addition-Alteration (If residential, enter number of new housing units added. If none-state none _____) 3 Swimming Pool 4 Repair (replacement) 5 Bulkhead (New, Repair) 6 Fence 7 Moving (relocation)	B. PROPOSED OR EXISTING USE <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> RESIDENTIAL 11 <input checked="" type="checkbox"/> One Family 12 Two families 13 Apartment - Enter No. of Units _____ 14 Transient hotel, motel, or dormitory - Enter No. of Units _____ 15 Garage or Accessory Structure 16 Other - Specify _____ </td> <td style="width: 50%; vertical-align: top;"> NON RESIDENTIAL - Complete Part "E" 17 Industrial 18 Office, bank, professional 19 Stores, mercantile 20 Church, other religious 21 Hospital, Institutional 22 Other - Specify _____ </td> </tr> </table>	RESIDENTIAL 11 <input checked="" type="checkbox"/> One Family 12 Two families 13 Apartment - Enter No. of Units _____ 14 Transient hotel, motel, or dormitory - Enter No. of Units _____ 15 Garage or Accessory Structure 16 Other - Specify _____	NON RESIDENTIAL - Complete Part "E" 17 Industrial 18 Office, bank, professional 19 Stores, mercantile 20 Church, other religious 21 Hospital, Institutional 22 Other - Specify _____
RESIDENTIAL 11 <input checked="" type="checkbox"/> One Family 12 Two families 13 Apartment - Enter No. of Units _____ 14 Transient hotel, motel, or dormitory - Enter No. of Units _____ 15 Garage or Accessory Structure 16 Other - Specify _____	NON RESIDENTIAL - Complete Part "E" 17 Industrial 18 Office, bank, professional 19 Stores, mercantile 20 Church, other religious 21 Hospital, Institutional 22 Other - Specify _____		
C. COST 10 TOTAL COST OF IMPROVEMENT \$ <u>20000</u>	D. DESCRIPTION OF PROJECT <u>Extended w/den drawn driveway 462.3 SF</u>		

III. IDENTIFICATION - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>Claribel Rodriguez</u>	<u>375 S. Ocean ave Freeport NY 11520</u>	<u>516 469 9754</u>
2. Contractor			
3. Architect or Engineer			

IV. OWNER - CONTRACTOR STATEMENT

V. FLOOD ZONE

Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law.
 Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____

Contractor or Owner Claribel Rodriguez
(Print)
 Address 375 S. Ocean ave Freeport
 Phone 516-469-9754

State of New York
 County of Nassau

_____ being duly sworn, says that _____ is the contractor or owner of the above mentioned building. That the items of the above statement and the estimated cost of said building or alteration, is correct to the best of _____ knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.
(His or Her)

Sworn to before me this 18 day of November 2023
 of _____

NOTARY PUBLIC STATE OF NEW YORK
 No. 0116066956
 Qualified in Nassau County
 My Commission Expires 11-26-2025

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?
 YES _____ NO _____
 IF YES, WHICH ZONE? _____

IS PROJECT TO REPAIR FLOOD DAMAGE?
 YES _____ NO _____

PROJECT DESCRIPTION

Total/First Fir Square Feet

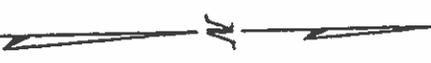
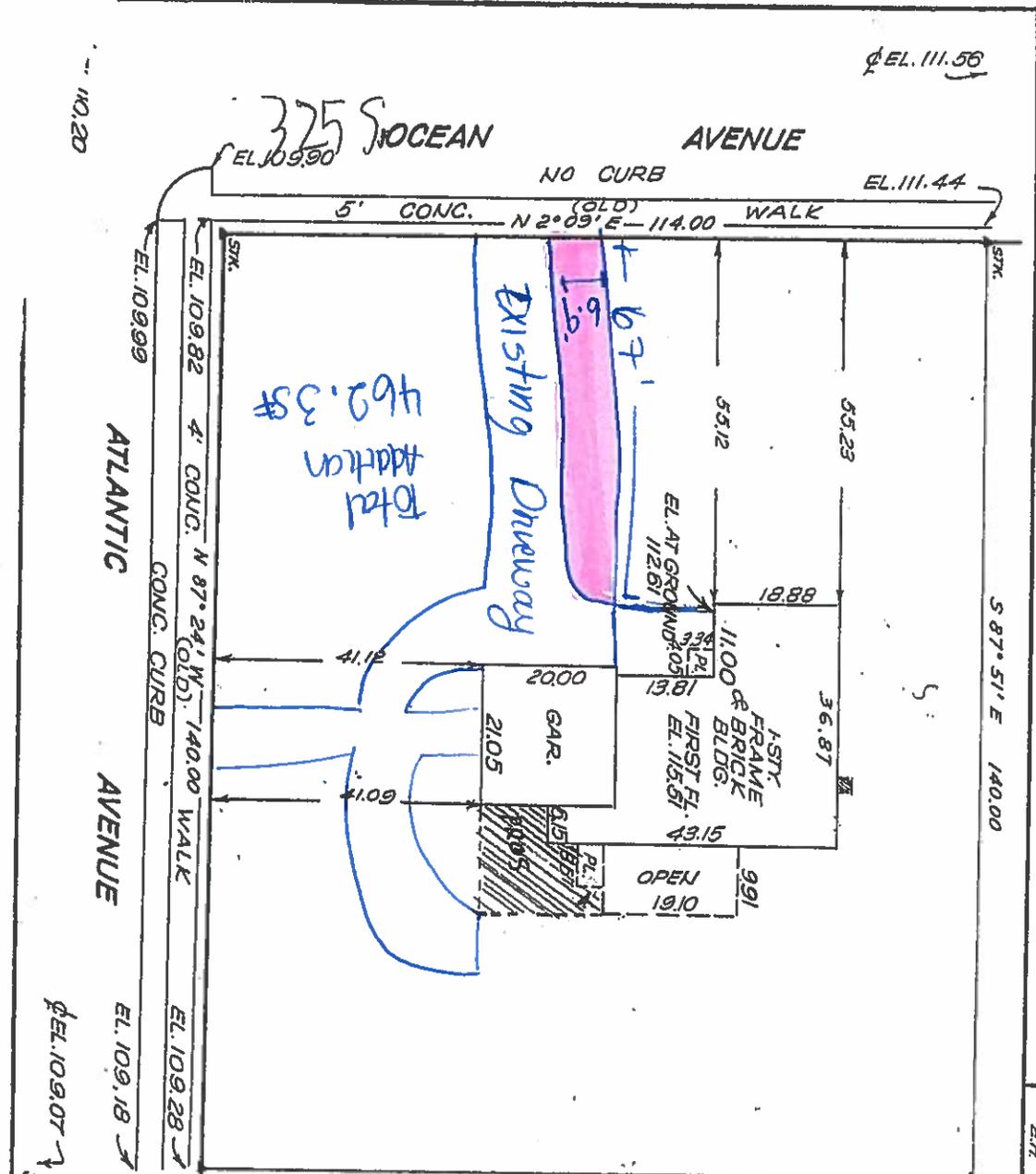
Upper Firs Square Feet

of Fixtures

of Floors

DRAWN	CHECKED	JOB NO.	FILE NO.	SEC.	BLK.
E.H.	J.D.C.	25301	F-242		

GUARANTEED TO:
 FREEPORT FEDERAL SAVINGS & LOAN ASS'N
 INTER-COUNTY TITLE GUARANTY & MORTGAGE CO.
Robertson & Co.

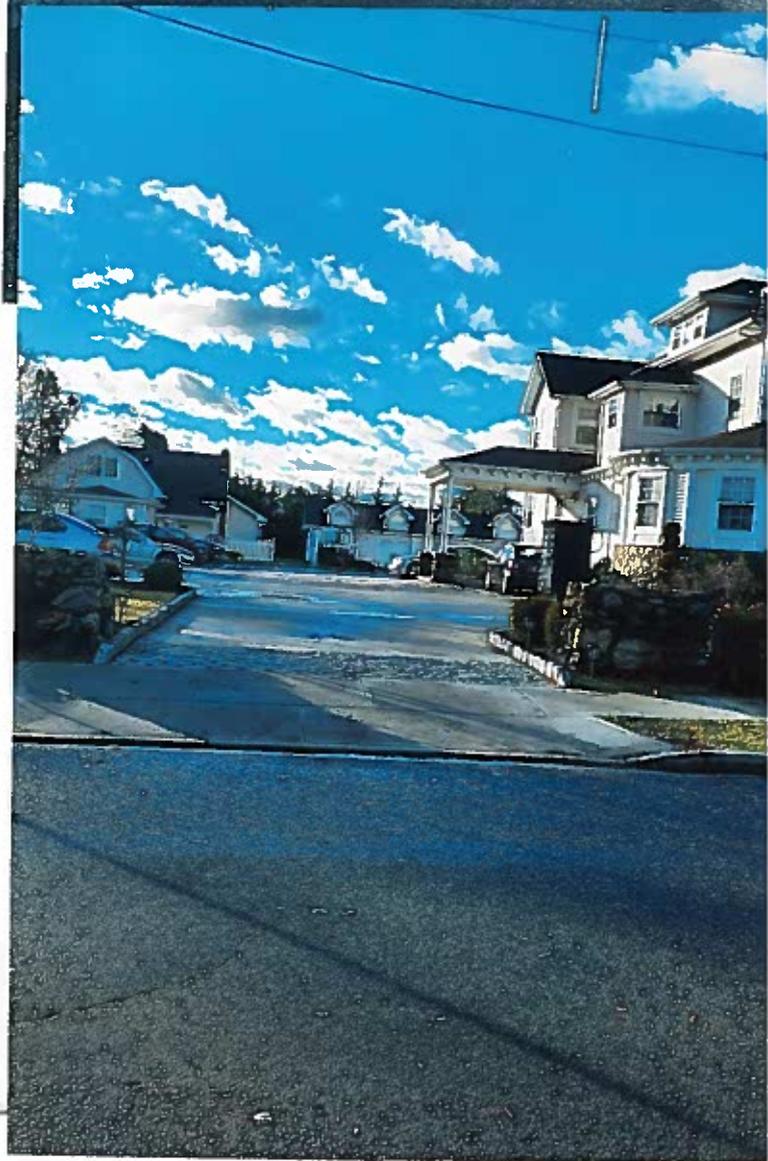
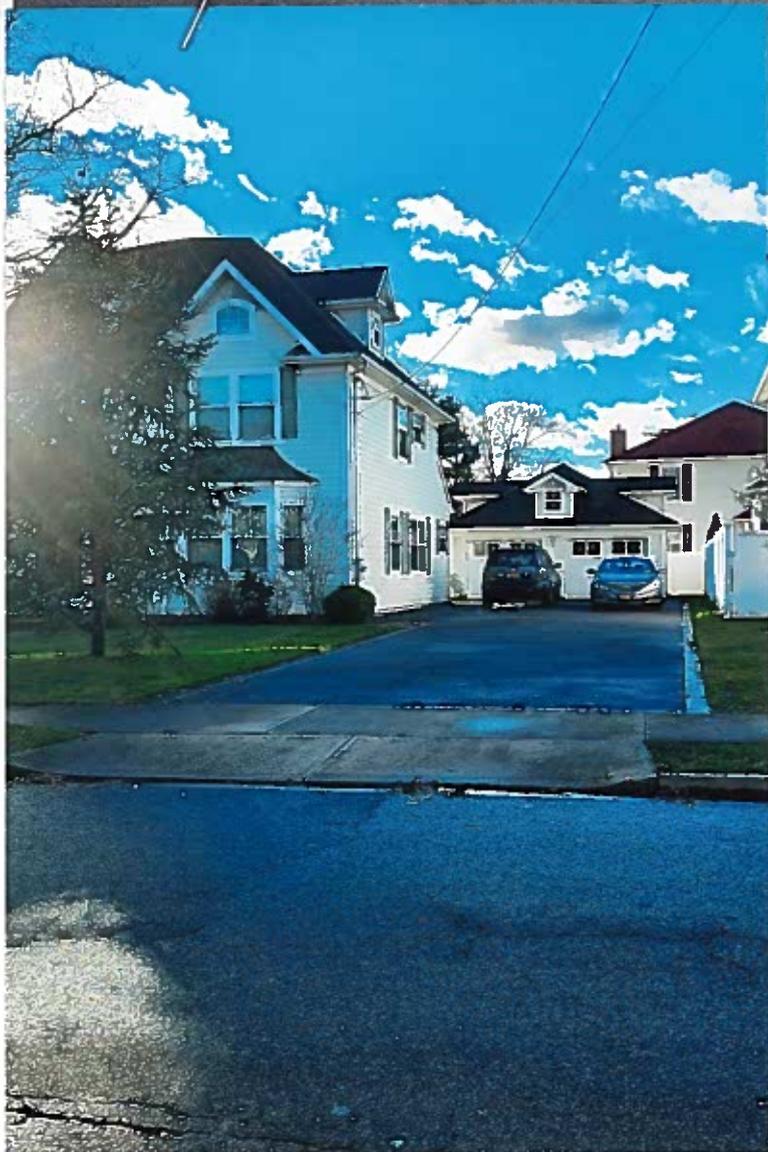


RE-DATED MAR. 11, 1952
 RE-DATED DEC. 19, 1951

MAP OF
 PROPERTY AT
 FREEPORT, N.Y.

