

Application Date: ~~6/1/2022~~  
Fees Paid: ~~\$1,000~~

SP# 3559

\$225

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 894 S Long Beach Ave Freeport NY 11520 ZONING DISTRICT Rest A  
SECTION 62 BLOCK 156 LOT 557 LOT SIZE: 18,360.38 S.F.  
0.42 AC

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>George Koutsogiannis</u>			Name: <u>Benjamin A. Mathews</u>
Address: <u>110 East 2nd St Freeport NY 11520</u>			Address: <u>894 S Long Beach Avenue Freeport NY 11520</u>
Telephone #: <u>516 852 4657</u>			Telephone #: <u>313-573-6532</u>

Attorney Name: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Address: \_\_\_\_\_

Present Land Use: Residential

Proposed Land Use: Residential

Description of Proposed Work: Raise Roof Build Grand Porch & Porch

I request a preliminary meeting: \_\_\_\_\_ YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

\_\_\_\_\_ YES  NO

[Signature]  
APPLICANT'S SIGNATURE

5/31/22  
DATE

Sworn to before me this 31st day of May, 2022  
[Signature]  
Notary Public

CAROLYN DEAN  
Notary Public, State of New York  
Reg. No. 01DEB038122  
Qualified in Nassau County  
Commission Expires November 21, 2028

Property Owner's Consent:  
I, Benjamin Mathews am (are) the owner(s) of the subject property and consent to the filing of this application.

Benjamin Mathews  
PROPERTY OWNER'S SIGNATURE

05-27-22  
DATE

Sworn to before me this 27 day of May, 2022  
[Signature]  
Notary Public

JOHN W NUNZIATA  
Notary Public - State of New York  
NO. 01NU6356115  
Qualified in Nassau County  
My Commission Expires Mar 30, 2028

**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

May 24, 2022  
**SITE PLAN LETTER**

Benjamin Mathews  
894 South Long Beach Avenue  
Freeport, NY 11520

**RE: 894 S. Long Beach Avenue, Freeport, NY**  
**Zoning District - Residence A Sec. 62 Blk. 156 Lot. 557**  
**Building Permit Application #20222700**  
**Description: Raise existing roof, change roof line & build new front porch**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,



Sergio A. Mauras  
Superintendent of Buildings  
Jonathan Smith, Building Inspector  
/cd  
Encl.

c: Village Clerk  
Rabco Engineering  
New York Home Improvements

ZBA Approval Needed:

Yes:  No

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

       The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project : Building Permit App. 20222700

Applicant : Benjamin Mathews

Location: 894 S. Long Beach Avenue, Freeport, NY

Description: Raise existing roof, change roof line and build new front porch

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

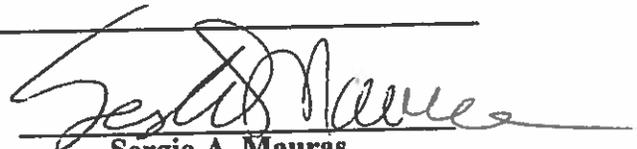
**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: May 24, 2022

  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

## Short Environmental Assessment Form

### Part 1 - Project Information

#### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map): <b>894 South Long Beach Av. Freeport</b>			
Brief Description of Proposed Action: <b>Raise Roof Front Porch Exterior Renovation</b>			
Name of Applicant or Sponsor: <b>George Koutsogiannis</b>		Telephone:	
Address: <b>110 East 2nd Street Freeport</b>		E-Mail: <b>newyorkhomeimp@aol.com</b>	
City/PO: <b>Freeport</b>		State: <b>NY</b>	Zip Code: <b>11520</b>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input checked="" type="checkbox"/> Shoreline	<input type="checkbox"/> Forest	<input type="checkbox"/> Agricultural/grasslands
<input checked="" type="checkbox"/> Wetland	<input type="checkbox"/> Urban	<input checked="" type="checkbox"/> Suburban
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>George Koutsouyianis</u>	Date: <u>3-21-22</u>	
Signature: <u>[Signature]</u>	Title: <u>Contractor</u>	

**New York Home Improvements Inc.**

110 East 2<sup>nd</sup> Street

Freeport, NY 11520

[newyorkhomeimp@aol.com](mailto:newyorkhomeimp@aol.com)

516 852-4657

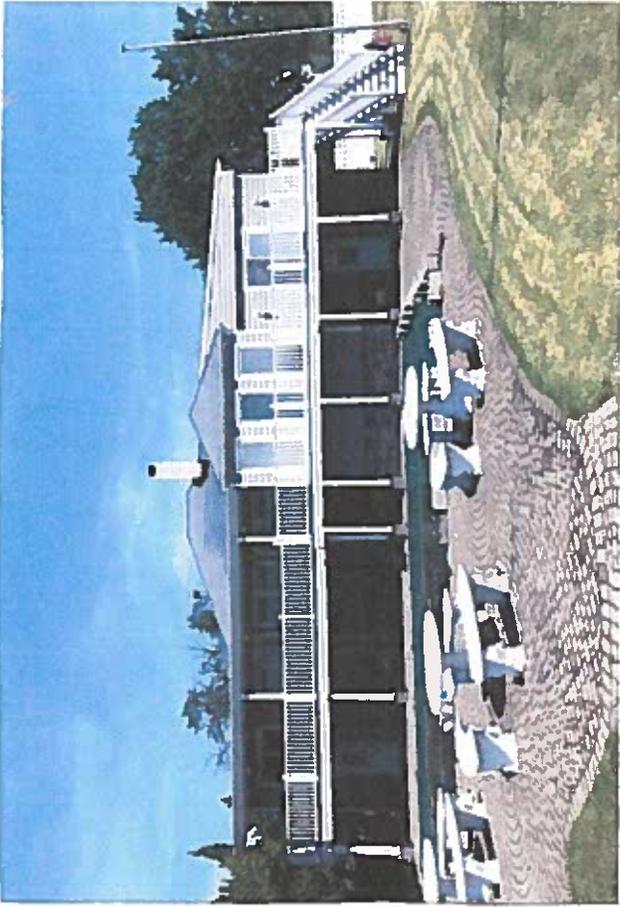
**Re:**

**894 South Long Beach Ave.**

- **Siding to match existing shake. (grey)**
- **Roof Architectural GAF black.**
- **Overhangs white beaded soffits**
- **Fascia white**
- **Window trim White**
- **Railings to match existing rear and side white vinyl.**
- **Lower cultured stone to remain**
- **Front doors see picture attached**