SURVEYED OCT. 5, 1951

BALDWIN & CORNELIUS CO.
 CIVIL ENGINEERS & SURVEYORS
 LICENSE NO. 793 & 527
 FREEPORT, L.I., N.Y.
 SCALE 1"=20' N.Y. STATE STANDARD





325 S. Ocean
ave
Freeport NY
11520

Application Date: 12/22/23
Fees Paid: 1285.00

SP# 3690

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 263 Lena Ave ZONING DISTRICT Residence AA
SECTION 55 BLOCK 64 LOT 83 LOT SIZE: _____

<input type="checkbox"/> TENANT APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Same as owner</u>		Name: <u>Avin Virgo</u>
Address: _____		Address: <u>263 Lena Ave</u>
Telephone #: _____		Telephone #: <u>516 369-7355</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Residential Proposed Land Use: residential

Description of Proposed Work: SECOND FLOOR ADDITION 24X24 detached exterior
750 Garage 22X6 second floor deck

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES NO

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[Signature]
APPLICANT'S SIGNATURE
Sworn to before me this 11
day of July, 2023

Sara Thompson
Notary Public - State of NY
No. 01TH6136353
Qualified in Nassau County
My Commission Expires April 28, 2024

Notary Public

Property Owner's Consent:
I, Avin Virgo am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 28th
day of July, 2023
Peggy M. Lester
Notary Public

PEGGY M. LESTER
Notary Public, State of New York
No. 01LE6293122
Qualified in Nassau County
Commission Expires Nov. 25, 2025

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved <input type="checkbox"/> Denied <input type="checkbox"/> Date: _____
Planning Board Signature: _____	Date: _____

SUBMISSION CHECKLIST

YES	NO	N/A	
_____	_____	_____	1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only).
_____	_____	_____	2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.
_____	_____	_____	3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:
_____	_____	_____	a. Title of drawing, including name and address of applicant.
_____	_____	_____	b. North point, scale, and date.
_____	_____	_____	c. Boundaries of the project.
_____	_____	_____	d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
_____	_____	_____	e. Floodplain boundaries as determined by the Federal Emergency Management Agency.
_____	_____	_____	f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.
_____	_____	_____	g. Location of outdoor storage and description of materials to be stored.
_____	_____	_____	h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
_____	_____	_____	i. Location and description of all proposed waterfront public access/recreation provisions.
_____	_____	_____	j. Description of sewage disposal and water supply systems and locations of such facilities.
_____	_____	_____	k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
_____	_____	_____	l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
_____	_____	_____	m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
_____	_____	_____	n. Location, design and size of all signs and lighting facilities.
_____	_____	_____	o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
_____	_____	_____	p. Building orientation and site design for energy efficiency and visual quality.
_____	_____	_____	q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
_____	_____	_____	r. Description and location of erosion control measures including proposed location of sediment sink/setting pond and interceptor swales, etc..
_____	_____	_____	s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
_____	_____	_____	t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.
_____	_____	_____	u. Estimated project construction schedule.
_____	_____	_____	v. Record of application for approval status of all necessary permits from federal, state and county officials.
_____	_____	_____	w. Identification of any federal, state or county permits required for project execution.
_____	_____	_____	x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.



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INC. VILLAGE OF FREEPORT

CLERK'S OFFICE

Department of Buildings

VILLAGE OF FREEPORT, NY

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

December 15, 2023
AMENDED SITE PLAN LETTER

Alvin Virgo
263 Lena Avenue
Freeport, NY 11520

RE: 263 Lena Avenue, Freeport, NY
Zoning District: Residence AA Sec 55 Blk 64 Lot 83
Building Permit Application #20222953
Description: Erect a second floor addition (1, 247 S.F.), detached garage extension (24'x24') & a (12'x6') second floor deck.

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings

/s/
encl.

c: Village Clerk
Thomas Vulpris Jr., R.A.

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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Notice

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Positive Declaration

X Negative Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20222953

Location: 263 Lena Avenue, Freeport, NY

Applicant: Alvin Virgo

Description: Erect a second floor addition (1,247 S.F), detached garage extension (24'x24') & a (12'x6') second floor deck.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: December 15, 2023



Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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 Appendix B
 Short Environmental Assessment Form
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Instructions for Completing
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Part 1 - Project Information: The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information

Name of Action or Project: AWM Virgo

Project Location (describe, and attach a location map): 263 Lena Ave Freeport NY 11520

Brief Description of Proposed Action:

2nd Floor addition & 24x24 Detached
 2nd Floor 12x6 Deck Extension garage 750 sq ft

Name of Applicant or Sponsor: AWM Virgo

Telephone: 516 3697355

Address: 263 Lena Ave E-Mail: AWMVirgo@gmail.com

City/PO: Freeport State: NY Zip Code: 11520

1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	NO	YES
	X	
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:	NO	YES
	X	

3. a. Total acreage of the site of the proposed action? _____ acres
 b. Total acreage to be physically disturbed? _____ acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

4. Check all land uses that occur on, adjoining and near the proposed action.

- Urban Rural (non-agriculture) Industrial Commercial Residential (suburban)
- Forest Agriculture Aquatic Other (specify): _____
- Parkland

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		NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		X		
b. Consistent with the adopted comprehensive plan?			X	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?			NO	YES
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify:			NO	YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels?			X	
b. Are public transportation service(s) available at or near the site of the proposed action?			X	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			X	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies:			NO	YES
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? If No, describe method for providing potable water:]			NO	YES
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? If No, describe method for providing wastewater treatment:]			NO	YES
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?			NO	YES
b. Is the proposed action located in an archeological sensitive area?			X	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?			NO	YES
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:			X	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply.				
<input type="checkbox"/> Shoreline				
<input type="checkbox"/> Forest				
<input type="checkbox"/> Wetland				
<input type="checkbox"/> Urban				
<input checked="" type="checkbox"/> Suburban				
<input type="checkbox"/> Agricultural/grasslands				
<input type="checkbox"/> Early mid-successional				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?			NO	YES
16. Is the project site located in the 100 year flood plain?			X	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:			NO	YES
			X	
			NO	YES
			X	

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. Retention Pond, Canal, lagoon, dam)?
If Yes, explain purpose and size:

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FREEPORT BUILDING DEPT.

NO YES
X

19. Has the site of the proposed activity or adjoining property been the location of an active or closed solid waste management facility?
If Yes, describe:

NO YES
X

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?
If Yes, describe:

NO YES
X

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Alvin Vige Date: 8-16-22

Signature: [Signature]

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	

	No. or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	ND	
11. Will the proposed action create a hazard to environmental resources or human health?	ND	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

Site Plan Materials & Colors

Alvin Virgo

263 Lena Ave

Freeport NY 1152

House

- **Roofing** – GAF Timberline Lifetime HD Shingles (color slate).
- **Siding** – Vinyl Clapboard blue, Shaker on front elevation & clapboard on the three (3) other elevations.
- **Windows** – Double hung vinyl ^{with a side lites}
- **Doors** – Anderson Front door (dark brown wood with fiber glass), back door (French door vinyl & wood). Interior solid white wood, Exterior door vinyl.
- **Deck** – Trix Decking Gray, Door – 6ft Anderson French door, Railing PVC white.
- **Trim** – White J-Channel
- **Chimney** – Extending existing chimney in same brick.

Garage

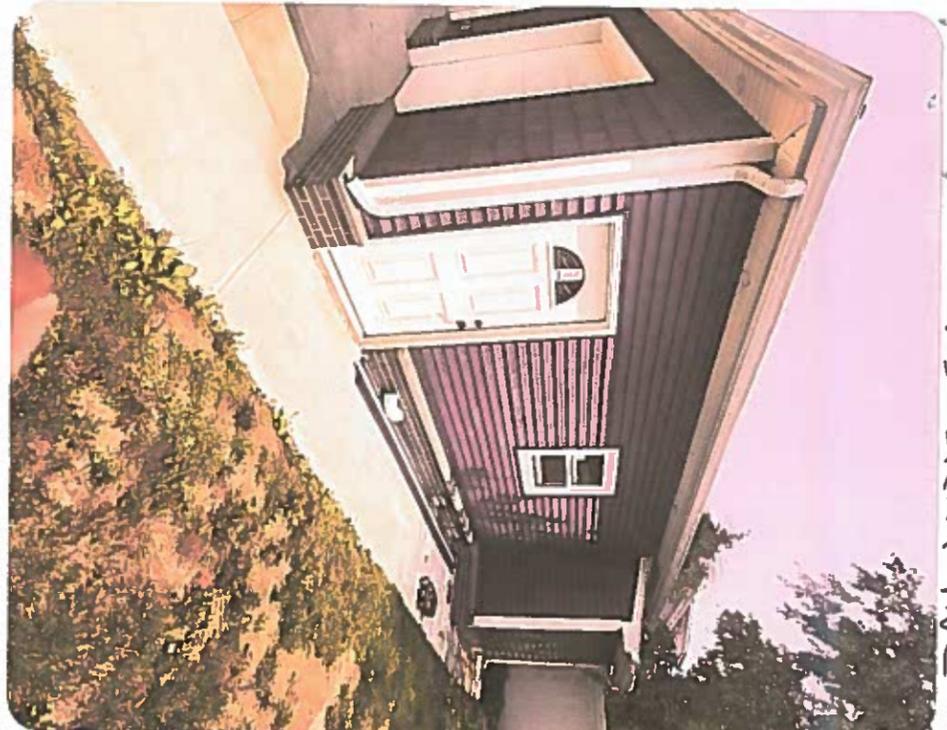
- **Siding** – Vinyl blue Shakers on the front & clapboard on the other 3 sides.
- **Roofing** - GAF Timberline Lifetime HD Shingles (color slate).
- **Doors** – Two (2) white horizontal doors & one (1) white side door.

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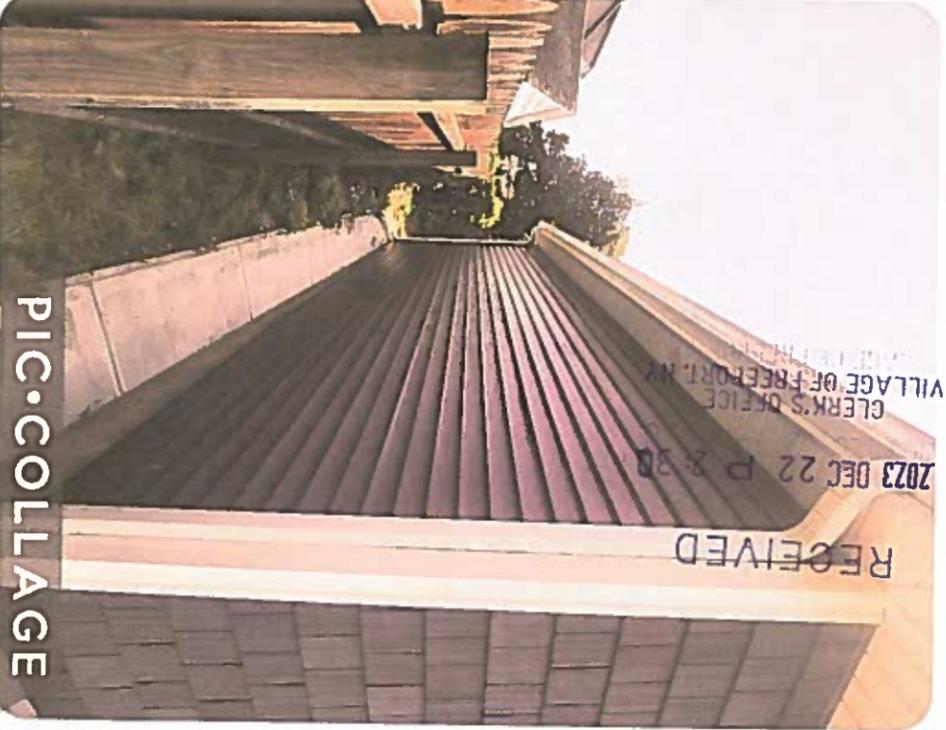
Hos Lena Ave house



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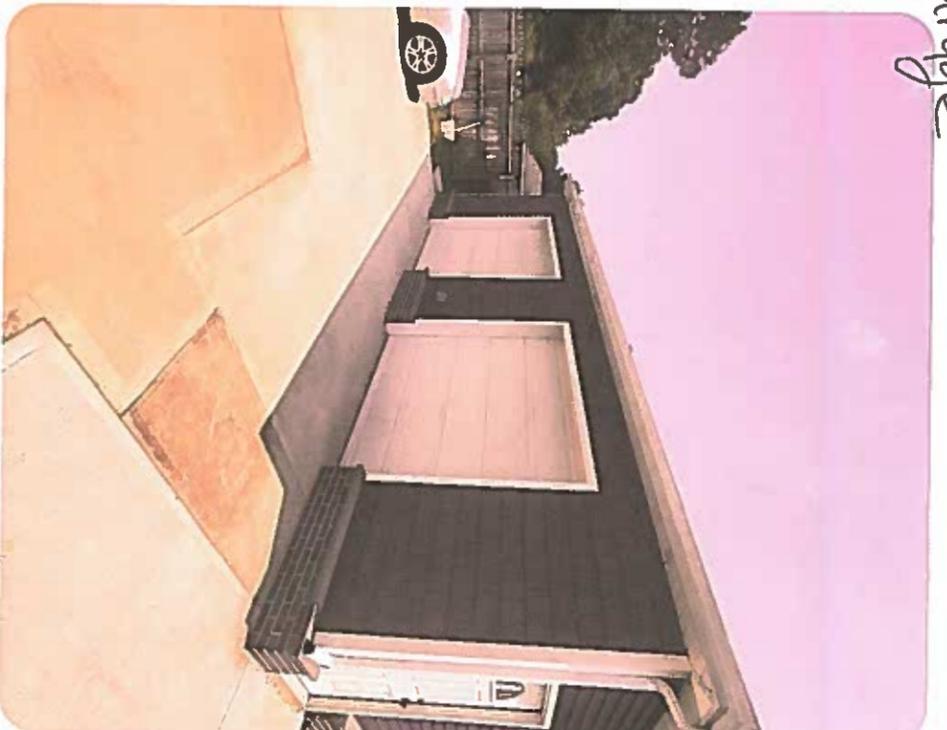


new driveway garage



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Thomas Vulpis Jr., R.A.
7 Crystal Brook Holiday Road
Port Jefferson N.Y. 11777



Phone: (516) 465-8350
Fax: (516) 828-8566
Email: tvulpis@optonline.net

Project Name: _____
Client Name: _____
Project No.: _____
Date: _____



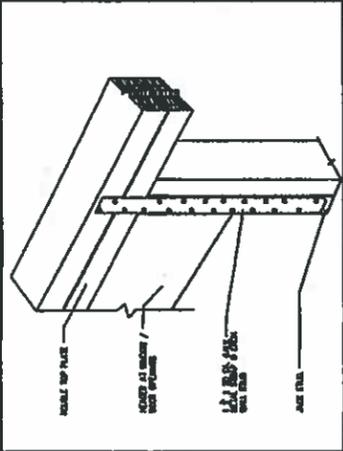
Project: Proposed
Additional/Alteration
**Virgo
Residence**
263 Lena Ave.
Freeport, N.Y.

Table with columns for Address/Reference, Date, Scale, Drawn By, and Checked By.

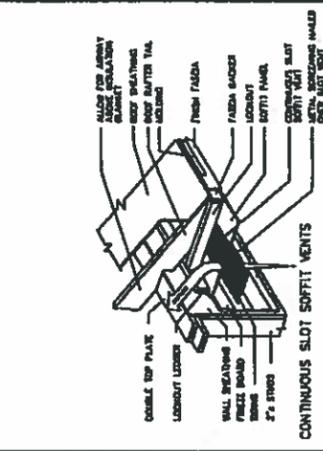
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Scale: AS-NOTE
Drawn By: TLV
Checked By: TLV

Drawing Title:
Strapping Details

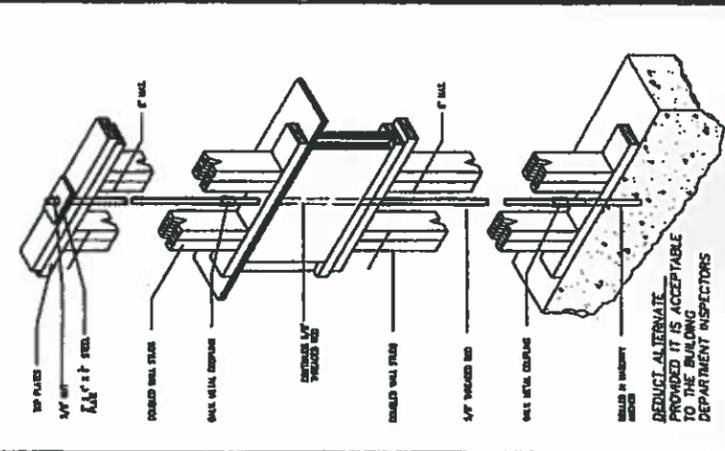
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A-2



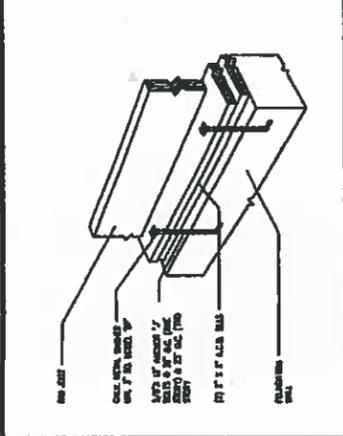
L JACK STUD TO HEADER CONNECTION
SCALE: 1/4" = 1'-0"



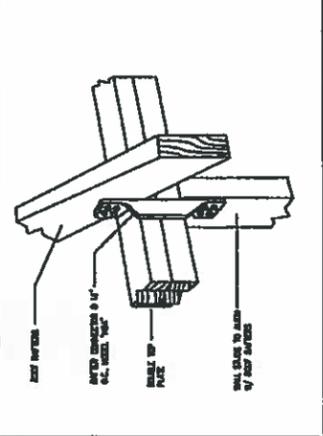
M SOFFIT VENT
NOT TO SCALE



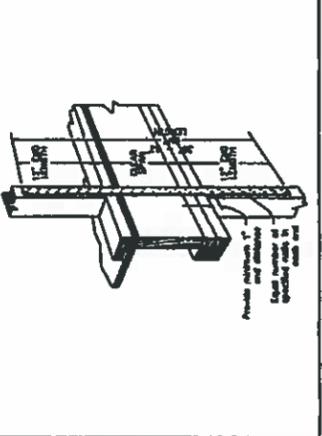
K ALTERNATE TO CORNER METAL TE-DOWNS. C/JH
CONTINUOUS THREADED ROD FROM FTM THROUGH TOP PLATE.
1/4" THREADED ROD
SCALE: 1/4" = 1'-0"



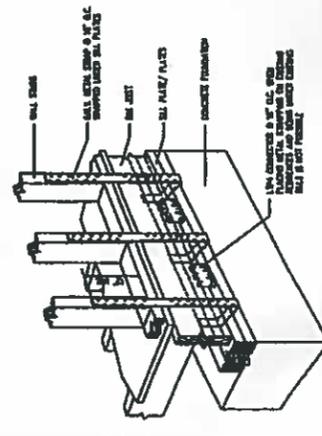
B ANCHOR BOLT-WASHER CONNECTION
SCALE: 1/4" = 1'-0"



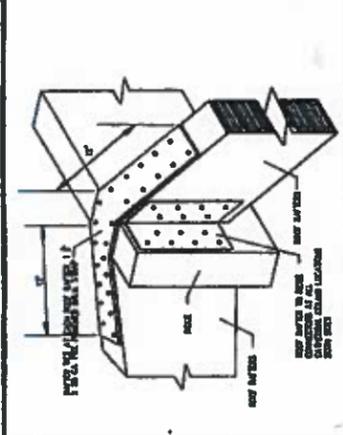
D BATTERY TO TOP PLATE TO STUD CONNECTION @ 18" O.C.
UNLESS WHEN WALL STUDS ALIGN DIRECTLY W/ BATTERS
SCALE: 1/4" = 1'-0"



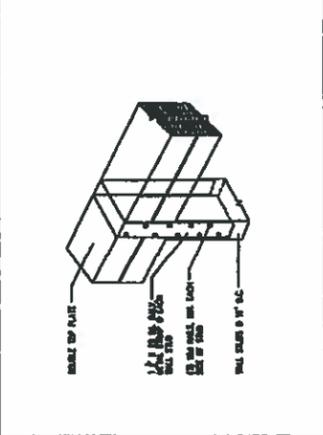
G STUD TO BASE PLATE TO RM JUST TO TOP
PLATE TO STUD CONNECTION @ 18" O.C.
SCALE: 1/4" = 1'-0"



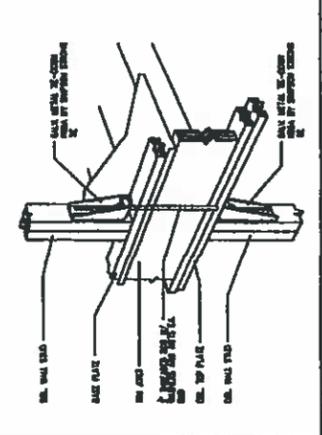
J SILL TO RM JUST CONNECTION
SCALE: 1/4" = 1'-0"