George Koutsogiannis



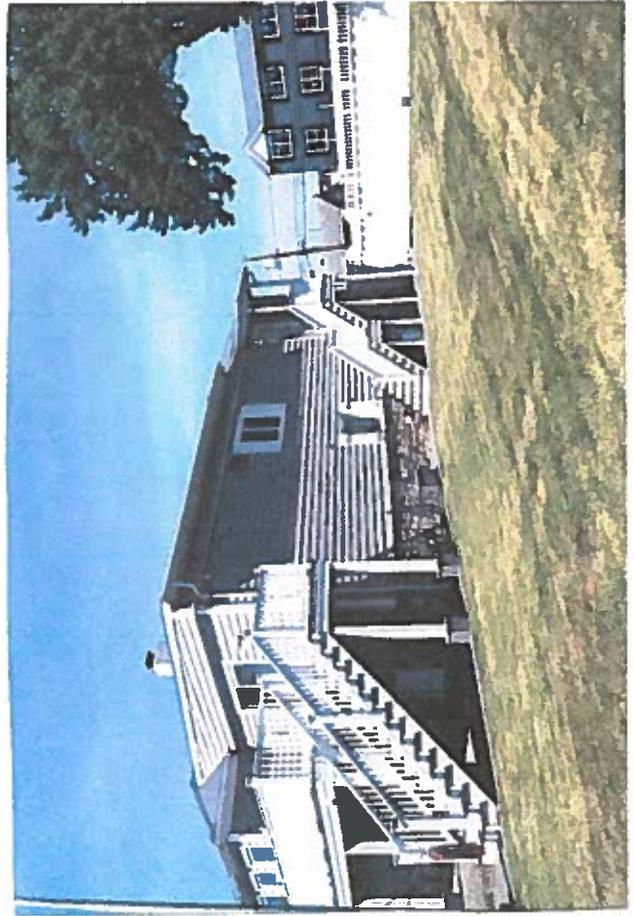
Rear



North



Front



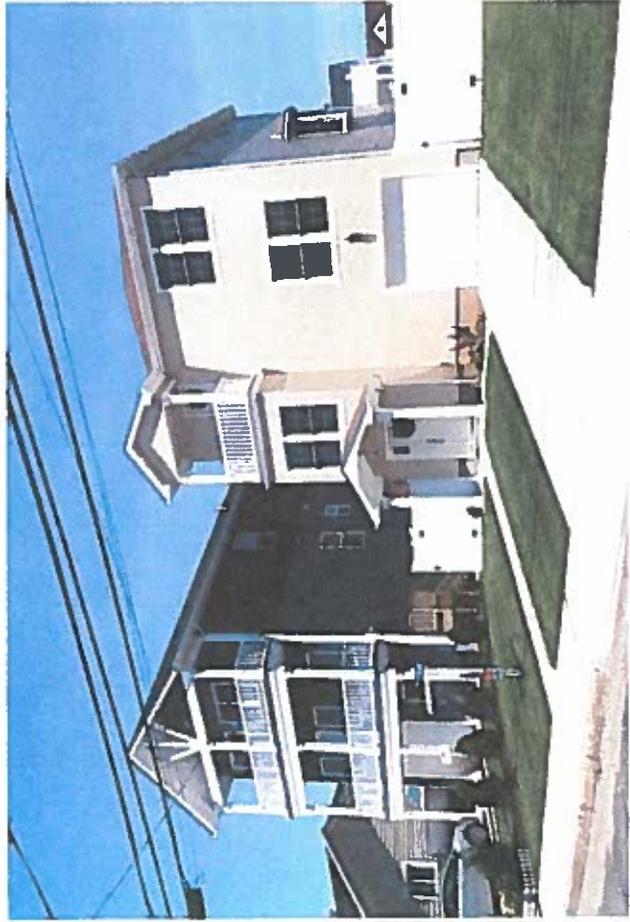
South



908 S. Long Beach Ave



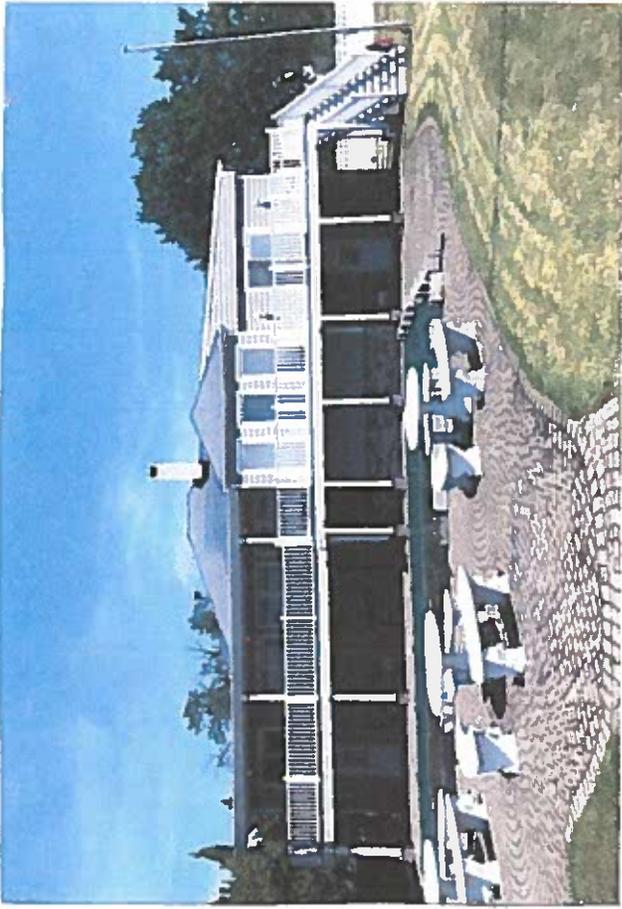
895 S. Long Beach Ave



875 S. Long Beach Ave



897 South Long Beach Ave



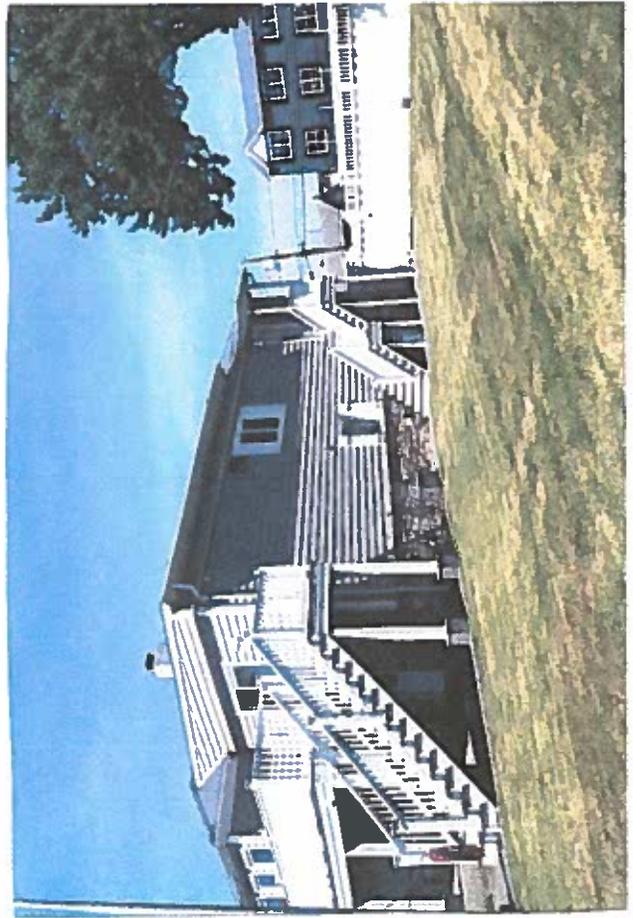
Rear



North



Front



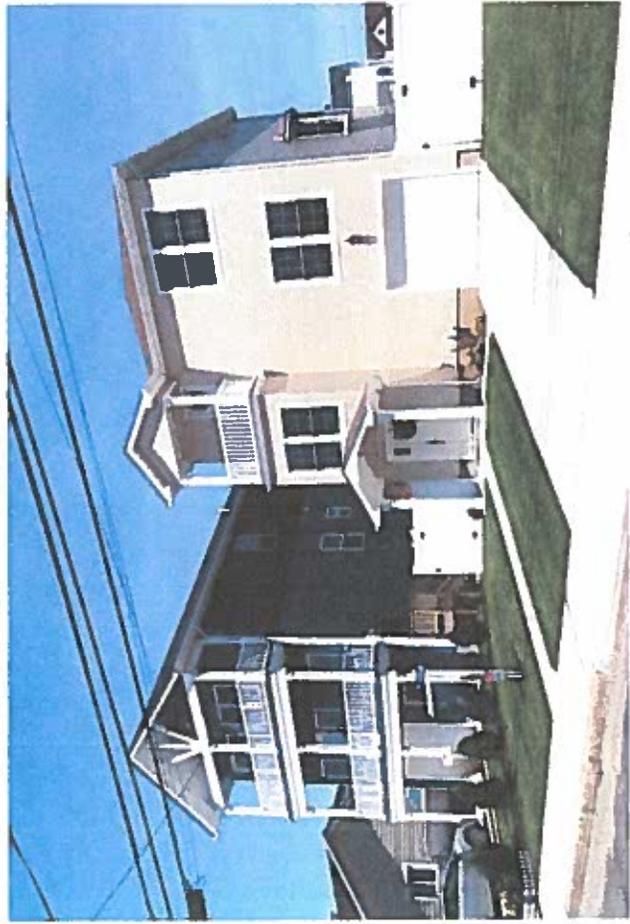
South



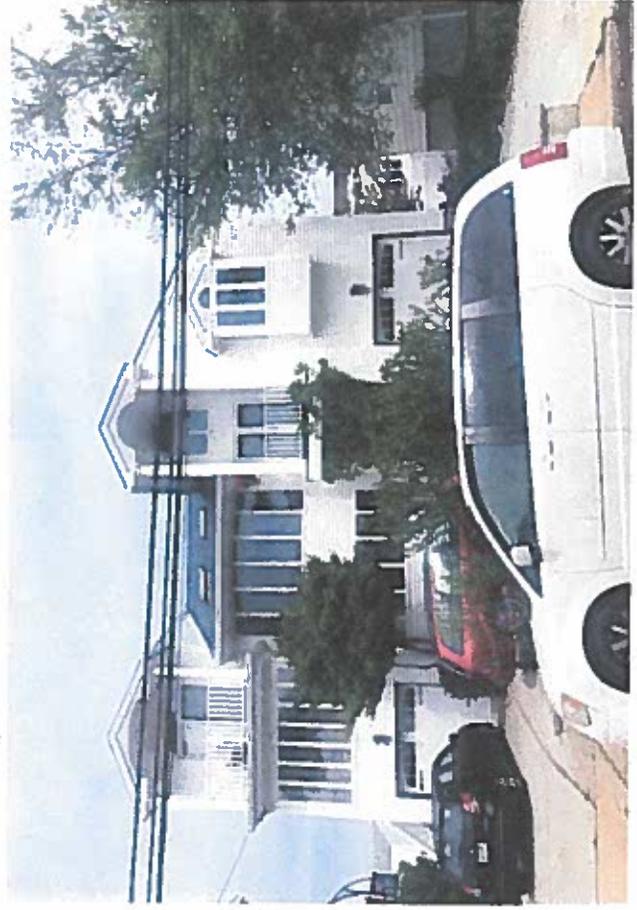
908 S. Long Beach Ave



895 S. Long Beach Ave



875 S. Long Beach Ave



897 South Long Beach Ave



PERSPECTIVE VIEW  
894 S. LONG BEACH AVE.

ELEVATE EXISTING ROOF FOR  
ONE FAMILY DW  
FOR:

# THE MATHEWS F

894 SOUTH LONG BEACH AVENUE

**ZONING INFORMATION:**

RESIDENCE B

	REQUIRED/ALLOWED:	PROPOSED:
LOT AREA: Min	5,000 S.F.	18,360 S.F. OK
FRONTAGE: Min	50 FT.	120 FT. OK
LOT COVERAGE:	30%	
LOT AREA:		
HOUSE: (No Change)	5508 S.F.	2779.77 S.F. OK
EXISTING DECKS (Previously App'd) (No Change)		REAR COVERED DECK = 366.37 S.F. REAR SUN DECK = 217 S.F. 230.90 S.F.
NEW FRONT COVERED PORCH:		
TOTAL BUILDING AREA =		3594.04 S.F. OK
PERCENTAGE OF LOT COVERAGE =	19.6% ALLOWED = 30%	

	REQUIRED/ALLOWED:	PROPOSED:
FLOOR AREA =	50%	15% OK
FLOOR AREA =	9180 S.F.	3594.04 S.F. OK
FRONT YARD SB=	20 FT.	26.33' OK
REAR YARD SB=	20 FT.	79.16 FT. OK
MIN SIDE YARD SB=	5 FT.	10.83' & 45.10' OK
SIDE YARD AGGREGATE:	25% 30 FT	55.93 FT OK

## AF&PA WOOD FRAME CONSTRUCTION 2001 EDITION FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING OF FASTENERS
<b>ROOF FRAMING</b>		
RAFTER TO TOP PLATE, TOE NAILED	-8d	3 PER RAFTER
CEILING JOISTS TO PLATE, TOE NAILED	-8d	3 PER JOIST
CEILING JOIST TO PARALLEL RAFTERS, FACE NAILED	16d	5 EACH LAP
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAILED	16d	5 EACH LAP
COLLAR TIE TO RAFTER, FACE NAILED	8d	3 PER TIE
BLOCKING TO RAFTER, TOE NAILED	2-8d	EACH END
R-W BOARD TO RAFTER, END NAILED	2-16d	EACH END
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS: TOE NAIL FACE NAIL	4-16d 3-16d	
<b>WALL FRAMING</b>		
TOP PLATE TO TOP PLATE, FACE NAILED	2-16d	PER FOOT
TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAILED	4-16d	EACH SIDE
STUD TO STUD, FACE NAILED	2-16d	24" O.C.
HEADER TO HEADER, FACE NAILED	16d	16" O.C. ALONG EDGES
TOP OR SOLE PLATE TO STUD, END NAILED	2-16d / 3-16d	PER 2x4 / PER 2x6
BOTTOM PLATE TO FLOOR JOIST / BAND JOIST FACE NAILED	2-16d	PER FOOT
STUD TO SOLE PLATE, TOE NAILED	3 - 8d OR 2-16d	PER FOOT
DOUBLE TOP PLATES, END NAILED	2-16d	12" O.C.
DOUBLE TOP PLATES, MINIMUM 48-INCHES OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	8-16d	
BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER	16d	16" O.C. ALONG EACH EDGE
CONTINUOUS HEADER TO STUD, TOE NAILED	4-8d	
CONTINUOUS HEADER TO STUD, TWO PIECES	16d	16" O.C. ALONG EACH EDGE
<b>FLOOR FRAMING</b>		
JOIST TO SILL OR GIRDER, TOE NAILED	4-8d	PER JOIST
BLOCKING TO JOIST, TOE NAILED	2-8c	EACH END
BLOCKING TO JOIST, TOE NAILED	2-8c	EACH END
BLOCKING TO SILL OR TOP PLATE (TOE NAILED)	3-16d	EACH BLOCK
LEDGER STRIP TO BEAM (FACE NAILED)	3-16d	EACH JOIST
JOIST ON LEDGER TO BEAM (TOE NAILED)	3-8d	PER JOIST
BAND JOIST TO JOIST, END NAILED	3-16d	PER JOIST
BAND JOIST TO SILL OR TOP PLATE (TOE NAILED)	2-16d	PER FOOT
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	(2) 16d	12" O.C.
<b>CEILING SHEATHING</b>		
C.W.B.	5d COOLERS	7" EDGE / 10" FIELD
<b>WALL SHEATHING</b>		
STRUCTURAL PANELS	8d	12" - 24" O.C.
FIBERBOARD PANELS		
7/16"	6d	3" EDGE / 6" FIELD
25/32"	8d	3" EDGE / 6" FIELD
PARTICLEBOARD PANELS	8d	12" - 24" O.C.
<b>FLOOR SHEATHING</b>		
STRUCTURAL PANELS		
1" OR LESS	8d	6" EDGE / 12" FIELD
MORE THAN 1"	10d	6" EDGE / 6" FIELD
DIAGONAL BOARD SHEATHING		
1"x6" OR 1"x8"	2-8d	PER SUPPORT
1"x10" OR WIDER	3-8d	PER SUPPORT

1. NAILING REQUIREMENTS ARE BASED ON WALL SHEATHING NAILED 6" O.C. AT THE PANEL EDGES. IF WALL SHEATHING IS NAILED 3" O.C. AT THE PANEL EDGES TO OBTAIN HIGHER SHEAR CAPACITIES, NAILING REQUIREMENTS FOR STRUCTURAL MEMBERS SHALL BE DOUBLED, OR ALTERNATE CONNECTORS, SUCH AS SHEAR PLATES, SHALL BE USED TO MAINTAIN LOAD PATHS.
2. WHEN WALL SHEATHING IS CONTINUOUS OVER CONNECTED MEMBERS, THE TABULATED NUMBER OF NAILS SHALL BE PERMITTED TO BE REDUCED TO 1-16d NAIL PER FOOT.
3. CORROSION RESISTANT 11 GAGE ROOFING NAILS AND 16 GAGE STAPLES ARE PERMITTED, CHECK IBC FOR ADDITIONAL REQUIREMENTS.

## CONSTRUCTION NOTES

1. ALL CONSTRUCTION IS TO CONFORM TO N.Y.S. AND LOCAL BUILDING CODES.
2. ALL PLUMBING IS TO CONFORM TO LOCAL AND COUNTY HEALTH REQUIREMENTS.
3. ELECTRIC IS TO CONFORM TO LOCAL N.E.C. AND UNDERWRITERS REQUIREMENTS.
4. CONCRETE IS TO BE 3000PSI MIN. ON 1 TON PSF. SOIL BEARING CAPACITY, VERIFY. CONCRETE FOR GARAGE SLABS AND EXPOSED STEPS TO BE 3500 PSI.
5. DOUBLE FRAME AROUND ALL OPENINGS AND UNDER PARALLEL PARTITIONS AND BATHTUBS.
6. NOTIFY ENGINEER OF ALL CHANGES. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CHANGES WITHOUT NOTIFICATION.
7. DO NOT SCALE THE DRAWINGS.
8. TEDO CONNECTIONS REQUIRED AT ALL FLUSH STRUCTURAL LOAD CARRYING CONDITIONS.  
**JOISTS AND RAFTERS:**  
DOUG-FIR LARCH NO. 2 AND BETTER.
9. HEADERS AND GIRDERS:  
DOUG-FIR LARCH NO. 2 AND BETTER.
10. PRE-FABRICATED FIREPLACES AND FLUES TO BE U.L. APPROVED.
11. INSTALL SMOKE AND CARBON MONOXIDE DETECTORS IN ACCORDANCE WITH ALL MUNICIPAL AND STATE CODE REQUIREMENTS.
12. ALL WORK SHALL CONFORM TO "RESIDENTIAL CODE" OF THE STATE OF NEW YORK 2020 EDITION

### ASPHALT ROOF SHINGLE NOTE

1. ASPHALT SHINGLES SHALL HAVE SELF-SEAL STRIPS OR BE INTERLOCKING, AND COMPLY WITH ASTM D 225 OR D 3462.
2. FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, STAINLESS, ALUMINUM, OR COPPER ROOFING NAILS. MINIMUM 12 GAGE, SHANKED WITH A MINIMUM 3/8 INCH DIAMETER HEAD, OF A LENGTH TO PENETRATE THROUGH THE ROOFING MATERIALS AND SHEATHING.
3. ASPHALT SHINGLES SHALL HAVE THE MINIMUM NUMBER OF 6 FASTENERS REQUIRED BY THE MANUFACTURER. (6 MIN.)
4. FOR NORMAL APPLICATION, ASPHALT SHINGLES SHALL BE SECURED TO THE ROOF WITH NOT LESS THAN SIX FASTENERS PER STRIP SHINGLE OR TWO FASTENERS PER INDIVIDUAL SHINGLE.

### SAFETY GLASS REQUIREMENTS

SAFETY GLAZING REQUIRED AT THE FOLLOWING LOCATIONS:

1. ANY GLAZING IN ANY TYPE OF DOOR.
2. GLAZING IN ANY WALL ENCLOSED A TUB, SHOWER, SAUNA, OR STEAM ROOM. \*
3. ANY WINDOW WITHIN 2' OF A DOOR \*
4. ANY INDIVIDUAL PANE OF GLASS > 9.0 SQ FEET WHERE THE BOTTOM IS <18" ABOVE ANY FLOOR WITHIN 3' OF THE WINDOW.
5. GLAZING IN WALLS OF INDOOR POOLS, HOT TUBS, SPAS WITHIN 5' OF THE WATER. \*
6. GLAZING IN STAIRWAYS AND LANDINGS WITHIN 3'-0" HORIZONTALLY OF A WALKING SURFACE. \*

\* THE REQUIREMENT DOES NOT APPLY IF THE BOTTOM EDGE OF THE GLASS IS MORE THAN 60" ABOVE THE FLOOR.

### GENERAL NOTES: MICRO-LAM BEAMS

1. A MINIMUM OF 1.5" OF BEARING LENGTH IS REQUIRED. SEE DRAWINGS FOR POST SIZE REQUIRED.
2. BEARING ACROSS FULL LENGTH OF BEAM IS ASSUMED.
3. LATERAL SUPPORT REQUIRED AT BEARING POINTS.
4. 16" & 18" DEEP BEAMS ARE TO BE USED IN MULTIPLE UNITS ONLY.
5. NAILING PATTERN FOR ASSEMBLY OF MULTIPLE UNITS TO BE A MINIMUM (2) ROWS OF 16d NAILS AT 12" O.C., (3) ROWS OF 16d NAILS AT 12" O.C. FOR 14", 16" & 18" BEAMS.
6. ASSUME fb = 2800 psi, E = 2,000,000 psi
7. MICRO-LAM BEAMS ARE MANUFACTURED BY "TRUS JOINT CORP." AND DISTRIBUTED BY "MAJOR BUILDING PRODUCTS", MEDFORD, N.Y.
8. ALL JOIST HANGERS TO BE "MICRO-LAM" METAL LUMBER CONNECTORS. SEE DRAWINGS FOR HANGER DESIGNATION.