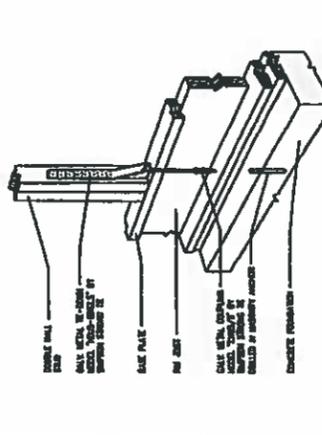
A BATTERY TO BATTERY CONNECTION, TYP. @ EACH BATTERY
SCALE: 1/4" = 1'-0"



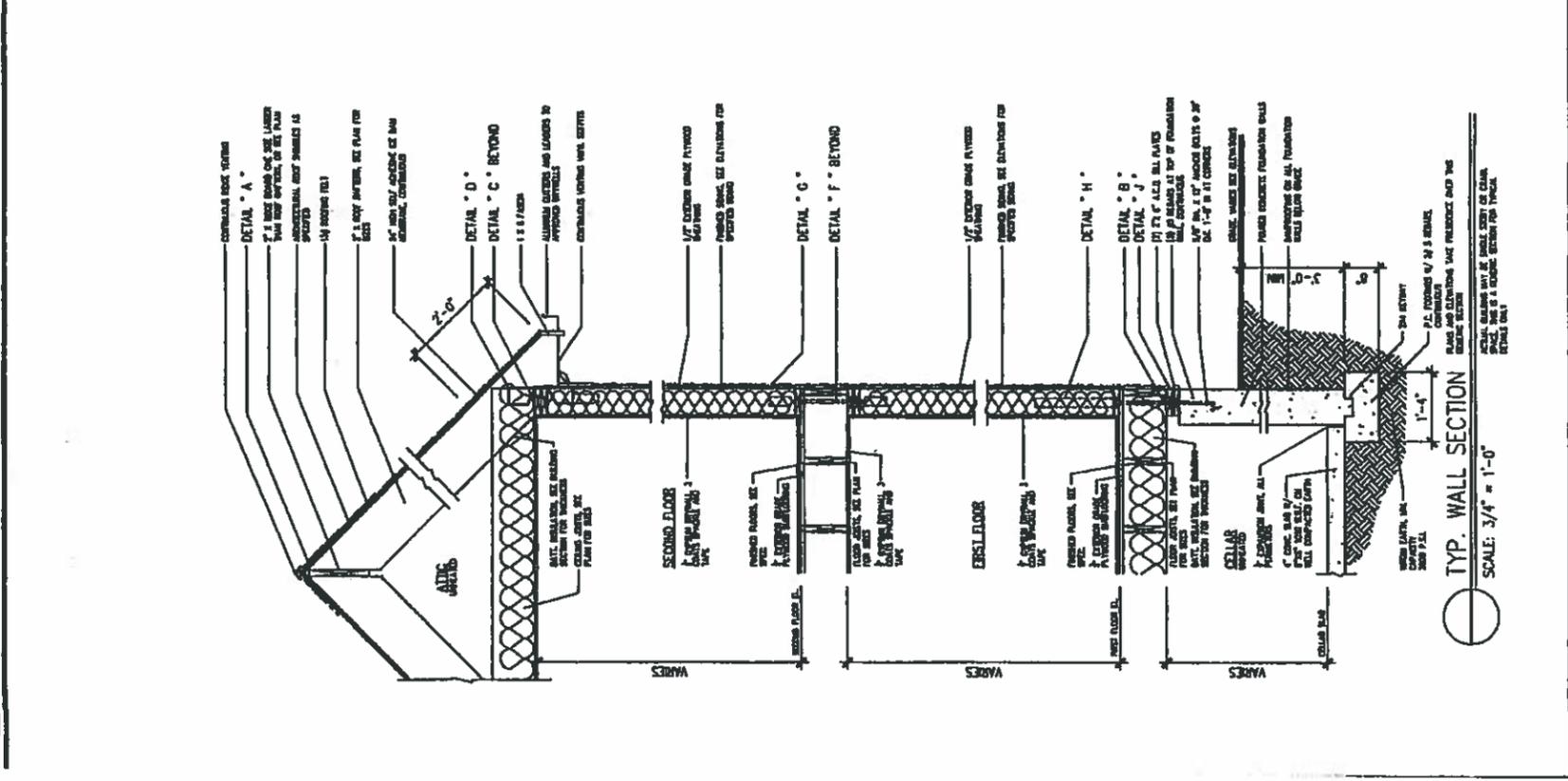
C TOP PLATE TO STUD CONNECTION AT CABLE WALL @ 18" O.C.
SCALE: 1/4" = 1'-0"



F GALV. METAL RE-DOWN @ EACH OUTSIDE CORNER OF STRUCTURE
SCALE: 1/4" = 1'-0"



H GALV. METAL RE-DOWN @ EACH OUTSIDE CORNER OF STRUCTURE
SCALE: 1/4" = 1'-0"



TYP. WALL SECTION
SCALE: 3/4" = 1'-0"

Thomas Vujpits Jr., R.A.
7 Crystal Brook, Haver Road
Port Jefferson, N.Y. 11777



Phone: (631) 466-8338
Fax: (631) 828-6568
Email: tvujpits@optonline.net

Client Name: Virgo Residence
Address: 263 Lena Ave., Freeport, N.Y.
Project: Proposed Addition/Alteration

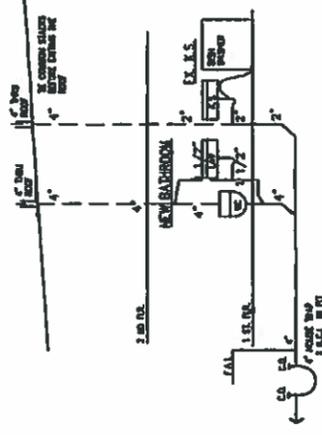


Project: Proposed Addition/Alteration
Virgo Residence
263 Lena Ave.
Freeport, N.Y.

Date: June 8, 2021
Scale: TLV
Drawn By: TLV
Checked By: TLV

Drawing Title: Foundation Plan Details

Drawing Number: A-3



TRAP SIZE	MINIMUM
1 1/2"	1 1/2"
2"	2"
3"	3"



3 TYPICAL LOAD PATH DIAGRAM
A3 N.T.S.

TABLE 507.2.1
PLACEMENT OF LAG SCREWS AND BOLTS IN DECK LEDGERS AND BAND JOISTS

EDGE	SPACING
TOP EDGE	2 inches
BOTTOM EDGE	2 inches
ENDS	1 1/2 inches
HOW SPACING	1 1/2 inches

For S1: 1 inch = 25.4 mm.
a. Lag screws or bolts shall be spaced from the top to the bottom along the longitudinal run of the deck ledger to accordance with Figure 507.2.1(1).
b. Maximum 5 inches.
c. For embedded rim joist, the manufacturer's recommendations shall govern.
d. The minimum distance from bottom row of lag screws or bolts to the top edge of the ledger shall be in accordance with Figure 507.2.1(1).

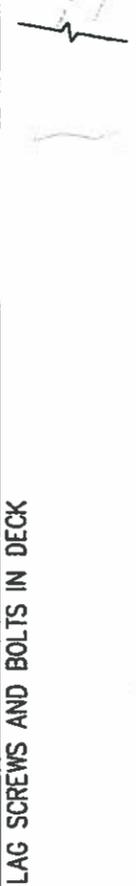
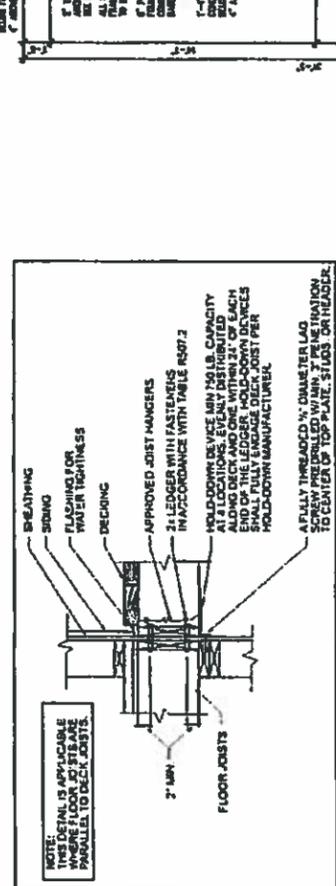


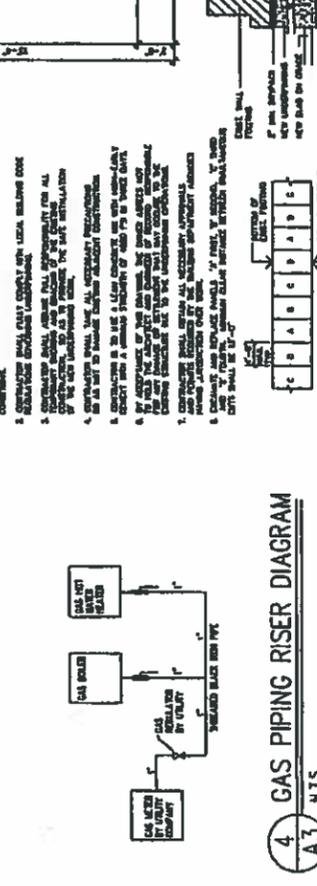
TABLE 507.2.2
DECK LEDGER CONNECTION TO BAND JOIST

CONNECTION DETAILS	SPACING
1/2" diameter lag screw with 1/2" inch washers	18"
1/2" diameter bolt with 1/2" inch washers	18"
1/2" diameter bolt with 1/2" inch washers	18"

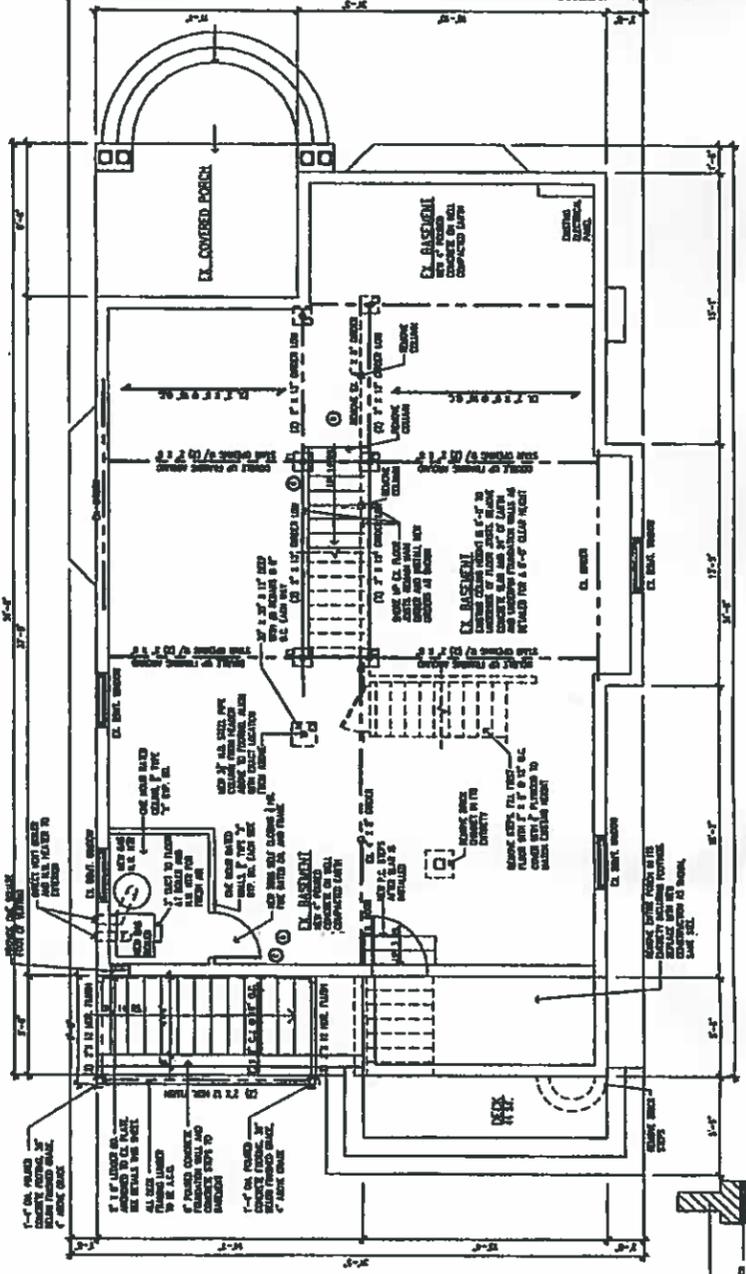
For S1: 1 inch = 25.4 mm. 1 pound per square foot = 0.0479 kPa.
a. Ledgers shall be fastened to joists with lag screws or bolts in accordance with Figure 507.2.1(1).
b. Lag screws or bolts shall be spaced from the top to the bottom along the longitudinal run of the deck ledger to accordance with Figure 507.2.1(1).
c. For embedded rim joist, the manufacturer's recommendations shall govern.
d. The minimum distance from bottom row of lag screws or bolts to the top edge of the ledger shall be in accordance with Figure 507.2.1(1).



4 LATERAL CONNECTION AT LEDGER
A3 N.T.S.



4 GAS PIPING RISER DIAGRAM
A3 N.T.S.



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"
A3

Thomas Vujojs Jr., R.A.
7 Crystal Brook, Hoboken Road
Port Jefferson, N.Y. 11777



Phone: (631) 488-8359
Fax: (631) 828-8585
Email: tvujojs@optonline.net

Subcontract:
Name: _____
Address: _____
City: _____
State: _____
Zip: _____
Contract No.: _____
Project No.: _____
Date: _____



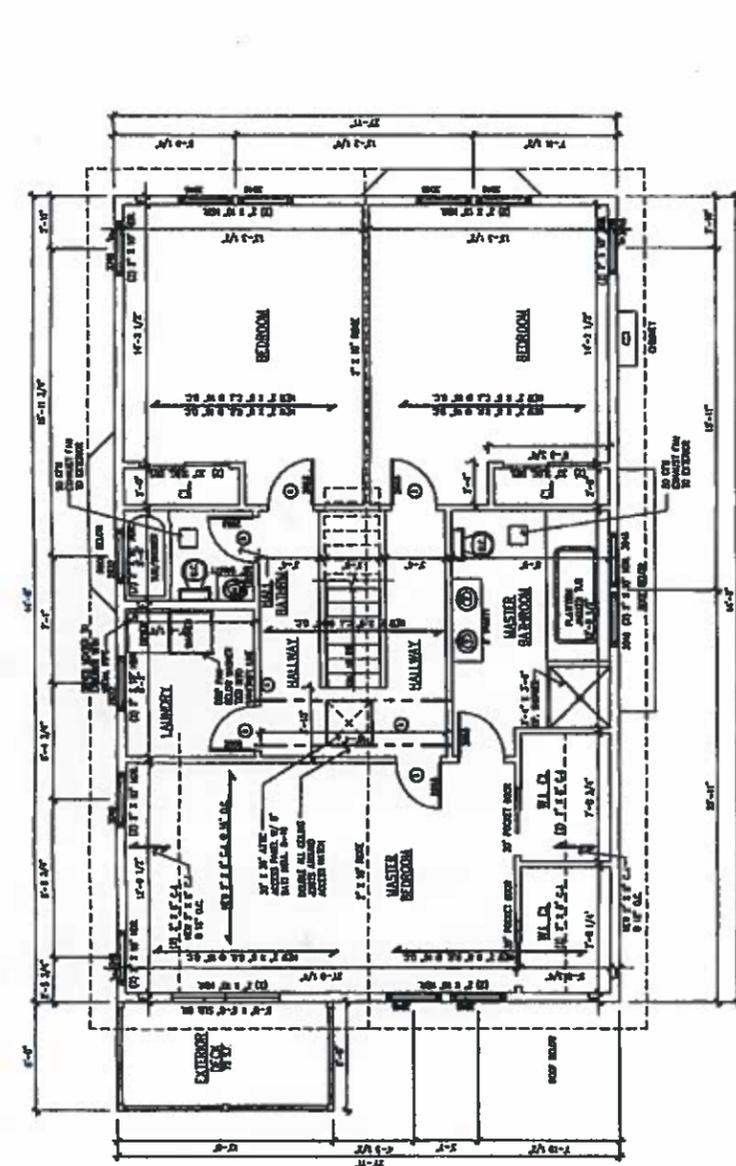
Project:
Proposed
Additory Alteration
**Virgo
Residence**
263 Lena Ave.
Freeport, N.Y.

Approval / Revision table with columns for Date, Description, and Initials.

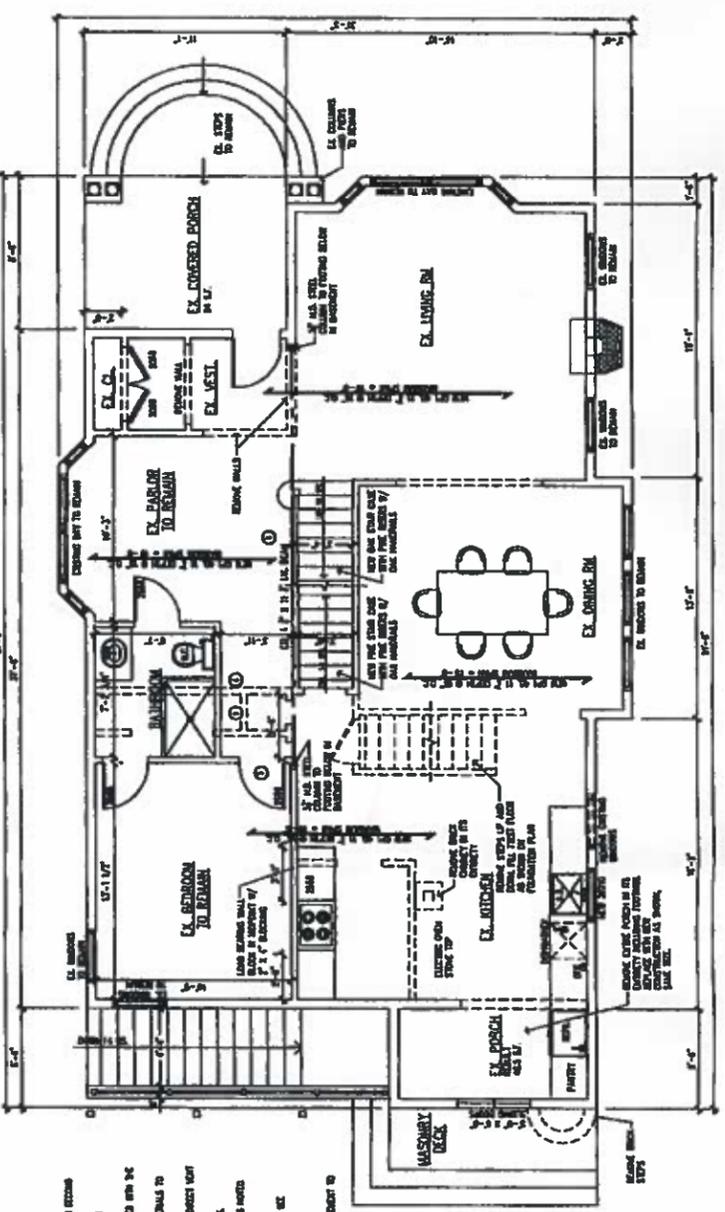
Date: June 8, 2021
Scale: AS-NOTED
Drawn By: T.V.
Checked By: T.V.

Drawing Title:
**FLOOR-PLANS
DETAILS**

Drawing Number:
A-4



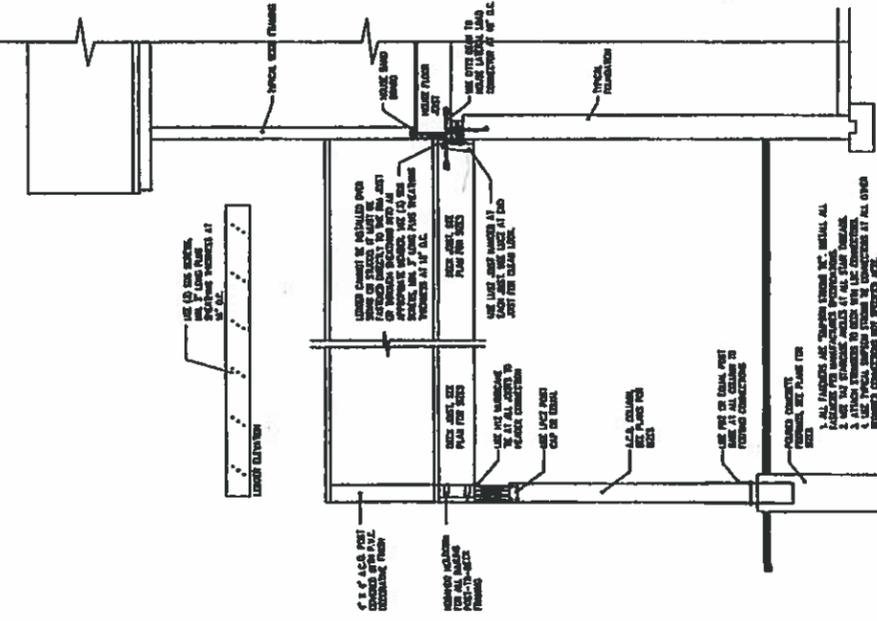
2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" 1,247 S.F.



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" 1,270 S.F.

SCOPE OF WORK:

- 1. REMOVE EXISTING FLOOR BOARDS AND TRIM...
2. REMOVE EXISTING WALLS...
3. REPAIR ALL EXISTING WALLS AND ALL SERVICES...
4. REMOVE ALL EXISTING PARTITIONS AND...
5. INSTALL NEW...
6. REPLACE ALL...
7. REPLACE ALL...
8. REPLACE ALL...
9. REMOVE...
10. REMOVE...
11. REMOVE...



3 TYPICAL CONNECTION DETAILS
SCALE: 1/2" = 1'-0"

WINDOW SCHEDULE: Andersen, 100 Series, Tilt with Double Hing, Low E4, U=0.25

DOOR SCHEDULE: ...

INSTALLS SMOKE ALARMS IN EXISTING DWELLINGS...
SECTION AND LIFE-SAFETY PROTECTION...
EXTERIOR ADDITIONS TO DWELLINGS, SUCH AS DECKS, ARE EXCEPT FROM THE REQUIREMENTS OF THIS SECTION...

LIGHTING LEGEND table with symbols for single pole switch, 3 way switch, dimmer switch, duplex receptacle, etc.

SYMBOL LEGEND table with symbols for exterior door, window, etc.

Thomas Vulpits Jr., R.A.
7 Crystal Brook Hollow Road
Port Jefferson N.Y. 11777



Phone: (631) 466-8338
Fax: (631) 628-6586
Email: tvulpits@bigtallline.net

Client:
Name: Virgo Residence
Address: 263 Lena Ave.
Freeport, N.Y.

Project:
Proposed
Addition/Alteration



Project:
Proposed
Addition/Alteration

Virgo Residence
263 Lena Ave.
Freeport, N.Y.