### NEW WINDOW AND GLASS DOOR STORM PROTECTION:

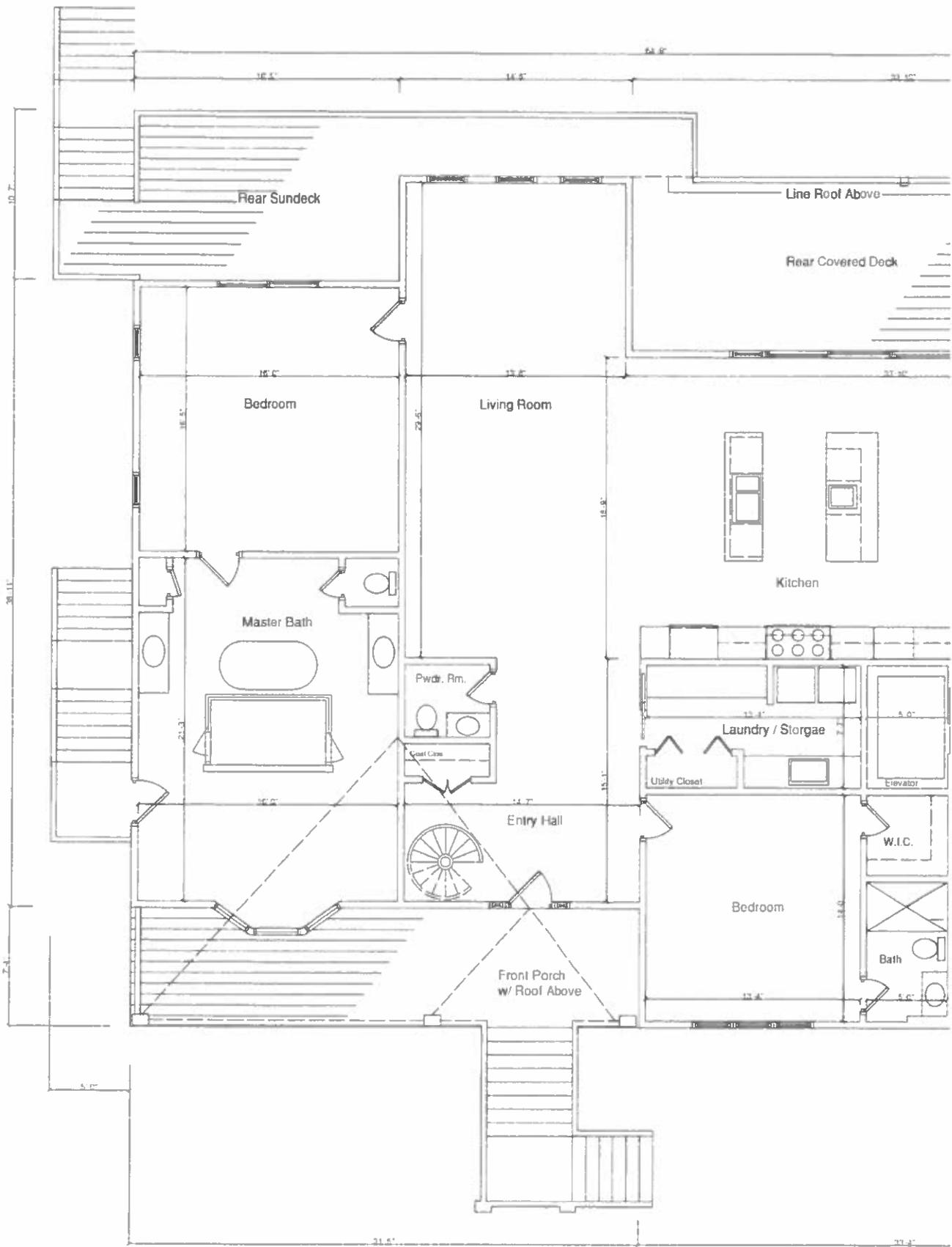
(110 MPH BASIC WIND SPEED, WITHIN ONE MILE FROM SHORELINE).

ALL NEW WINDOWS AND GLASS DOORS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM 1996 AND OR ASTM E 1886.

OR

CONTRACTOR TO PROVIDE PRE-CUT 1/2" PLYWOOD PANELS TO COVER THE GLAZED OPENINGS (SCREW INTO TRIM ONLY). PRE DRILL EDGES AT 9" O.C. TO ACCEPT 2 1/2" #8 WOOD SCREWS TOP AND

Project to be made



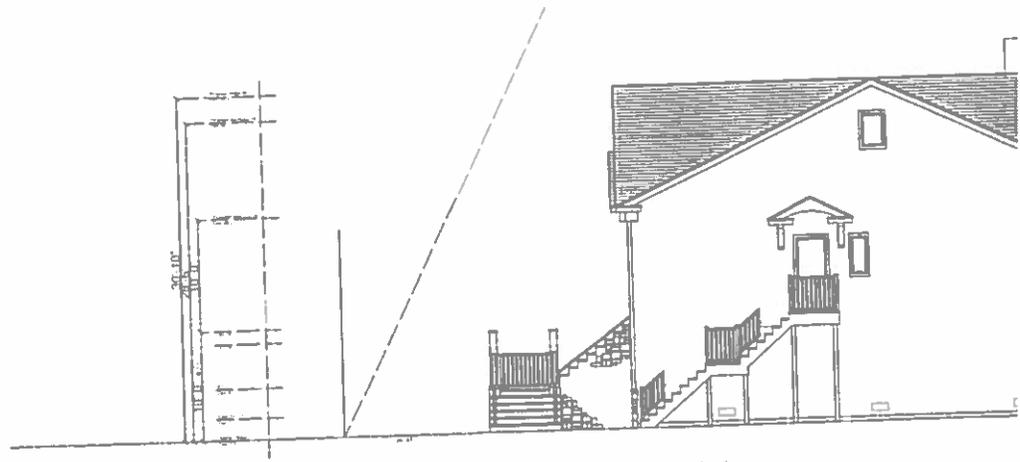
# Floor Plan

Sc. 1/4" = 1'-0"



1 Front Elevation - East  
 1/4" = 1'-0"

NO. 12345 1 - ALL WORK AND MATERIALS TO BE  
 PROVIDED BY THE CONTRACTOR UNLESS OTHERWISE NOTED



2 Side Elevation - North  
 1/4" = 1'-0"

NO. 12345 1 - ALL WORK AND MATERIALS TO BE  
 PROVIDED BY THE CONTRACTOR UNLESS OTHERWISE NOTED

Application Date: 9/28/22  
Fees Paid: \$350

SP# 3000

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 2 CEDAR STREET ZONING DISTRICT R15 A  
SECTION 62 BLOCK 170 LOT 116 LOT SIZE: 73' x 135'

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>FUSION ARCHITECTURE - JP LARDANI</u>	Name: <u>ACLD / NASSAU</u>
Address: <u>ONE FAIRCHILD CT SUITE 130</u> <u>PLAINVIEW, NY 11803</u>	Address: <u>189 WHEATLY ROAD</u> <u>BROOKVILLE, NY 11545</u>
Telephone #: <u>516 349-8808</u>	Telephone #: <u>516-626-1000</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: ONE FAMILY DWELLING Proposed Land Use: ONE FAMILY DWELLING

Description of Proposed Work: PROPOSED NEW ASPHALT DRIVEWAY  
AT GUY LOMBARDO AVENUE 20' x 30.90'

I request a preliminary meeting:  YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES  NO

[Signature]  
APPLICANT'S SIGNATURE  
Sworn to before me this 25<sup>TH</sup>  
day of AUGUST, 2022.  
[Signature]  
Notary Public

[Signature]  
Raymond A. Snyder  
Notary Public, State of New York  
No. 01SN6414245  
Qualified in Suffolk County  
Commission Expires 02/16/2025

09.25.22  
DATE

Property Owner's Consent:  
I, \_\_\_\_\_ am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]  
PROPERTY OWNER'S SIGNATURE  
Sworn to before me this 25<sup>TH</sup>  
day of AUGUST, 2022.  
[Signature]  
Notary Public

[Signature]  
Raymond A. Snyder  
Notary Public, State of New York  
No. 01SN6414245  
Qualified in Suffolk County  
Commission Expires 02/16/2025

8/25/2022  
DATE

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
Planning Board Signature: _____	Date: _____

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**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

August 12, 2022  
**SITE PLAN LETTER**

AHRC  
189 Wheatly Road  
Upper Brookville, NY 11545

**RE: 2 Cedar Street, Freeport, NY**  
**Zoning District – Residence A**  
**Sec. 62 Blk. 170 Lot 116**  
**Building Permit Application #20222900**  
**Description– Proposed new asphalt driveway**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/cd  
Encl.

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c: Village Clerk  
Performance Contracting of Long Island, Inc.  
ZBA Approval Needed: Yes  No

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20222900

Location: 2 Cedar Street, Freeport, NY

Applicant: AHRC

Description: Proposed new asphalt driveway

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:  
(only if positive determination)

Dated: August 12, 2022

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Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

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<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: <b>Aphalt Driveway</b>			
Project Location (describe, and attach a location map): <b>2 Cedar Street</b>			
Brief Description of Proposed Action: <b>New Asphalt Driveway</b>			
Name of Applicant or Sponsor: <b>George Etts</b>		Telephone: <b>631-750-6338</b>	
		E-Mail: <b>George@performancecont.com</b>	
Address: <b>240 Mill Rd</b>			
City/PO: <b>Holbrook</b>		State: <b>NY</b>	Zip Code: <b>11741</b>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/>
			YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

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	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>George Etts</u>		
Signature: _____		

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6/17/22  
Date: \_\_\_\_\_  
REPORT BUILDING DEPT.

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.



<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

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CLEF  
VILLAGE

# SITE PLANE REVIEW APPLICATION AERIAL MAP AND SITE PHOTO

**PROJECT: PROPOSED NEW ASPHALT DRIVEWAY**  
**OWNER: AHRC NASSAU**  
**LOCATION: 2 CEDAR STREET, FREEPORT, NY**  
**ZONING DISTRICT: RESIDENCE A**  
**SEC.: 62 BLK.: 170 LOT: 116**  
**BUILDING PERMIT APPLICATION: #20222900**



**AERIAL MAP**

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Proposed New Asphalt Driveway:  
2 Cedar Street  
Freeport, New York 11520  
Architect's Project No. 2021.0075  
September 6, 2022

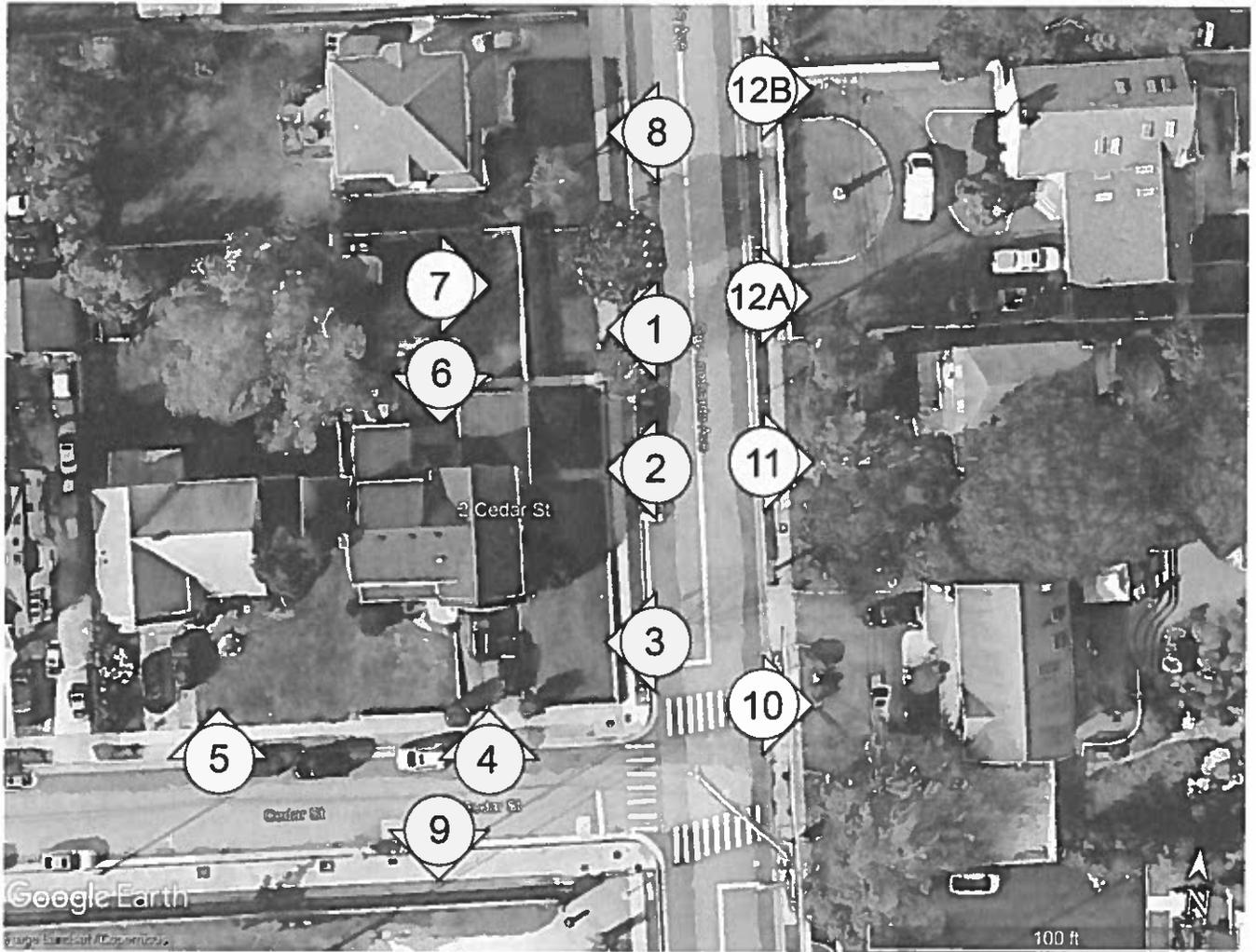


PHOTO LOCATION MAP

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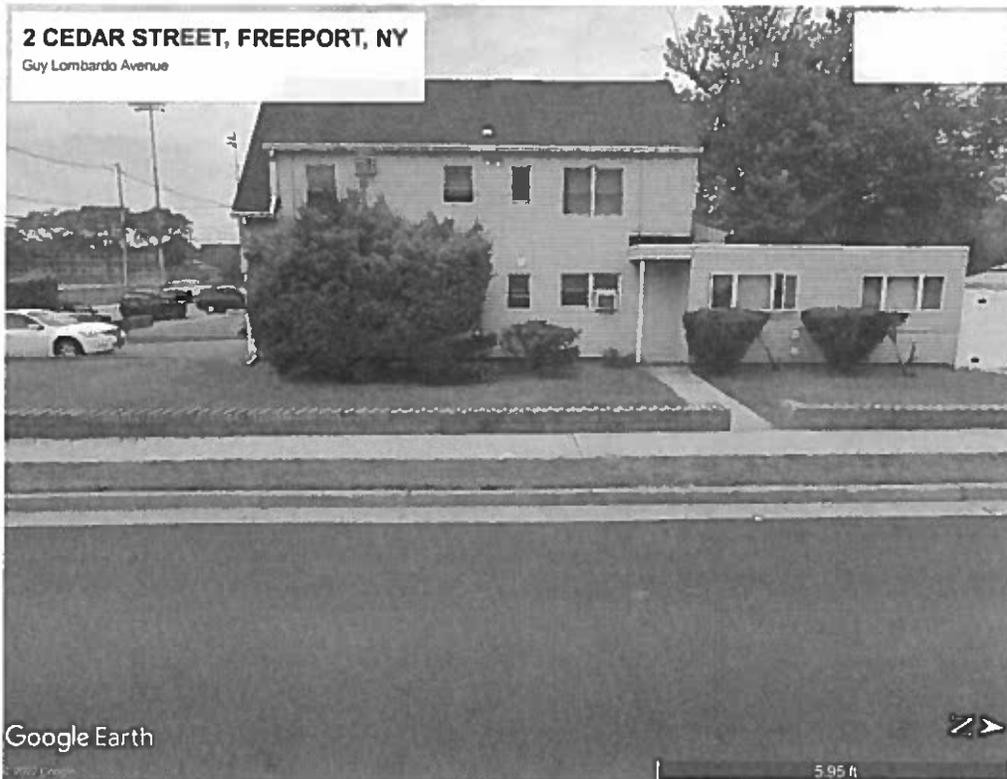
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Proposed New Asphalt Driveway:  
2 Cedar Street  
Freeport, New York 11520  
Architect's Project No. 2021.0075  
September 6, 2022



**Photo #1**  
**SUBJECT SITE (1 OF 3) AT GUY LOMBARDO AVE (LOCATION OF NEW ASPHALT DRIVEWAY)**



**Photo #2**  
**SUBJECT SITE (2 OF 3) AT GUY LOMBARDO AVENUE**

Proposed New Asphalt Driveway:  
2 Cedar Street  
Freeport, New York 11520  
Architect's Project No. 2021.0075  
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**Photo #3**  
**SUBJECT SITE (3 OF 3) AT GUY LOMBARDO AVENUE**



**Photo #4**  
**SUBJECT SITE AT CEDAR STREET**

Proposed New Asphalt Driveway:  
2 Cedar Street  
Freeport, New York 11520  
Architect's Project No. 2021.0075  
September 6, 2022

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**Photo #5**  
**SUBJECT SITE SIDE ELEVATION AND ADJACENT PROPERTY AT CEDAR STREET**



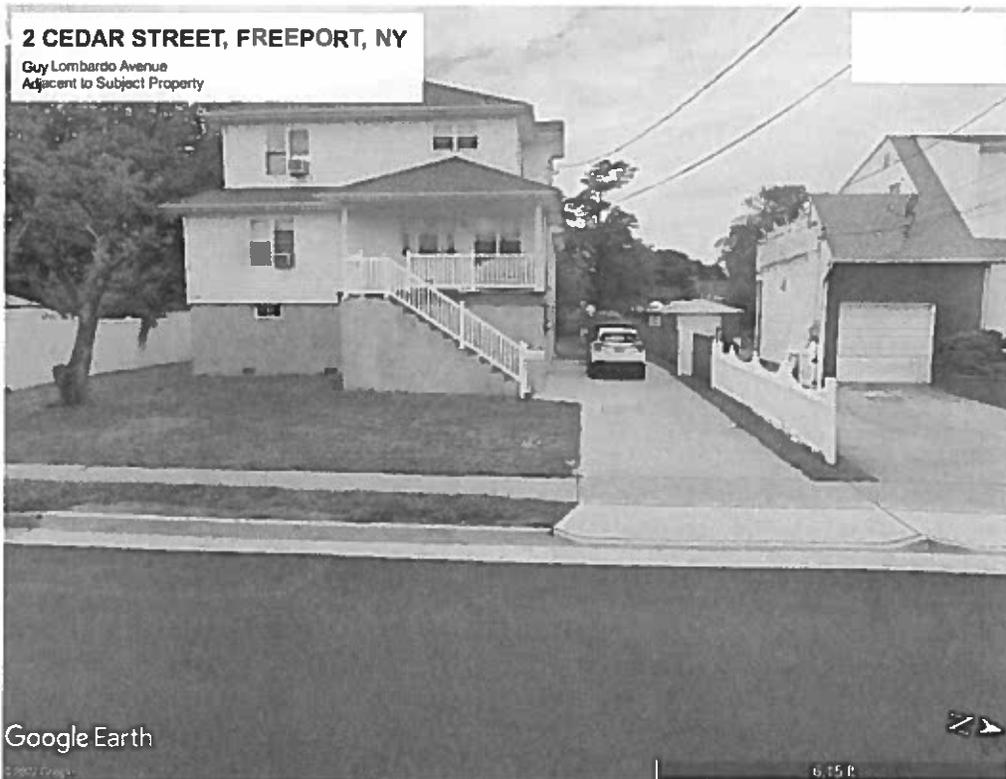
**Photo #6**  
**SUBJECT SITE REAR ELEVATION OF HOUSE**

Proposed New Asphalt Driveway:  
2 Cedar Street  
Freeport, New York 11520  
Architect's Project No. 2021.0075  
September 6, 2022

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**Photo #7**  
**SUBJECT SITE REAR YARD FACING GUY LOMBARDO AVE. (BEYOND FENCE)**



**Photo #8**  
**ADJACENT PROPERTY AT GUY LOMBARDO AVENUE**

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FREEPORT, NY

Proposed New Asphalt Driveway:  
2 Cedar Street  
Freeport, New York 11520  
Architect's Project No. 2021.0075  
September 6, 2022



**Photo #9**  
**CEDAR STREET ACROSS FROM SUBJECT PROPERTY**



**Photo #10**  
**GUY LOMBARDO AVENUE ACROSS FROM SUBJECT PROPERTY**

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2 Cedar Street  
Freeport, New York 11520  
Architect's Project No. 2021.0075  
September 6, 2022

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**Photo #11**  
**GUY LOMBARDO AVENUE ACROSS FROM SUBJECT PROPERTY**



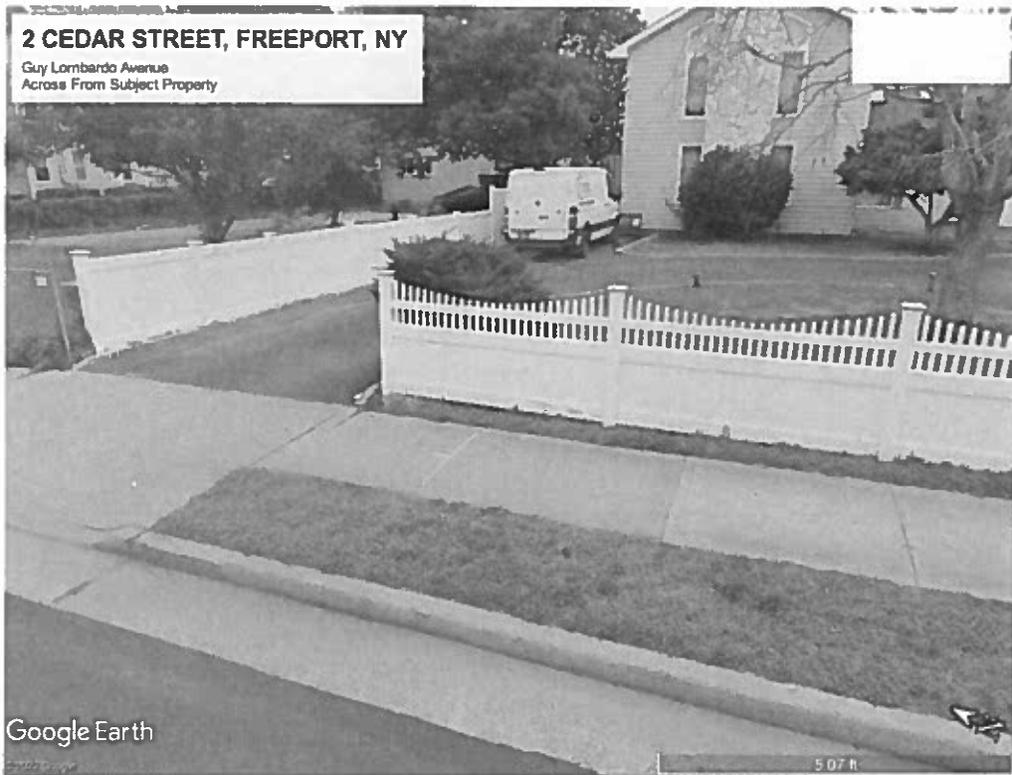
**Photo #12A**  
**GUY LOMBARDO AVENUE ACROSS FROM SUBJECT PROPERTY (1 OF 2)**

Proposed New Asphalt Driveway:  
2 Cedar Street  
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Architect's Project No. 2021.0075  
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**Photo #12B**  
**GUY LOMBARDO AVENUE ACROSS FROM SUBJECT PROPERTY (2 OF 2)**

Proposed New Asphalt Driveway:  
2 Cedar Street  
Freeport, New York 11520  
Architect's Project No. 2021.0075  
September 6, 2022





# AHRC NASSAU

## ALTERATIONS TO RESIDENCE:

### 2 CEDAR STREET

### FREEPORT, NEW YORK 11520



JEAN-PIERRE LARDOUX, AIA, NCARB  
 NY LIC. NO. 033903  
 NJ LIC. NO. 12908  
 CT LIC. NO. 8860  
 PA LIC. NO. 23910  
 FL LIC. NO. ARS00416  
 CO LIC. NO. ARS20482614  
 NY8 HERS RATER NO. 0131  
 NYC SPECIAL INSPECTION AGENCY LIC. NO. 004781

CONSULTANTS:

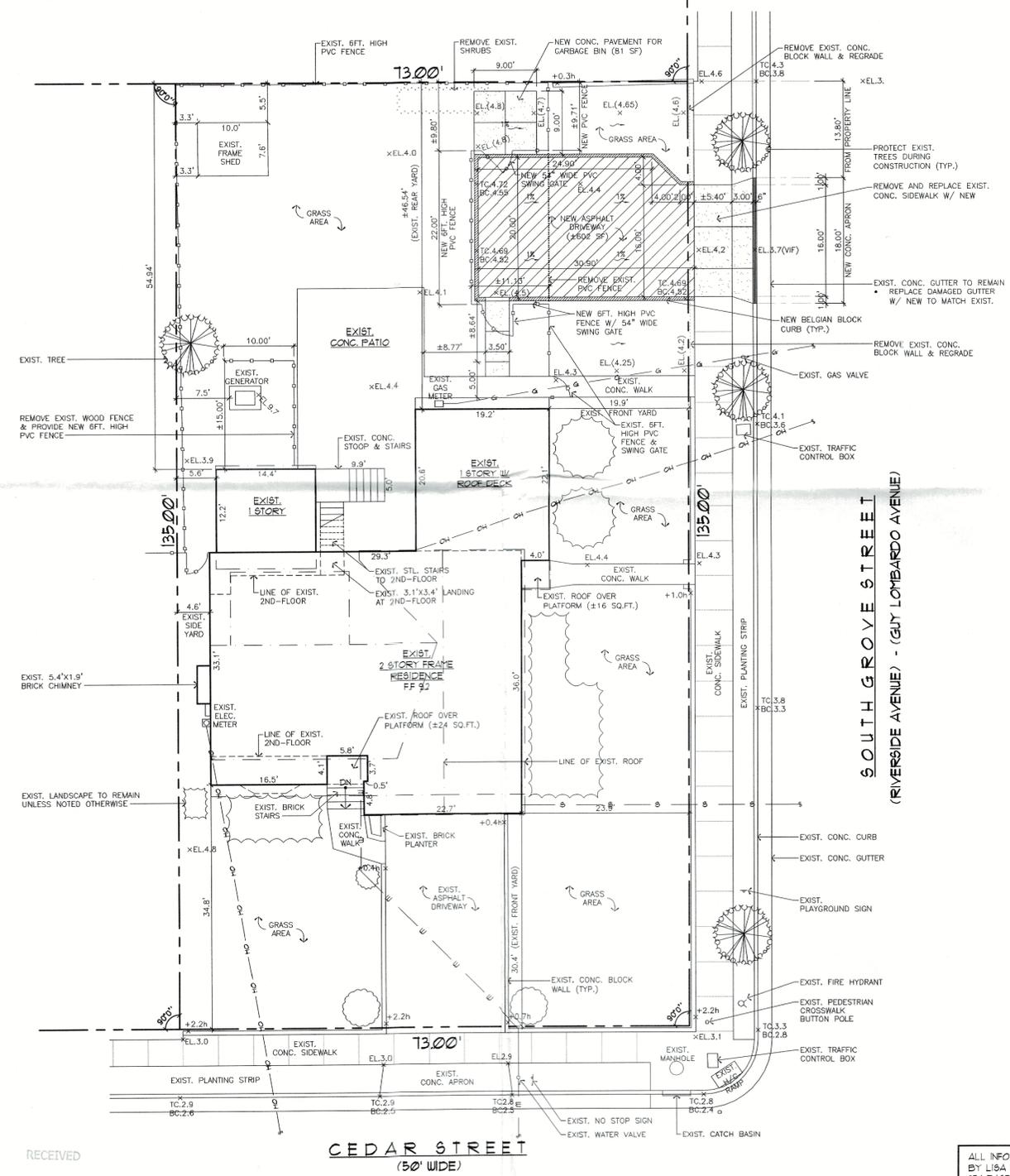
CLIENT:  
 AHRC NASSAU  
 189 WHEATLEY ROAD  
 BROOKLYN, NEW YORK 11545  
 (516) 626-1000