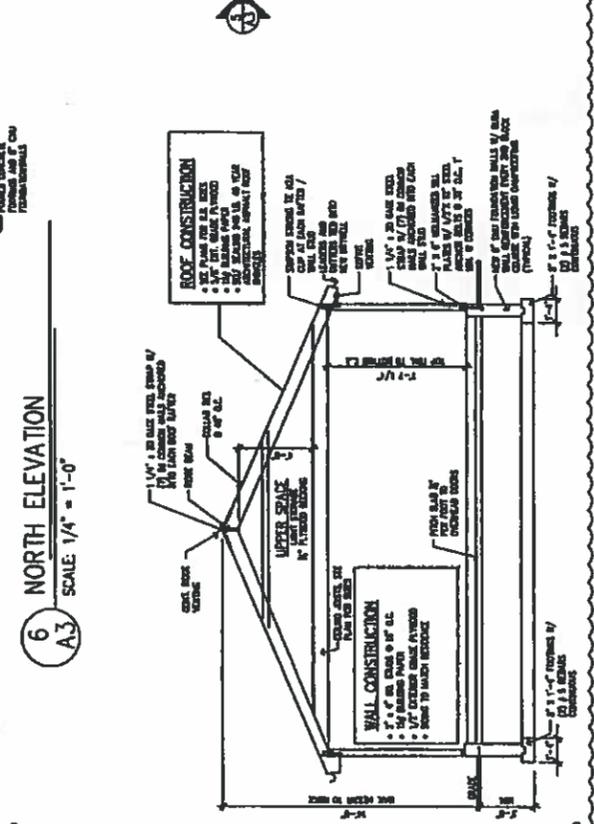
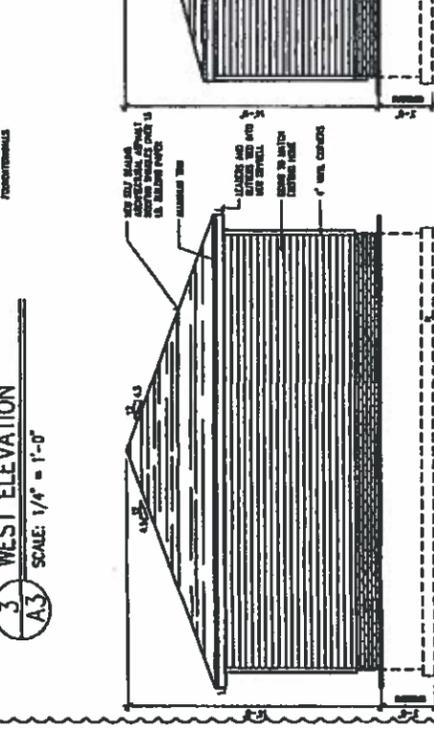
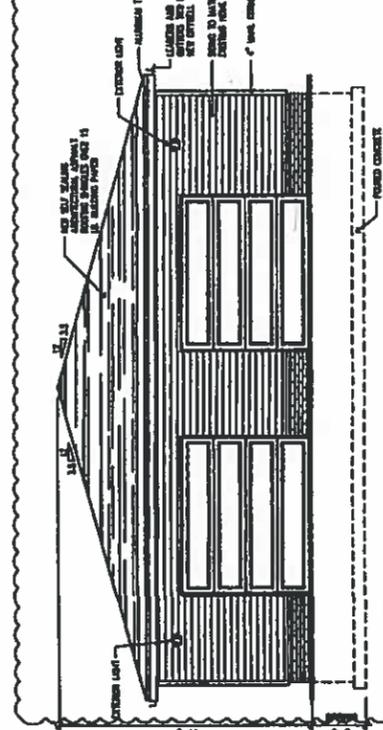
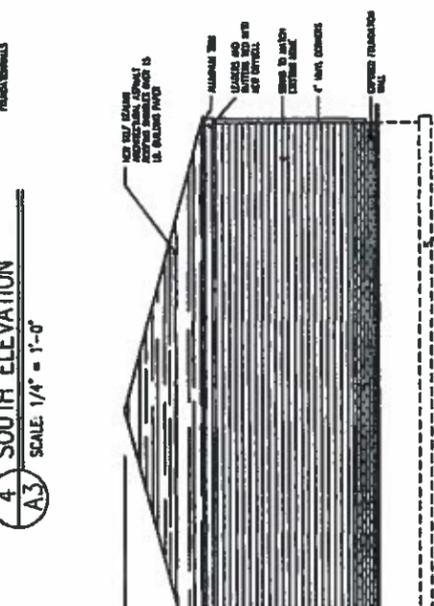
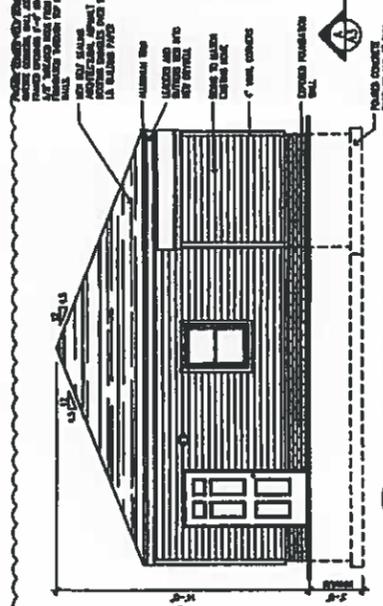
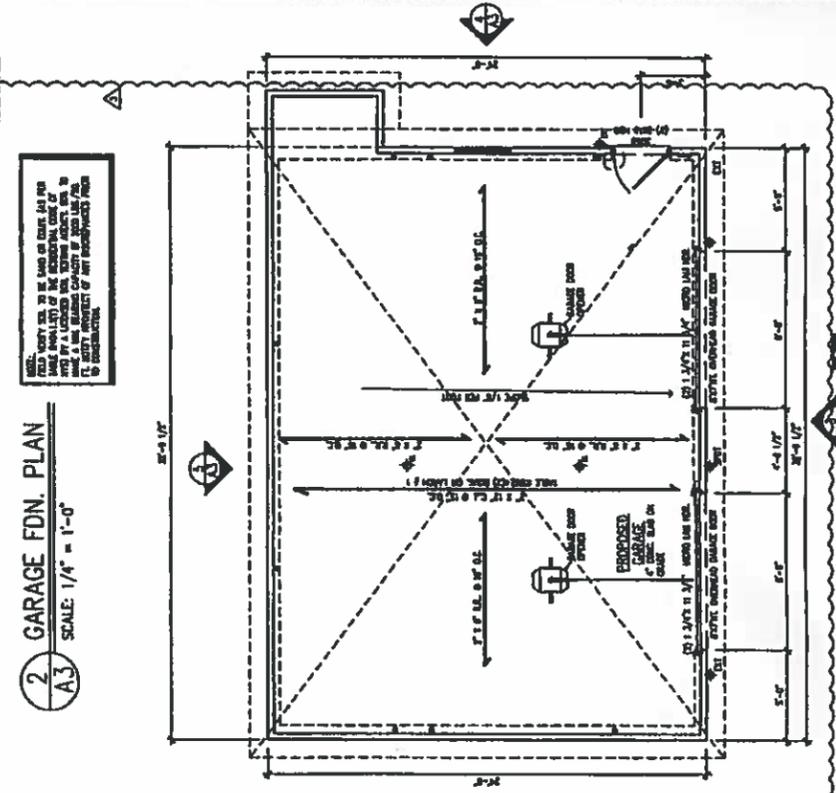
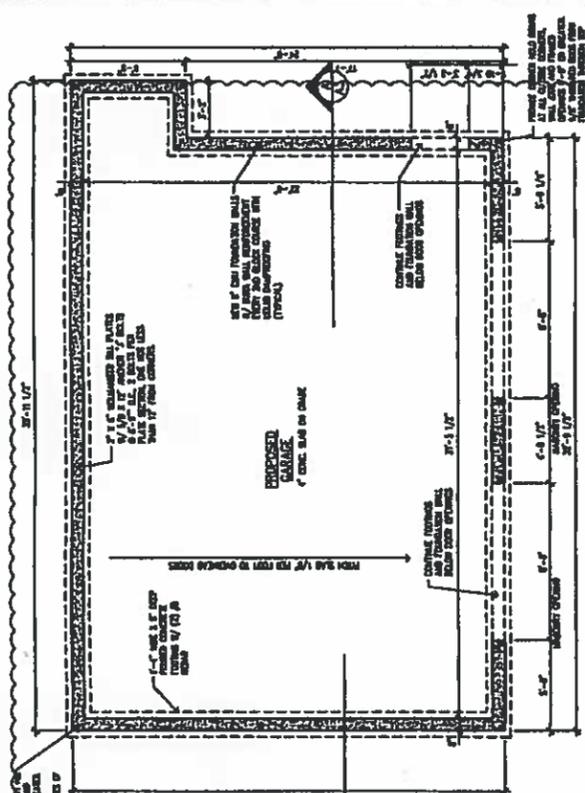
Address / Revision:

NO.	DATE	DESCRIPTION
1	6-8-2021	REVISED GARAGE
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		

Date: June 8, 2021
Scale: AS-NOTE
Drawn By: TLV
Checked By: TLV

Drawing Title: DETACH-GARAGE

Drawing Number: **A-6**



HEADER SCHEDULE

NO.	DESCRIPTION	SPACING
(1) 2x4	UP TO 4'-0"	
(2) 2x4	4'-0" TO 8'-0"	
(3) 2x4	8'-0" TO 12'-0"	
(4) 2x4	12'-0" TO 16'-0"	
(5) 2x4	16'-0" TO 20'-0"	

NOTES:
1. ALL WOOD FRAMING, INCLUDING JOISTS, RAFTERS, AND BRACES, SHALL BE DRY-KNIT LUMBER, UNLESS OTHERWISE NOTED.
2. ALL WOOD SHALL BE TREATED WITH A MINIMUM OF 1.5 POUNDS PER SQUARE FOOT OF PRESERVATIVE.
3. ALL WOOD SHALL BE CUT TO SIZE AND NOTCHED TO FIT.
4. ALL WOOD SHALL BE KEPT DRY AND PROTECTED FROM WEATHER.
5. ALL WOOD SHALL BE KEPT OFF THE GROUND.
6. ALL WOOD SHALL BE KEPT AWAY FROM COMBUSTIBLES.
7. ALL WOOD SHALL BE KEPT AWAY FROM ELECTRICAL WIRING.
8. ALL WOOD SHALL BE KEPT AWAY FROM PESTS.
9. ALL WOOD SHALL BE KEPT AWAY FROM MOISTURE.
10. ALL WOOD SHALL BE KEPT AWAY FROM FIRE.

RS02.B DRILLING AND NOTCHING.
STRUCTURAL LUMBER MEMBERS SHALL NOT BE CUT, NIPPED OR NOTCHED IN ANY MANNER WITHOUT THE APPROVAL OF THE ENGINEER. THE FOLLOWING TABLE SHALL APPLY TO ALL STRUCTURAL LUMBER MEMBERS.
TABLE 1: DRILLING AND NOTCHING LIMITATIONS

RS02.B.1 SAWN LUMBER.
MEMBERS IN SAWN LUMBER JOISTS, RAFTERS AND BRACES SHALL NOT BE CUT, NIPPED OR NOTCHED IN ANY MANNER WITHOUT THE APPROVAL OF THE ENGINEER. THE FOLLOWING TABLE SHALL APPLY TO ALL STRUCTURAL LUMBER MEMBERS.
TABLE 2: DRILLING AND NOTCHING LIMITATIONS

Application Date: 12/28/23
Fees Paid: \$ 22500

SP# 3691

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 70 California Av ZONING DISTRICT Res AA
SECTION 55 BLOCK 56 LOT 2 LOT SIZE: 60x100

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Same as owner.</u>	Name: <u>Laerard Wortham</u>
Address:	Address: <u>70 California Av</u> <u>Freeport NY, 11520</u>
Telephone #:	Telephone #: <u>516-633-4574</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: Replacing existing windows with Bows

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied. YES _____ NO

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

[Signature]
APPLICANT'S SIGNATURE
Sworn to before me this 28th
day of November, 2023.
[Signature]
Notary Public



11-28-23
DATE

Property Owner's Consent:
I, _____ am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 28th
day of November, 2023.
[Signature]
Notary Public



11-28-23
DATE

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

SUBMISSION CHECKLIST

YES NO N/A

- | | | | | |
|-------|-------|-------|----|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| _____ | _____ | _____ | 1. | The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only). |
| _____ | _____ | _____ | 2. | The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs. |
| _____ | _____ | _____ | 3. | A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch: |
| _____ | _____ | _____ | a. | Title of drawing, including name and address of applicant. |
| _____ | _____ | _____ | b. | North point, scale, and date. |
| _____ | _____ | _____ | c. | Boundaries of the project. |
| _____ | _____ | _____ | d. | Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted. |
| _____ | _____ | _____ | e. | Floodplain boundaries as determined by the Federal Emergency Management Agency. |
| _____ | _____ | _____ | f. | Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures. |
| _____ | _____ | _____ | g. | Location of outdoor storage and description of materials to be stored. |
| _____ | _____ | _____ | h. | Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private. |
| _____ | _____ | _____ | i. | Location and description of all proposed waterfront public access/recreation provisions. |
| _____ | _____ | _____ | j. | Description of sewage disposal and water supply systems and locations of such facilities. |
| _____ | _____ | _____ | k. | Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule. |
| _____ | _____ | _____ | l. | Location of all parking and loading area, internal circulation pattern, and ingress and egress drives. |
| _____ | _____ | _____ | m. | Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks. |
| _____ | _____ | _____ | n. | Location, design and size of all signs and lighting facilities. |
| _____ | _____ | _____ | o. | Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space. |
| _____ | _____ | _____ | p. | Building orientation and site design for energy efficiency and visual quality. |
| _____ | _____ | _____ | q. | Location and design of all energy distribution facilities, including electrical, gas, and solar energy. |
| _____ | _____ | _____ | r. | Description and location of erosion control measures including proposed location of sediment sink/setting pond and interceptor swales, etc. |
| _____ | _____ | _____ | s. | Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities. |
| _____ | _____ | _____ | t. | Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development. |
| _____ | _____ | _____ | u. | Estimated project construction schedule. |
| _____ | _____ | _____ | v. | Record of application for approval status of all necessary permits from federal, state and county officials. |
| _____ | _____ | _____ | w. | Identification of any federal, state or county permits required for project execution. |
| _____ | _____ | _____ | x. | The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter. |

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VILLAGE OF FREEPORT, NY

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INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER
November 10, 2023

Gerard Wortham
70 California Ave
Freeport, NY 11520

RE: 70 California Ave, Freeport, NY 11520
Zoning District: Residence AA Sec. 55 Blk. 56 Lot. 2
Building Permit Application #20233521
Description: – Replacing existing windows with bows.

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes__ No_X_

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

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Notice

2023 DEC 28 A 9:25

X Negative Declaration

Positive Declaration
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

 The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20233521

Location: 70 California Ave, Freeport NY 11520

Applicant: Gerard Wortham

Description : Replacing existing windows with bows.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

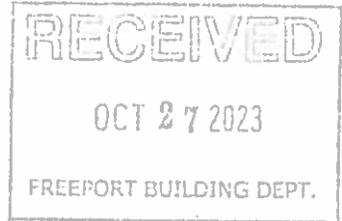
Dated: November 10, 2023

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form



Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

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 VILLAGE OF FREEPORT, NY

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Part 1 - Project and Sponsor Information							
Name of Action or Project:							
Project Location (describe, and attach a location map): <i>Private Residence</i>							
Brief Description of Proposed Action: <i>Changing Existing windows with Bows windows</i>							
Name of Applicant or Sponsor: <i>Gerard Worthan</i>		Telephone: <i>516-633-4574</i>					
Address: <i>70 California Av</i>		E-Mail: <i>gworth24@gmail.com</i>					
City/PO: <i>Freeport</i>		State: <i>NY</i>	Zip Code: <i>11520</i>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action? _____ acres							
b. Total acreage to be physically disturbed? _____ acres							
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres							
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

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FREEPORT BUILDING

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, identify the conveyance system: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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CLERK'S OFFICE

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OCT 27 2023

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Gerard Worthan</u> Date: <u>10-26-23</u>		
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, or archeological resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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PLANNING DEPT

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



70 CALIFORNIA
AVE
APPLICANTS HOUSE



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VILLAGE OF FREEPORT, NY

RECEIVED

142 CALIFORNIA AVE



140 CALIFORNIA AVE



102 CALIFORNIA AVE



144 NEW YORK AVE



O.H. - OVERHANG; H. - HEDGE; T.C. - TOP CURB ELEVATION; L.G. - LEGAL GRADE; G.G. - GUTTER ELEVATION; N.E.L. - ELEVATION; IRR. - IRRIGATION; C.E. - CELLAR ENTRANCE

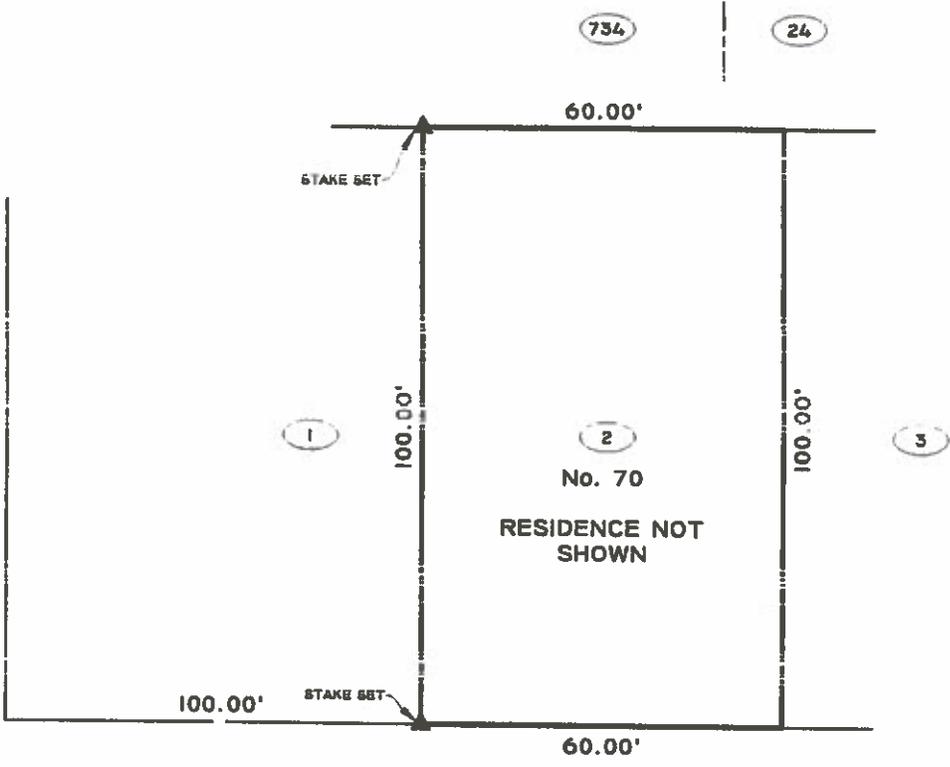
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VILLAGE OF FREEPORT, NY



PENNSYLVANIA AVENUE



CALIFORNIA AVENUE

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 ONLY A LICENSED LAND SURVEYOR CAN ESTABLISH BOUNDARY/PROPERTY LINES/CORNERS.
 CALL US FOR A STAKE OUT. STAKE YOUR CLAIM!
 MONUMENTS HAVE NOT BEEN SET UNLESS REQUESTED.
 THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSE INDICATED HEREON. ANY EXTENSION OF THE USE
 BEYOND THE PURPOSE AGREED TO BETWEEN THE CLIENT AND THE SURVEYOR WAIVES THE SALES OF THE ENGINEERING.
 IT IS HEREBY CERTIFIED THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE CODE OF
 PRACTICE AND MINIMUM STANDARDS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF
 PROFESSIONAL LAND SURVEYORS
 MEMBER OF THE NEW YORK STATE LAND TITLE ASSOCIATION
 MEMBER OF THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS
 MEMBER OF THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
 MEMBER OF THE AMERICAN SOCIETY OF CIVIL ENGINEERS

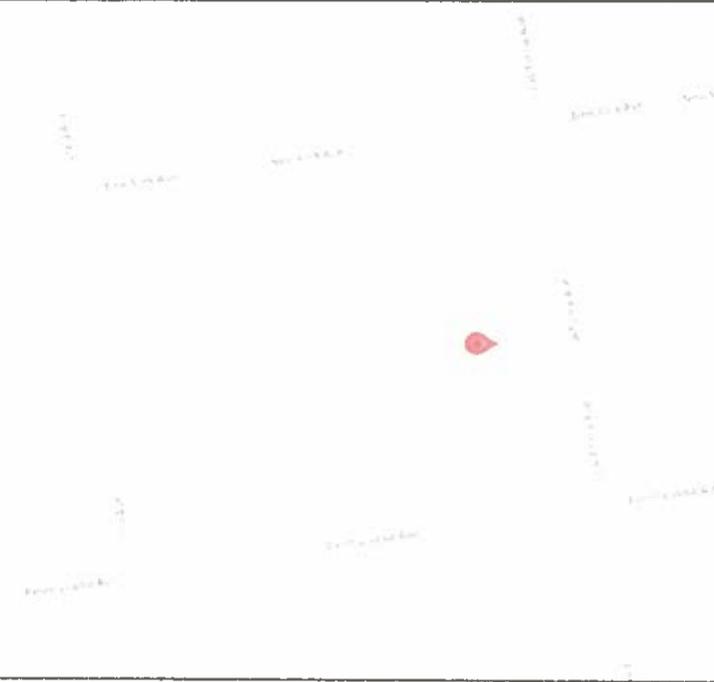
**WESTERLY PROPERTY
LINE STAKEOUT**

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SITE DATA:	FERRANTELLI LAND SURVEYING P.C. NEW YORK STATE LICENSED LAND SURVEYORS SITE PLANNING & SUBDIVISION CONSULTANTS BUILDING & CONSTRUCTION LAYOUT PROFESSIONALS																																																													
SCALE: 1" = 30' DATE: 6/28/2023 DATUM:	PHONE: 516-248-2760 12 WEST MALL PLAINVIEW, NY 11803 WEBSITE: WWW.FORGUPPG.COM EMAIL: INFO@FORGUPPG.COM FAX: 516-294-6870																																																													
SURVEYED BY: DD DRAFTED BY: AL CHECKED BY: JC SHEET: 1 OF 1	loc: here																																																													

RES. - RESIDENCE; O.L. - (O) LINE; E. - EAST SIDE; W. - WEST SIDE; S/S - SOUTH SIDE; N/S - NORTH SIDE; B.L. - BUILDING; C.L. - CLEAR; FE - FENCE; P.W. - PARTY WALL; R.O. - F DOF OVER

WORTHAM RESIDENCE

70 CALIFORNIA AVENUE
FREEPORT, NY 11520
SEC. 55, LOT 2 FLOOR 50



FLOOR PLAN

ARCHITECTURAL DESIGN, PLLC
10 ARCHITECTURAL DESIGN, PLLC
BY JAMES M. WARD
100 CALIFORNIA AVENUE
FREEPORT, NY 11520

WORTHAM RESIDENCE
70 CALIFORNIA AVE
FREEPORT, NY 11520

DATE: 12/28/2023
TIME: 11:49 AM
TITLE: E.P.A.