PROJECT:  
 NEW DRIVEWAY AND CURB CUT:  
 2 CEDAR STREET  
 FREEPORT, NEW YORK 11520

SHEET TITLE:  
 TITLE SHEET, SITE PLAN,  
 LIST OF DRAWINGS,  
 SITE LOCATION MAP,  
 ZONING INFORMATION,  
 & GENERAL NOTES

REVISIONS		
NO.	DATE	DESCRIPTION
03-13-22		SITE PLAN REVIEW SUBMISSION
03-26-22		MEETING WITH V.O. FREEPORT
04-18-22		ISSUE FOR PERMIT

DRAWN BY: KJA / BM  
 CHECKED BY: JPL  
 DATE: 04-12-22  
 SCALE: AS NOTED  
 PROJECT NO: 2021015



### LEGEND OF SYMBOLS

	Proposed Concrete Walk		Existing Overhead Electric Service
	Property Line		Line of Roof above
	Remove Existing		Existing PVC Fence
	Existing Sanitary Sewer		New PVC Fence
	Existing Water Service		New Chain-Link Fence
	Existing U/G Gas Service		

### ZONING INFORMATION

TAX MAP NO.	SECTION: 62	BLOCK: 170	LOT: 116
MUNICIPALITY	VILLAGE OF FREEPORT	RESIDENCE A	
DESCRIPTIONS	REQUIRED OR ALLOWED	PROPOSED	
USE	ONE-FAMILY DWELLING	ONE-FAMILY DWELLING (NO CHANGE)	
BUILDING HEIGHT	MAX. 35 FT.	42.3 FT. (NO CHANGE)	
LOT AREA	MIN. 5,000 SQFT.	9,855 SQFT. (NO CHANGE)	
STREET FRONTAGE	MIN. 50 FT.	73 FT. (NO CHANGE)	
LOT COVERAGE	MIN. 30%	2,163 / 9,855 X 100 = 21.95%	
		MAIN BUILDING: 4,123 SQFT.	
FLOOR AREA RATIO	MAX. 50%	EXIST. PLATFORM W/ ROOF: 24'16" X 40' 9"	
		(2,123 + 14,000) / 9,855 X 100 = 35.75%	
FRONT YARD	MIN. 20 FT. OR AVG. DEPTH WITHIN 200 FT.	19.9 FT. & 30.4 FT. (NO CHANGE)	
		2ND FLOOR: 11,400 SQFT.	
REAR YARD	MIN. 20 FT. OR 20% OF LOT DEPTH WHICHEVER IS GREATER: 135 X 20% = 27 FT.	46.54 FT. (NO CHANGE)	
SIDE YARD	MIN. 5 FT.	4.6 FT. (NO CHANGE)	

### SITE WORK NOTES

- NEW SITE CONCRETE:
  - SITE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (FC) OF 4,000 PSI UNLESS NOTED OTHERWISE. REQUIREMENTS FOR FC SHALL BE BASED ON CONCRETE CYLINDER TESTS, TESTED AT 28 DAYS.
  - CONCRETE EXPOSED TO FREEZING AND THAWING WHILE MOIST SHALL BE AIR ENTRAINED IN ACCORDANCE W/ ACI 318, SECTION 4.4.1.
- PROVIDE 3" TOP SOIL & SEED AT DISTURBED AREAS (TYP.)
- EXIST. U/G UTILITY SERVICE SHALL REMAIN UNLESS NOTED OTHERWISE.

CONTRACTOR SHALL VERIFY EXIST. U/G UTILITY SERVICES. CALL 811 BEFORE EXCAVATION

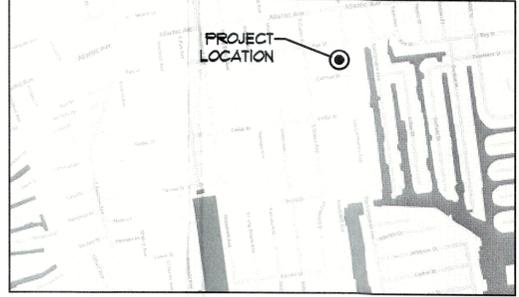
ALL INFORMATION TAKEN FROM SURVEY AS PREPARED BY LISA MCQUILKIN LAND SURVEYING 274 EAST MAIN STREET, EAST ISLIP, NEW YORK 11730 SURVEY DATED: OCTOBER 13, 2011 SURVEY UPDATED: JANUARY 25, 2022

### LIST OF DRAWINGS

T-1	TITLE SHEET, SITE PLAN, LIST OF DRAWINGS & LOCATION MAP
ST-1	SITE WORK DETAILS

### GENERAL NOTES

- CONTRACTOR SHALL CHECK & VERIFY ALL CONDITIONS AT THE SITE PRIOR TO STARTING OF WORK AND SHALL FAMILIARIZE HIMSELF WITH THE INTENT OF THE PLANS & MAKE WORK AGREE WITH THEM.
- CONTRACTOR SHALL OBTAIN A BUILDING PERMIT FROM THE LOCAL TOWN OR VILLAGE PRIOR TO STARTING ANY WORK AND PAY FOR SAME. CONTRACTOR SHALL FILE FOR SEPARATE FENCE PERMIT IF REQUIRED.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED APPROVALS, PERMITS, CERTIFICATES OF OCCUPANCY, INSPECTION APPROVALS, ETC. FOR WORK PERFORMED FROM AGENCIES HAVING JURISDICTION.
- ALL WORK SHALL CONFORM TO THE STATE BUILDING CODE, STATE ENERGY CONSERVATION CODE & ALL RULES AND REGULATIONS OF THE TOWN OR VILLAGE.
- IF IN THE COURSE OF CONSTRUCTION A CONDITION ARISES WHICH DISAGREES WITH THAT AS INDICATED ON THESE PLANS, THE CONTRACTOR SHALL STOP WORK & NOTIFY THE ARCHITECT. SHOULD HE FAIL TO FOLLOW THIS PROCEDURE & CONTINUE WITH THE WORK, HE SHALL ASSUME ALL RESPONSIBILITY & LIABILITY ARISING THEREFROM.
- DRAWINGS ARE NOT TO BE SCALED; DIMENSIONS GOVERN.



**SITE LOCATION MAP**  
 SCALE: N.T.S.



Application Date: 11/3/22  
Fees Paid: \$225.00

SP# 3604

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 46 Fairview Place ZONING DISTRICT Residence A  
SECTION 62 BLOCK 187 LOT 827 LOT SIZE: 15,000 sq.ft.

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	<input type="checkbox"/> PROPERTY OWNER
Name: <u>Qi Fei Long</u>		Name: <u>Qi Fei Long</u>	
Address: <u>46 Fairview Place</u>		Address: <u>46 Fairview Place</u>	
<u>Freeport NY 11520</u>		<u>Freeport N.Y 11520</u>	
Telephone #: <u>917 916 3898</u>		Telephone #: <u>917 916 3898</u>	

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: Facade improvement and construct a new front porch

I request a preliminary meeting:  YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES  NO

[Signature]  
APPLICANT'S SIGNATURE

10/14/22  
DATE

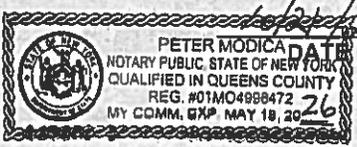
Sworn to before me this 14  
day of October, 2022  
[Signature]  
Notary Public



VILLAGE CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY  
2022 NOV - 3 A 9 38  
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Property Owner's Consent:  
I, Qi Fei Long am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]  
PROPERTY OWNER'S SIGNATURE  
Sworn to before me this 21  
day of October, 2022



Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

**SUBMISSION CHECKLIST**

YES    NO    N/A

- |                                     |                                     |                                     |    |   |
|-------------------------------------|-------------------------------------|-------------------------------------|----|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | 1. | The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only)  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | 2. | The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | 3. | A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | a. | Title of drawing, including name and address of applicant.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | b. | North point, scale, and date.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | c. | Boundaries of the project.  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | d. | Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | e. | Floodplain boundaries as determined by the Federal Emergency Management Agency.   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | f. | Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | g. | Location of outdoor storage and description of materials to be stored.  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | h. | Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | i. | Location and description of all proposed waterfront public access/recreation provisions.  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | j. | Description of sewage disposal and water supply systems and locations of such facilities.   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | k. | Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | l. | Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | m. | Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | n. | Location, design and size of all signs and lighting facilities.   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | o. | Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | p. | Building orientation and site design for energy efficiency and visual quality.  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | q. | Location and design of all energy distribution facilities, including electrical, gas, and solar energy.   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | r. | Description and location of erosion control measures including proposed location of sediment sink/settling pond and interceptor swales, etc.  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | s. | Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | t. | Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development. |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | u. | Estimated project construction schedule.  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | v. | Record of application for approval status of all necessary permits from federal, state and county officials.  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | w. | Identification of any federal, state or county permits required for project execution.  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | x. | The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.  |



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

ROBERT T. KENNEDY  
MAYOR

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

October 19, 2022  
**AMENDED SITE PLAN LETTER**

Qi Fei Long  
46 Fairview Place  
Freeport, NY 11520

**RE: 46 Fairview Place, Freeport, NY**  
**Zoning District: Residence A Sec 62 Blk 187 Lot 827**  
**Building Permit Application #20222985**  
**Description: Construct a new front portico**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

  
Sergio A. Mauras  
Superintendent of Buildings

/cd  
encl.

c: Village Clerk  
Willy Zambrano, R.A.

ZBA Approval Needed: Yes \_\_\_ No X

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VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

       The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20222985

Location: 46 Fairview Place, Freeport, NY

Applicant: Qi Fei Long

Description: Construct a new front portico

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

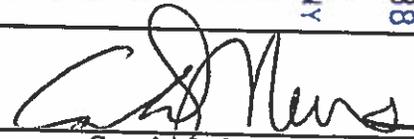
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: October 19, 2022  
AMENDED

  
Sergio A. Mauras  
Superintendent of Buildings

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**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form

20222985

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <u>Portico</u>			
Project Location (describe, and attach a location map): <u>46 Fairview Place, Freeport NY 11520</u>			
Brief Description of Proposed Action: <u>Construct a new front portico</u>			
Name of Applicant or Sponsor: <u>Q. Fei Long</u>		Telephone: <u>917 916 3898</u>	
Address: <u>46 Fairview Place</u>		E-Mail: <u>q.feilong@yahoo.com</u>	
City/PO: <u>Freeport</u>		State: <u>N.Y.</u>	Zip Code: <u>11520</u>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ acres		CLERK'S OFFICE VILLAGE OF FREEPORT, NY  3 A 9 38  RECEIVED	
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): <u>Bay Water Front</u> <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input checked="" type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Di Fei Leng</u>		Date: <u>8/26/2022</u>
Signature: 		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

ADDRESS: 46 FAIRVIEW PLACE, FREEPORT

\*DO NOT SHOW CORNER AT 184 OF FIELD WORK

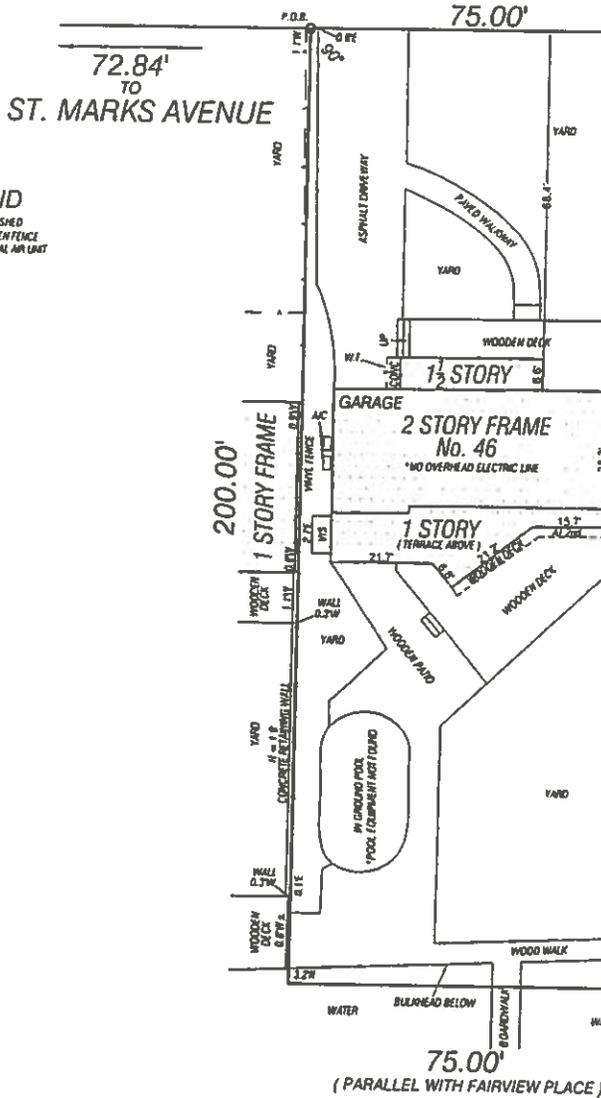
DESIGNATED AS LOT Nos. 142-144 & PIO 141 ON "MAP OF RANDALL BAY ESTATES, SECTION 1" FILED ON JULY 10, 1924 AS CASE No. 3344

AREA OF LOT = 15,000.00 sq. ft.