A-100.00

NO. 210

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SECTION: DATES

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VILLAGE OF FREEPORT - LITMAYNE ZONING

CHAPTER 86 BUILDING CODES

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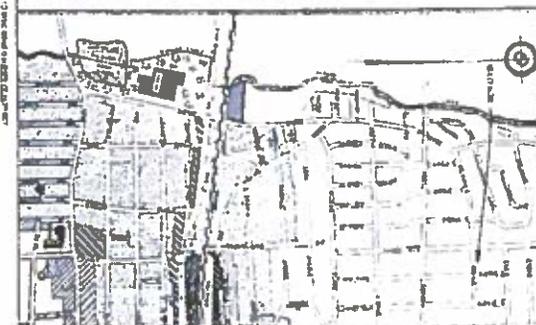
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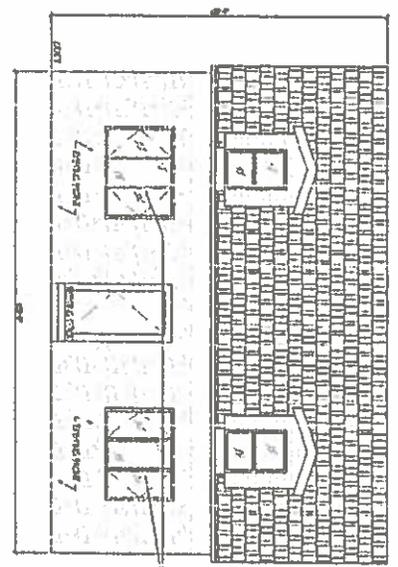
WINDOWS

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	1/2" x 3 1/2" x 6'0" Double Hung Window	12	Sq. Ft.	120.00	1440.00
2	1/2" x 3 1/2" x 6'0" Double Hung Window	12	Sq. Ft.	120.00	1440.00
3	1/2" x 3 1/2" x 6'0" Double Hung Window	12	Sq. Ft.	120.00	1440.00
4	1/2" x 3 1/2" x 6'0" Double Hung Window	12	Sq. Ft.	120.00	1440.00
5	1/2" x 3 1/2" x 6'0" Double Hung Window	12	Sq. Ft.	120.00	1440.00
6	1/2" x 3 1/2" x 6'0" Double Hung Window	12	Sq. Ft.	120.00	1440.00
7	1/2" x 3 1/2" x 6'0" Double Hung Window	12	Sq. Ft.	120.00	1440.00
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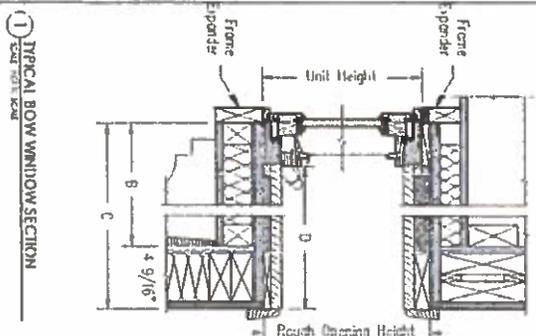
ZONING MAP



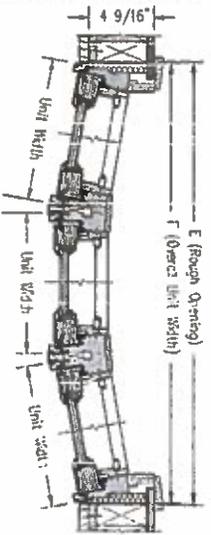
ELEVATION



SEE FOR SUBJECT ELEVATION
 WINDOW SCHEDULE
 FOR WINDOW SCHEDULE
 SEE ELEVATION
 BLACK



1 TYPICAL BOW WINDOW SECTION



2 TYPICAL PLAN SECTION FOR BOW WINDOW

Black Windows

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29	12/28/23	ASST	RECEIVED
30	12/28/23	ASST	RECEIVED

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100 WEST 10TH STREET
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VILLAGE OF FREEPORT BUILDING AND ZONING CODE

CHAPTER 86 BUILDING CONSTRUCTION

ARTICLE 1. PURPOSE AND SCOPE

1.1. The purpose of this chapter is to regulate the construction of buildings and structures within the Village of Freeport, New York, to ensure the safety, health, and general welfare of the community.

1.2. This chapter shall apply to all buildings and structures, including but not limited to residential, commercial, and industrial buildings, and to all additions, alterations, and repairs to existing buildings and structures.

1.3. This chapter shall not apply to buildings and structures that are exempt from the Uniform Building Code, as defined in Section 1.4.

1.4. Buildings and structures that are exempt from the Uniform Building Code shall be subject to the provisions of this chapter, except where specifically exempted by the Village Board.

1.5. The Village Board may, from time to time, amend this chapter to conform with changes in the Uniform Building Code or to address specific local concerns.

1.6. The Village Board may, from time to time, amend this chapter to address specific local concerns, provided that such amendments do not conflict with the provisions of the Uniform Building Code.

1.7. The Village Board may, from time to time, amend this chapter to address specific local concerns, provided that such amendments do not conflict with the provisions of the Uniform Building Code.

1.8. The Village Board may, from time to time, amend this chapter to address specific local concerns, provided that such amendments do not conflict with the provisions of the Uniform Building Code.

1.9. The Village Board may, from time to time, amend this chapter to address specific local concerns, provided that such amendments do not conflict with the provisions of the Uniform Building Code.

1.10. The Village Board may, from time to time, amend this chapter to address specific local concerns, provided that such amendments do not conflict with the provisions of the Uniform Building Code.

CHAPTER 210 ZONING

ARTICLE V RESIDENCE A

210-1.1. The purpose of this chapter is to regulate the use of land and buildings within the Village of Freeport, New York, to ensure the safety, health, and general welfare of the community.

210-1.2. This chapter shall apply to all land and buildings within the Village of Freeport, New York, except where specifically exempted by the Village Board.

210-1.3. The Village Board may, from time to time, amend this chapter to conform with changes in the Uniform Building Code or to address specific local concerns.

210-1.4. The Village Board may, from time to time, amend this chapter to address specific local concerns, provided that such amendments do not conflict with the provisions of the Uniform Building Code.

210-1.5. The Village Board may, from time to time, amend this chapter to address specific local concerns, provided that such amendments do not conflict with the provisions of the Uniform Building Code.

210-1.6. The Village Board may, from time to time, amend this chapter to address specific local concerns, provided that such amendments do not conflict with the provisions of the Uniform Building Code.

210-1.7. The Village Board may, from time to time, amend this chapter to address specific local concerns, provided that such amendments do not conflict with the provisions of the Uniform Building Code.

210-1.8. The Village Board may, from time to time, amend this chapter to address specific local concerns, provided that such amendments do not conflict with the provisions of the Uniform Building Code.

210-1.9. The Village Board may, from time to time, amend this chapter to address specific local concerns, provided that such amendments do not conflict with the provisions of the Uniform Building Code.

210-1.10. The Village Board may, from time to time, amend this chapter to address specific local concerns, provided that such amendments do not conflict with the provisions of the Uniform Building Code.

2020 NYS BUILDING CODE ANALYSIS

SCOPE OF WORK

1.0. GENERAL NOTES

1.1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2020 NYS BUILDING CODE.

1.2. ALL MATERIALS SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT.

1.3. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE LOCAL BUILDING DEPARTMENT.

1.4. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE LOCAL BUILDING DEPARTMENT.

1.5. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE LOCAL BUILDING DEPARTMENT.

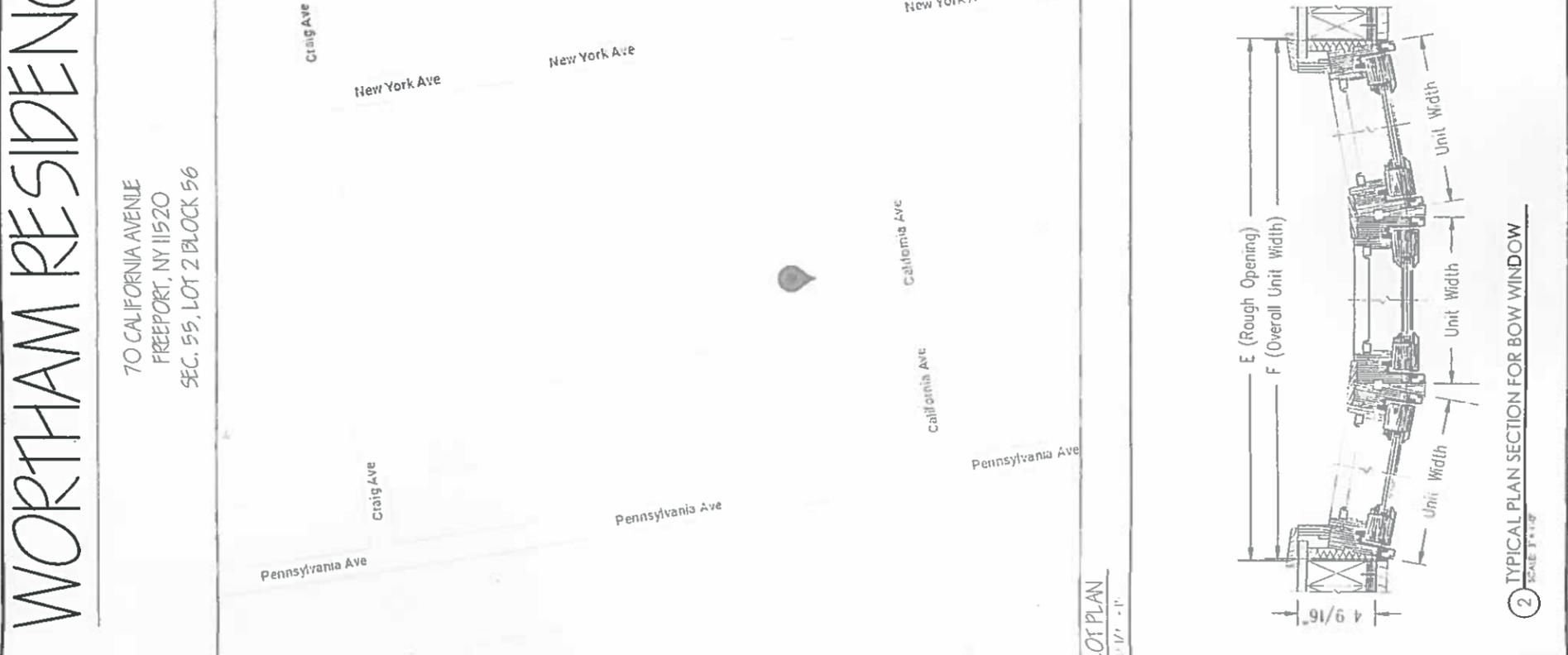
1.6. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE LOCAL BUILDING DEPARTMENT.

1.7. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE LOCAL BUILDING DEPARTMENT.

1.8. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE LOCAL BUILDING DEPARTMENT.

1.9. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE LOCAL BUILDING DEPARTMENT.

1.10. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE LOCAL BUILDING DEPARTMENT.



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ARCHITECTURAL DESIGN, PLLC

LG ARCHITECTURAL DESIGN, PLLC
171 SAINT MARKS AVENUE
FREEPORT, NY 11520
914-413-7940

NO. REVISION DATE

1 ISSUED FOR BIDDING AND REVIEW

PROJECT: WORTHAM RESIDENCE
70 CALIFORNIA AVENUE
FREEPORT, NY 11520

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LEONARD OBADI
STATE OF NEW YORK
046167

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