FAIRVIEW

PLACE



LEGEND  
WS - WASH SHED  
WF - WOODEN FENCE  
AC - CENTRAL AIR UNIT

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1. GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON OR PERSONS FOR WHOM THE SURVEY IS PREPARED AND CERTIFIED TO AND ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
2. EASEMENTS OF RECORD ARE ONLY GUARANTEED IF A DESCRIPTIVE ABSTRACT OF TITLE IS FURNISHED TO THE SURVEYOR.
3. THIS MAP WAS MADE AT A SCALE OF 1"=25' WHEN ORIGINALLY DRAWN.
4. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.
5. IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.
6. ARCHITECTS MUST ORDER A TOPOGRAPHICAL MAP SPECIFYING THEIR EXACT NEEDS.
7. ALL ELEVATIONS SHOWN IF ANY REFER TO THE NAVD1988.
8. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED OR EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
9. CONSULT WITH THE HIGHWAY DEPARTMENT BEFORE DESIGNING, INSTALLING, OR MODIFYING ANY NEW OR EXISTING CURBS, WALKS, OR ROADWAYS IN THE STREETS SHOWN HEREON.
10. SUBSURFACE INFORMATION SHOWN WERE OBTAINED FROM VARIOUS CITY DEPARTMENTS AND/OR PRIVATE UTILITY COMPANIES. THE SURVEYOR ACCEPTS NO RESPONSIBILITY FOR ANY OF THIS DATA.
11. SURVEYED AS IN POSSESSION.

CERTIFIED TO:  
FEILONG QI  
A&D MORTGAGE LLC, ISAOA/ATIMA  
LIBERTY LAND ABSTRACT  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

TITLE No.  
LL-40233-21-N

ANASTASIA I. PARSATOON  
LAND SURVEYING, P.C.  
1300 JERICHO TURNPIKE, STE. 207  
NEW HYDE PARK, NY 11040  
OFFICE (516) 352-0396  
EMAIL: INFO@AIPLS.COM  
SURVEY No. PN006852  
TOWN OF HEMPSTEAD  
COUNTY OF NASSAU  
STATE OF NEW YORK  
TAX MAP  
DISTRICT  
SECTION 62  
BLOCK 187  
LOT 827

DATE: FEBRUARY 1st, 2022



ANASTASIA I. PARSATOON, L.S.  
NEW YORK LICENSE 051088

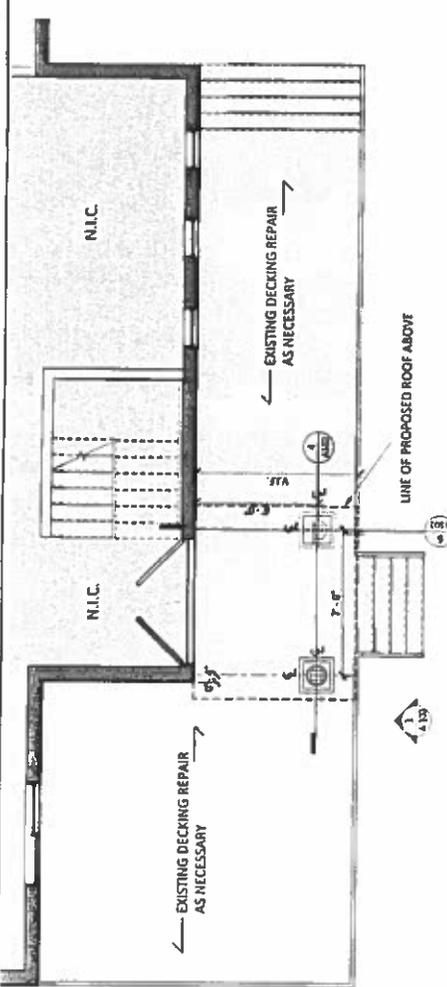




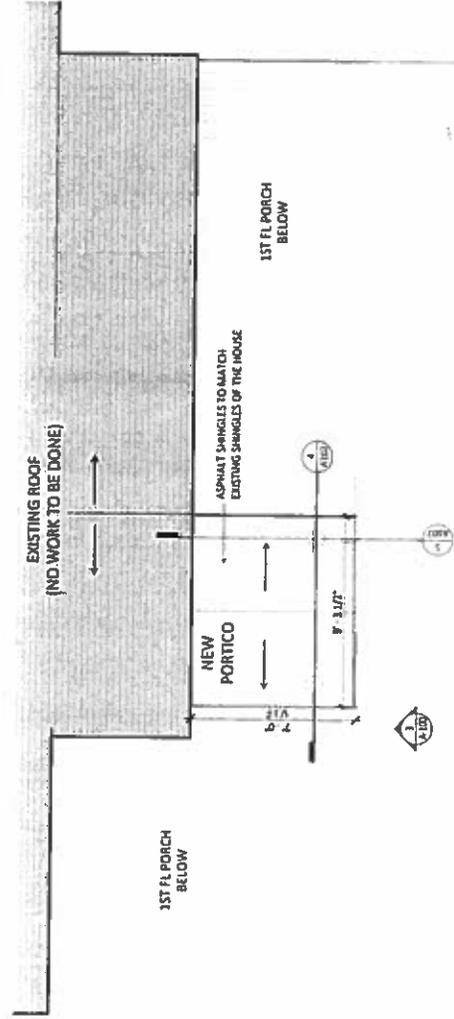
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01 RESIDENCE  
46 FAIRVIEW PLACE  
FREEPORT, NY 11530  
PARTIAL EXISTING FLOOR PLAN  
AND ROOF



2 PARTIAL EX'G 1ST FLOOR PLAN



1 PARTIAL EX'G ROOF PLAN

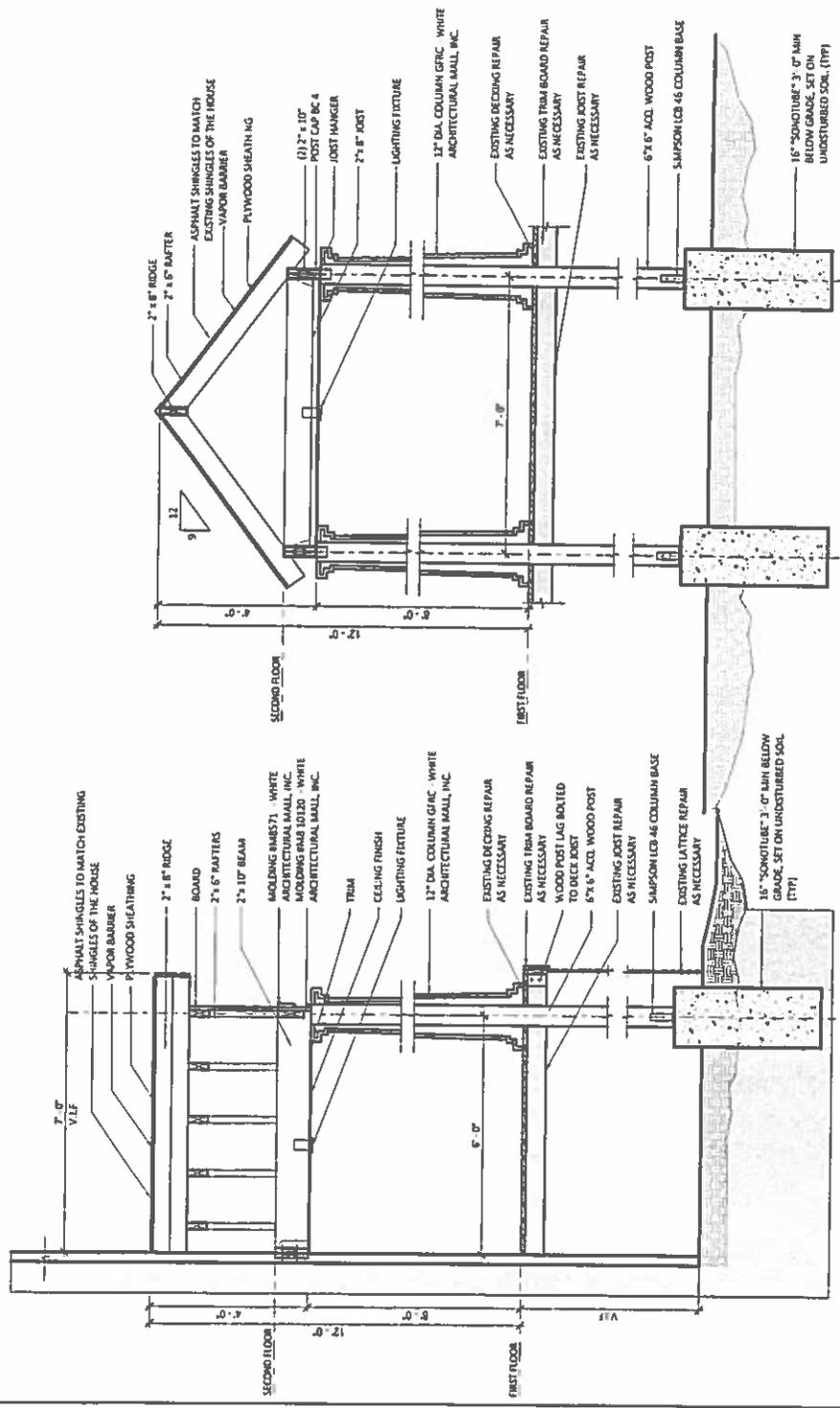
# ZAD

ZAMBRANO ARCHITECTS, LLP  
 100 WEST 11TH STREET, SUITE 1100  
 NEW YORK, NY 10011  
 TEL: 212.337.0881 FAX: 212.337.5112

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Q1 RESIDENCE  
 46 FAIRVIEW PLACE (REVISION: 07/18)  
 46 FAIRVIEW PLACE  
 PROJECT: P-1208

ENLARGED SECTIONS OF  
 PROPOSED PORTICO



4 PORTICO DETAIL SECTION 1

5 PORTICO DETAIL SECTION 2

ZAD

ZAMBRANO ARCHITECTS  
100 WEST 10TH STREET  
SUITE 200  
FREEPORT, NY 11520  
TEL: 516.466.1111  
WWW.ZAMBRANOARCHITECTS.COM

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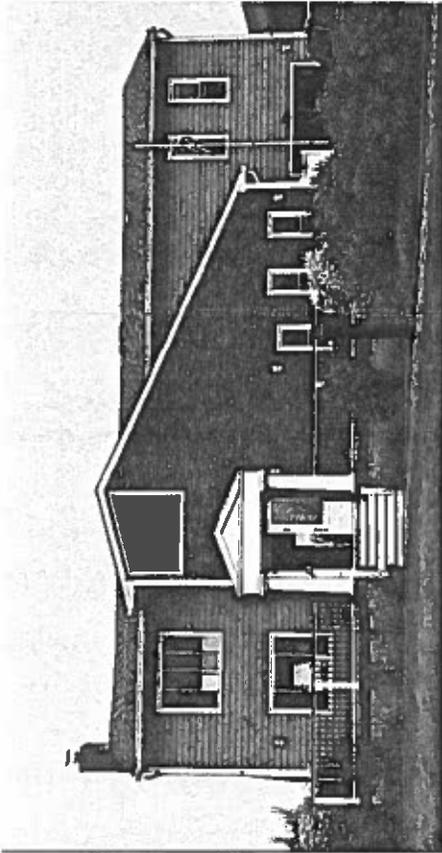
THIS IS TO CERTIFY THAT THE ABOVE DESCRIBED WORK HAS BEEN COMPLETED TO THE SATISFACTION OF THE TOWN ENGINEER AND THE TOWN CLERK AND THAT THE SAME IS IN ACCORDANCE WITH THE TOWN ORDINANCES AND THE TOWN ENGINEER'S APPROVAL.

CI RESIDENCE

46 FAIRVIEW PLACE

FREEPORT, NY 11520

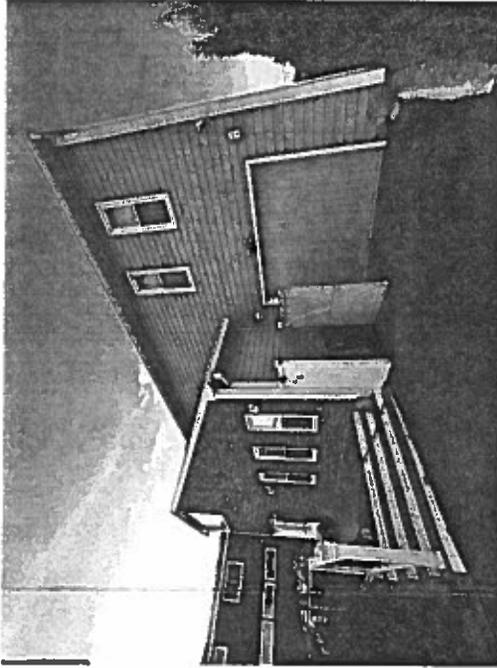
PICTURES OF EXISTING FACADE



EXISTING FRONT FACADE WITH NEW PROPOSED PORTICO (COLOR WHITE)



EXISTING FRONT FACADE - SIDE VIEW LEFT



EXISTING FRONT FACADE - SIDE VIEW RIGHT

ZAD

180 PARK AVENUE, SUITE 1200  
NEW YORK, NY 10022  
TEL: 212 697 8888 FAX: 212 697 8912

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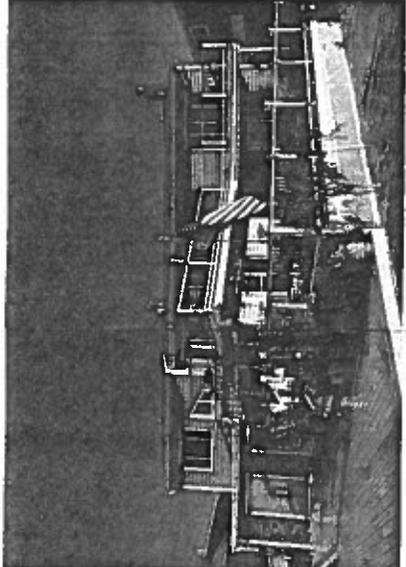
01 RESIDENCE

46 FAIRVIEW PLACE

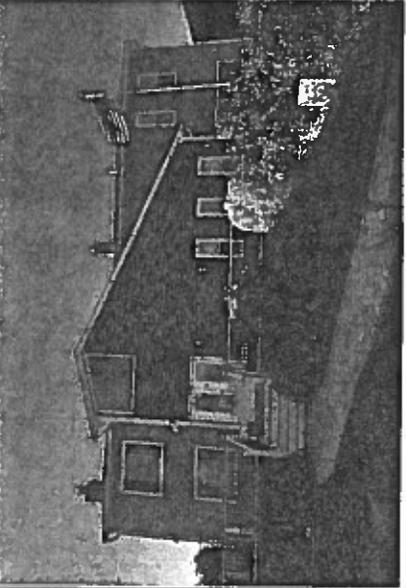
FREEPORT, NY 11002



PICTURES OF EXISTING FACADES  
ON FOUR SIDES



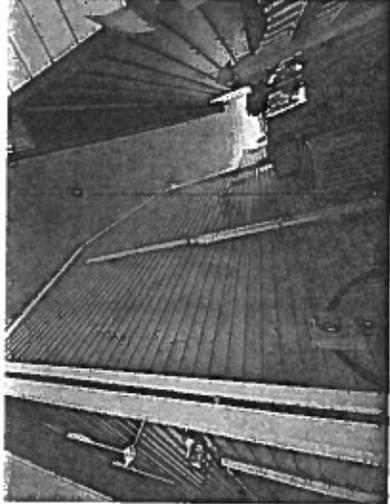
EXISTING REAR (SOUTH) FACADE OF SUBJECT PARCEL



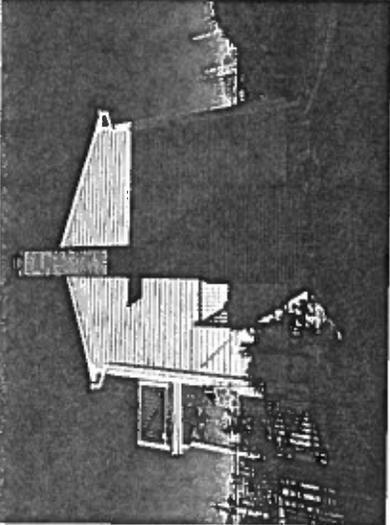
EXISTING FRONT (NORTH) FACADE OF SUBJECT PARCEL



EXISTING SIDE (WEST) FACADE OF SUBJECT PARCEL  
LOOKING FROM THE SOUTH



EXISTING SIDE (WEST) FACADE OF SUBJECT PARCEL  
LOOKING FROM THE NORTH



EXISTING SIDE (EAST) FACADE OF SUBJECT PARCEL

**ZAD**  
 ZAMBRANO ARCHITECTS, C.O.  
 100 WEST 11TH STREET, 10TH FLOOR  
 NEW YORK, NY 10011  
 T. 212.279.0881 F. 212.279.0743

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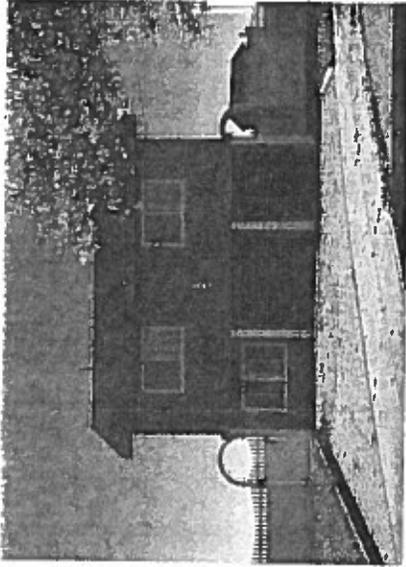
Q1 RESIDENCE

46 FAIRVIEW PLACE

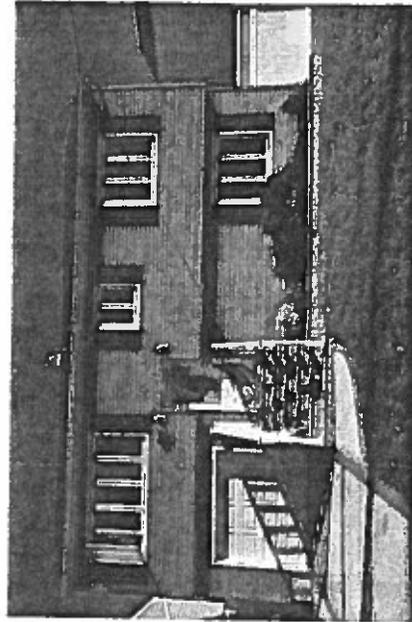
FREEPORT, NY 11001

PROJECT, 01/18/20

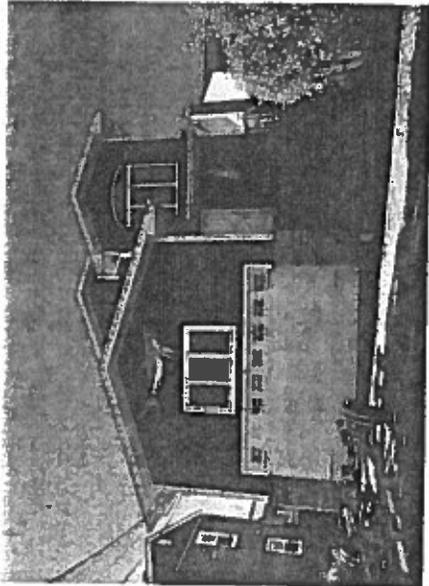
PICTURES OF EXISTING  
 NEIGHBORING FACADES



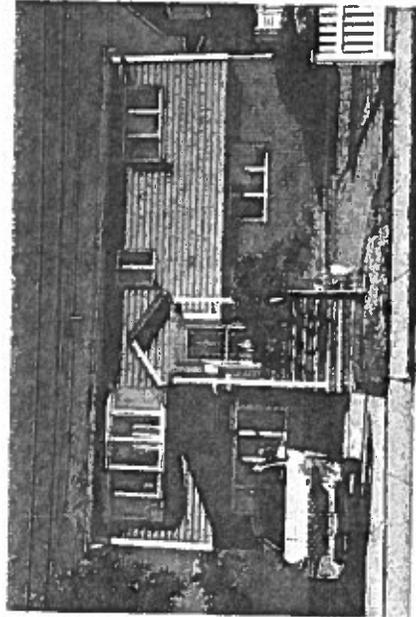
EXISTING PARCEL WEST TO THE SUBJECT PARCEL



EXISTING PARCEL IN FRONT OF SUBJECT PARCEL



EXISTING PARCEL EAST TO THE SUBJECT PARCEL



EXISTING PARCEL IN FRONT OF SUBJECT PARCEL

Application Date: 11/16/22  
Fees Paid: \_\_\_\_\_

SP# 3605

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 635 Nassau Ave ZONING DISTRICT Residence C  
SECTION 62 BLOCK 186 LOT 127 LOT SIZE: \_\_\_\_\_

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Joseph Muccioli</u>			Name: <u>Joseph Muccioli</u>
Address: <u>635 Nassau Ave</u>			Address: <u>635 Nassau Ave</u>
<u>Freeport NY 11520</u>			<u>Freeport NY 11520</u>
Telephone #:			Telephone #:

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: Residential home Proposed Land Use: Residential home

Description of Proposed Work: Construct new 407 sq ft deck

I request a preliminary meeting: \_\_\_\_\_ YES  NO

- I request a waiver of the public hearing and hereby certify the following:
- A. The subject property is zoned Residence A or Residence AA.
  - B. The proposed construction is not a new building or dwelling.
  - C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

\_\_\_\_\_  
APPLICANT'S SIGNATURE DATE 8/30/2022

Sworn to before me this 30th day of August, 2022.  
Notary Public TARA COLLETTI  
NOTARY PUBLIC STATE OF NEW YORK  
No. 01CO0309284  
Qualified in Nassau County  
My Commission Expires 08-11-2026

Property Owner's Consent: Joseph Muccioli am (are) the owner(s) of the subject property and consent to the filing of this application.

\_\_\_\_\_  
PROPERTY OWNER'S SIGNATURE DATE 8/30/2022  
Sworn to before me this 30th day of August, 2022.  
Notary Public TARA COLLETTI  
NOTARY PUBLIC STATE OF NEW YORK  
No. 01CO0309284  
Qualified in Nassau County  
My Commission Expires 08-11-2026

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: \_\_\_\_\_ YES \_\_\_\_\_ NO Date of Hearing: \_\_\_\_\_ Date of Decision: \_\_\_\_\_

Village Clerk's Signature: \_\_\_\_\_ Approved \_\_\_\_\_ Denied \_\_\_\_\_  
Date: 19 NOV 2022

Planning Board Signature: \_\_\_\_\_ Date: \_\_\_\_\_

RECEIVED



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**  
46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

November 2, 2022  
**UPDATED SITE PLAN LETTER**

Joseph Micciulli  
635 Nassau Avenue  
Freeport, NY 11520

**RE: 635 Nassau Avenue, Freeport, NY**  
**Zoning District: Residence A Sec 62 Blk 186 Lot 127**  
**Building Permit Application #20222929**  
**Description: Construct a new 407 sq. ft. deck**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings

/cd  
Encl.

c: Village Clerk  
Robert Bennett, R.A.

ZBA Approval Needed: Yes  No

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

       The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20222929

Location: 635 Nassau Avenue, Freeport, NY

Applicant: Joseph Micciulli

Description: Construct a 407 sq. ft. deck

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

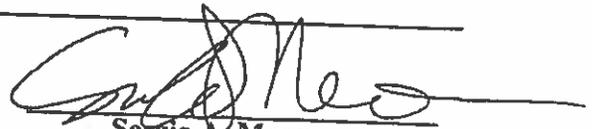
**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_  
\_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)  
\_\_\_\_\_  
\_\_\_\_\_

Dated: November 2, 2022 - Updated

  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

01/20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <span style="font-size: 1.2em; margin-left: 100px;">Second Story Deck</span>			
Project Location (describe, and attach a location map): <span style="font-size: 1.2em; margin-left: 100px;">635 Nassau Ave Freeport N.Y. 11520</span>			
Brief Description of Proposed Action: <span style="font-size: 1.2em; margin-left: 100px;">A.D.D. Second Story Deck 4074</span>			
Name of Applicant or Sponsor: <span style="font-size: 1.2em; margin-left: 20px;">JOSEPH Micciulli</span>		Telephone: <span style="font-size: 1.2em; margin-left: 20px;">(516) 639-7296</span> E-Mail: <span style="font-size: 1.2em; margin-left: 20px;">jjmicciulli592@gmail.com</span>	
Address: <span style="font-size: 1.2em; margin-left: 20px;">635 Nassau Ave</span>			
City/PO: <span style="font-size: 1.2em; margin-left: 20px;">Freeport</span>		State: <span style="font-size: 1.2em; margin-left: 20px;">N.Y</span>	Zip Code: <span style="font-size: 1.2em; margin-left: 20px;">11520</span>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
3.a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres		<div style="border: 2px solid black; padding: 10px; width: fit-content; margin: auto;"> <p style="margin: 0; font-weight: bold; font-size: 1.5em;">RECEIVED</p> <p style="margin: 5px 0 0 0;">JUL 28 2022</p> <p style="margin: 0; font-size: 0.8em;">FREEPORT BUILDING DEPT</p> </div>	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

	NO	YES	NA
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input checked="" type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?		<input checked="" type="checkbox"/>	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO		YES <input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO		YES <input checked="" type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO		YES <input checked="" type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO		YES <input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO		YES <input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO		YES <input checked="" type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO		YES <input checked="" type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO		YES <input checked="" type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input checked="" type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. (Check All that apply): <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban	PROJECT SITE CHECK ALL THAT APPLY 111 5 8 022 FREEPORT BUILDING DEPT.		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO		YES <input checked="" type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	NO		YES <input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO		YES <input checked="" type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Joseph Micculli Date: July 13 2022  
 Signature: Joseph Micculli

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	✓	
2. Will the proposed action result in a change in the use or intensity of use of land?	✓	
3. Will the proposed action impair the character or quality of the existing community?	✓	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	✓	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	✓	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	✓	
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	✓	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	✓	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	✓	

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 FREEPORT BUILDING DEPT.

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	✓	
11. Will the proposed action create a hazard to environmental resources or human health?	✓	

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 JUL 28 2022  
 FREEPORT BUILDING DEPT.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**INCORPORATED VILLAGE OF FREEPORT  
ZONING BOARD OF APPEALS DECISION**

**DATE: October 20, 2022**

**APPROVAL**

Building Department Permit Application# 20222929

Chairman, regarding Application #2022-37 for the premises located at 635 Nassau Avenue, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, §210-43 seeking approval to construct a new 407 square foot deck.

I, Charles Hawkins, move that this Board make the following findings of fact:

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
  - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance; The shortfall in the front yard setback is due primarily to the property being located at the edge of a cul de sac wherein the property is partly cut off by the street. The deck will be in line with the rest of the house, and set back from the overhang of the house.
  - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;
  - c. that the requested area variance is insubstantial;
  - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
  - e. that the alleged difficulty was not self-created.
2. The Board, as lead agency, has determined that this action is a Type II action and under SEQRA and no further review is required.

I further move that this application be granted subject to the following conditions:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.
3. This application for variance(s) is being granted on the basis of the specific use proposed. If anything in this application is to change, the applicant must return to the Board for further review.

**Second by: Drew Scopelitis**

**The Clerk polled the Board:**

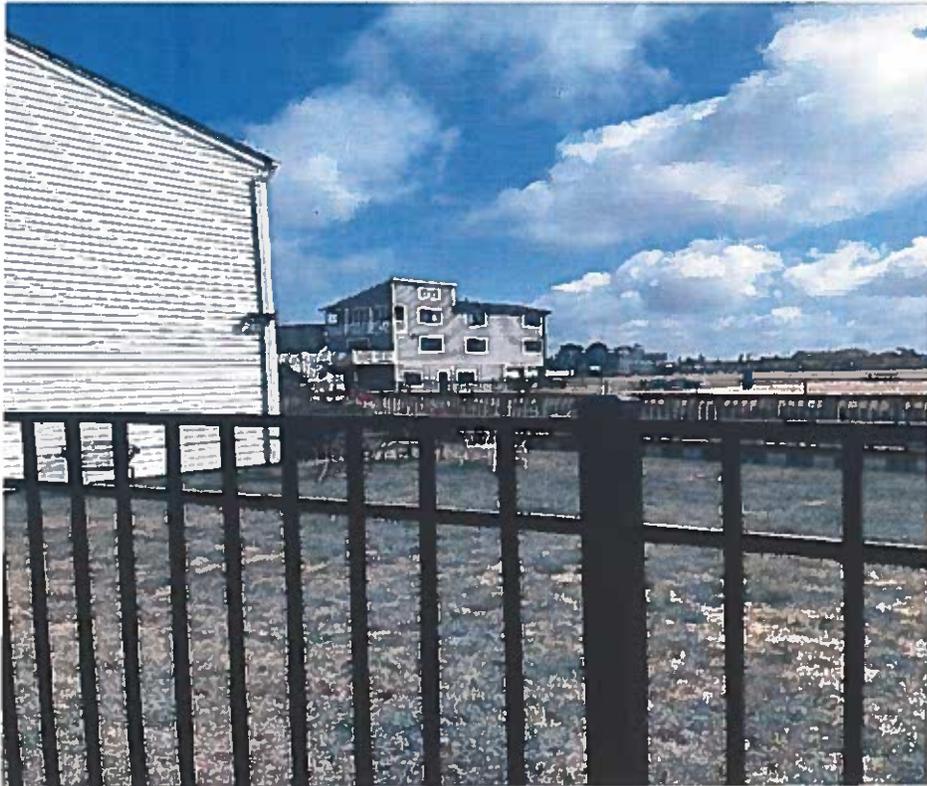
Deputy Carey	In Favor
Member Mineo	Excused
Member Jackson	Excused
Member Hawkins	In Favor
Alternate Pinzon	In Favor
Alternate Scopelitis	In Favor
Chairperson Rhoden	In Favor





South wall where deck will go

South Facing wall / view to north



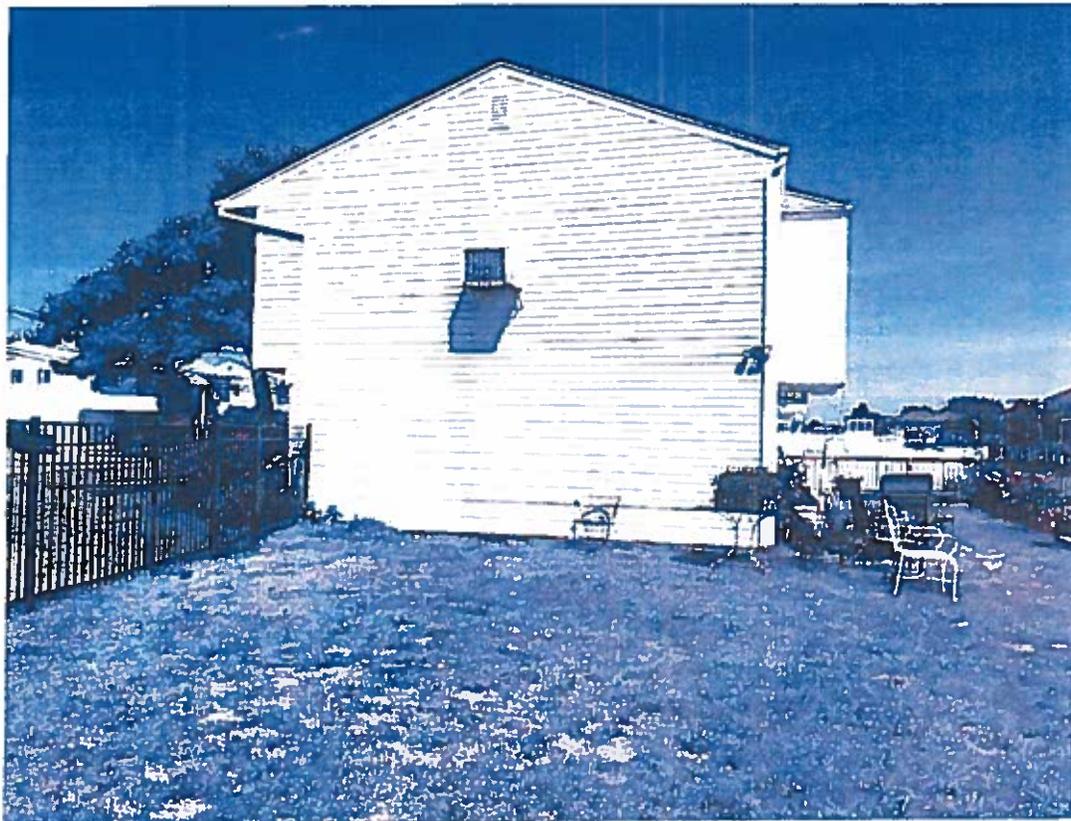
Southwest facing.

side of house facing south



front of house facing west

BACK OF HOUSE

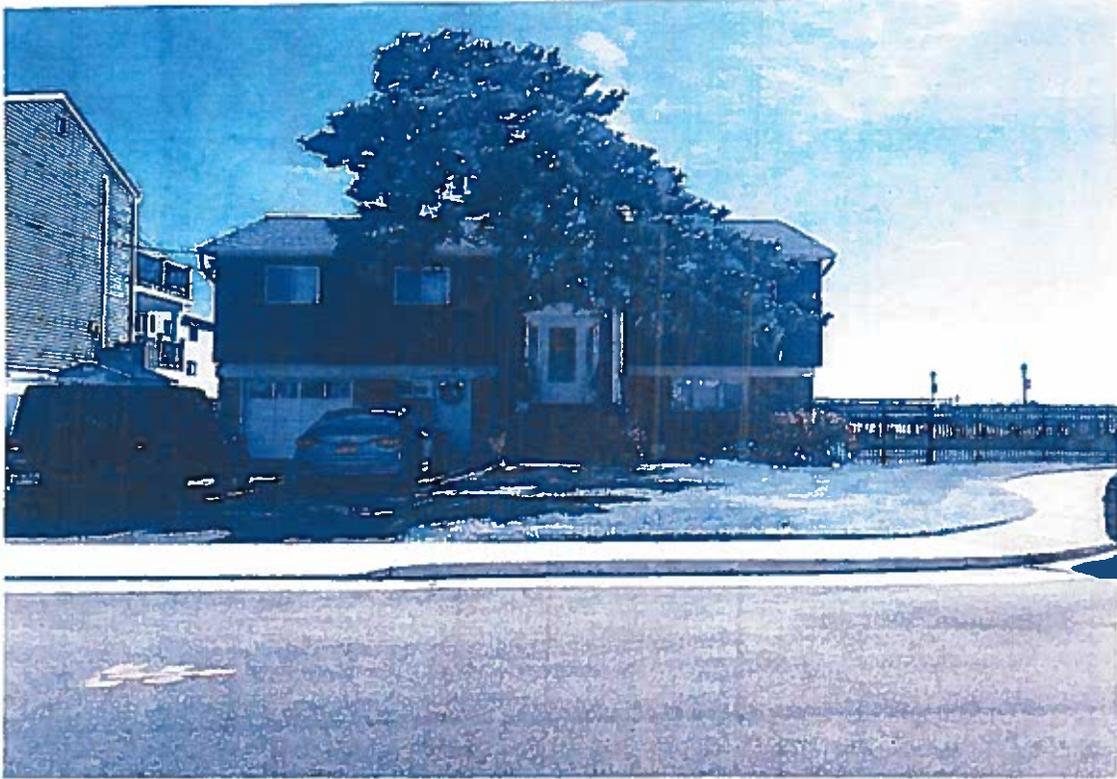


Side where deck is built

near view from back of house



Front of House



Front- Houses to north

South view from deck

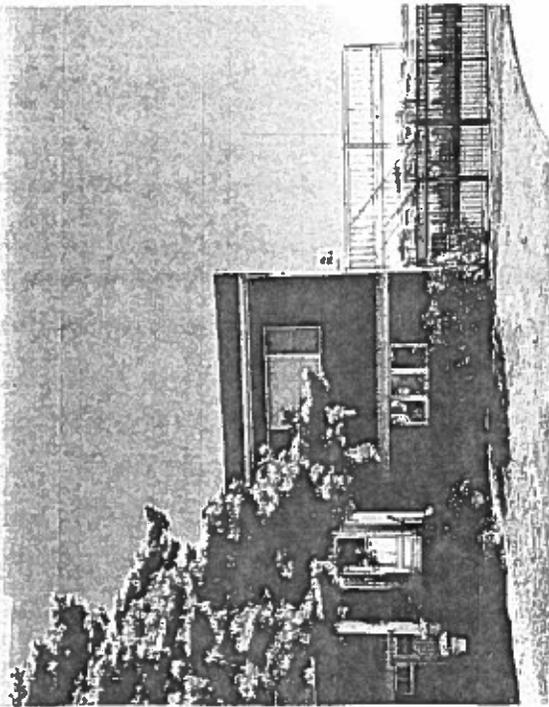


South view from deck

Facing west (from front of house)







**West Elevation**  
(Looking east) NYS

**GENERAL NOTES**

1. All work shall be in accordance with the code of the Village of Freeport, New York, and the State Building Code and any other applicable laws.
2. The work shall be in accordance with the code of the Village of Freeport, New York, and the State Building Code and any other applicable laws.
3. The work shall be in accordance with the code of the Village of Freeport, New York, and the State Building Code and any other applicable laws.
4. The contractor shall be responsible for the means, methods and safety of construction and shall take all necessary precautions to protect the public and the property of others. The contractor shall be responsible for the safety of the work and shall be held liable for any damage or injury resulting from the work.
5. The contractor shall be responsible for the safety of the work and shall be held liable for any damage or injury resulting from the work.
6. The contractor shall be responsible for the safety of the work and shall be held liable for any damage or injury resulting from the work.
7. The contractor shall be responsible for the safety of the work and shall be held liable for any damage or injury resulting from the work.
8. The contractor shall be responsible for the safety of the work and shall be held liable for any damage or injury resulting from the work.
9. The contractor shall be responsible for the safety of the work and shall be held liable for any damage or injury resulting from the work.
10. The contractor shall be responsible for the safety of the work and shall be held liable for any damage or injury resulting from the work.

**Additional Notes**

1. New deck to be 6' wide existing 2nd level floor.
2. Proposed new 6' wide x 7' high siding door. Install new 3'5" x 11'25" LVL header above.
3. Header joists (9) to be 15 ton ultimate (7.5 ton design).
4. Header to be 12" x 12" CCL star joist hangers w/ bottom flush sister 2" x 4" member in the center of the header.
5. Header to be supported by 2" x 4" member in the center of the header. Framing plan in additional section below. All joists for 24' span (finished) on 16" o.c. joists. All joists to be supported by 2" x 4" member in the center of the header. Transverse support member (noted \*\* on framing plan) size 5'25" x 11'25" Parallel P 4x3.



**East Elevation**  
(Looking west) NYS



**Rabco Engineering, P.C.**

Engineering - Inspection - Construction Management

100 West 10th Street, Suite 200, Freeport, New York 11520

Robert A. Bennett, P.E.

Professional Engineer License No. 11125

Phone: (516) 461-2020

Fax: (516) 461-2021

Email: rabco@rabcoeng.com

www.rabcoeng.com

NO.	REVISIONS	DATE	BY
1	ISSUED FOR PERMIT	11/15/16	RA
2			
3			
4			
5			

**New side yard elevated deck**  
**Micciulli Residence**  
**635 Nassau Avenue, Freeport, New York**



Application Date: \_\_\_\_\_  
Fees Paid: \_\_\_\_\_

SP# 3586

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 370 Atlantic Ave ZONING DISTRICT Business A  
SECTION 62 BLOCK 036 LOT 153 LOT SIZE: \_\_\_\_\_

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>370 Freeport LLC</u>	Name: <u>SAME</u>
Address: <u>2982 Pine Pl</u>	Address: _____
<u>Bellmore, NY 11710</u>	
Telephone #: <u>646 283-5456</u>	Telephone #: _____

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: Commercial Proposed Land Use: Same

Description of Proposed Work: Exterior Facade Repair

I request a preliminary meeting:  YES  NO

- I request a waiver of the public hearing and hereby certify the following:
- A. The subject property is zoned Residence A or Residence AA.
  - B. The proposed construction is not a new building or dwelling.
  - C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

[Signature] YES

8/7/22 NO  
DATE

APPLICANT'S SIGNATURE

Sworn to before me this 7 day of August, 2022

Notary Public

MANUEL BLANCO  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01BL6114479  
Qualified in Westchester County  
Commission Expires August 16, 2023

Property Owner's Consent: I, Giada Gottinsky, am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]  
PROPERTY OWNER'S SIGNATURE

8/7/22  
DATE

Sworn to before me this 7 day of August, 2022

Notary Public

MANUEL BLANCO  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01BL6114479  
Qualified in Westchester County  
Commission Expires August 16, 2023

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required:  YES  NO Date of Hearing: \_\_\_\_\_  
Date of Decision: \_\_\_\_\_  
Village Clerk's Signature: \_\_\_\_\_ Approved  Denied   
Date: \_\_\_\_\_  
Planning Board Signature: \_\_\_\_\_ Date: \_\_\_\_\_

VILLAGE CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

2022 SEP -6 P 2:42

RECEIVED



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**  
46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

July 26, 2022  
**SITE PLAN LETTER**

370 Freeport LLC  
2482 Pine Place  
Bellmore, NY 11710

**RE: 360-370 Atlantic Avenue, Freeport, NY**  
**Zoning District – Business A**  
**Sec. 62 Blk. 036 Lot 153**  
**Building Permit Application #20222922**  
**Description– Exterior facade repair**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and ~~the Building Permit Application in conjunction with same will be cancelled.~~ Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

  
Sergio A. Mauras  
Superintendent of Buildings

/cd  
Encl.

c: Village Clerk  
PE and Consultants NY LLC

ZBA Approval Needed:

Yes:  No

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20222922

Location: 360-370 Atlantic Avenue, Freeport, NY

Applicant: 370 Freeport LLC

Description: Exterior facade repair

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

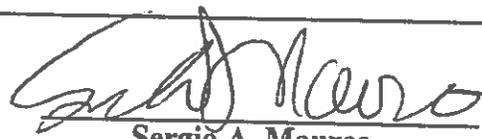
**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:  
(only if positive determination)

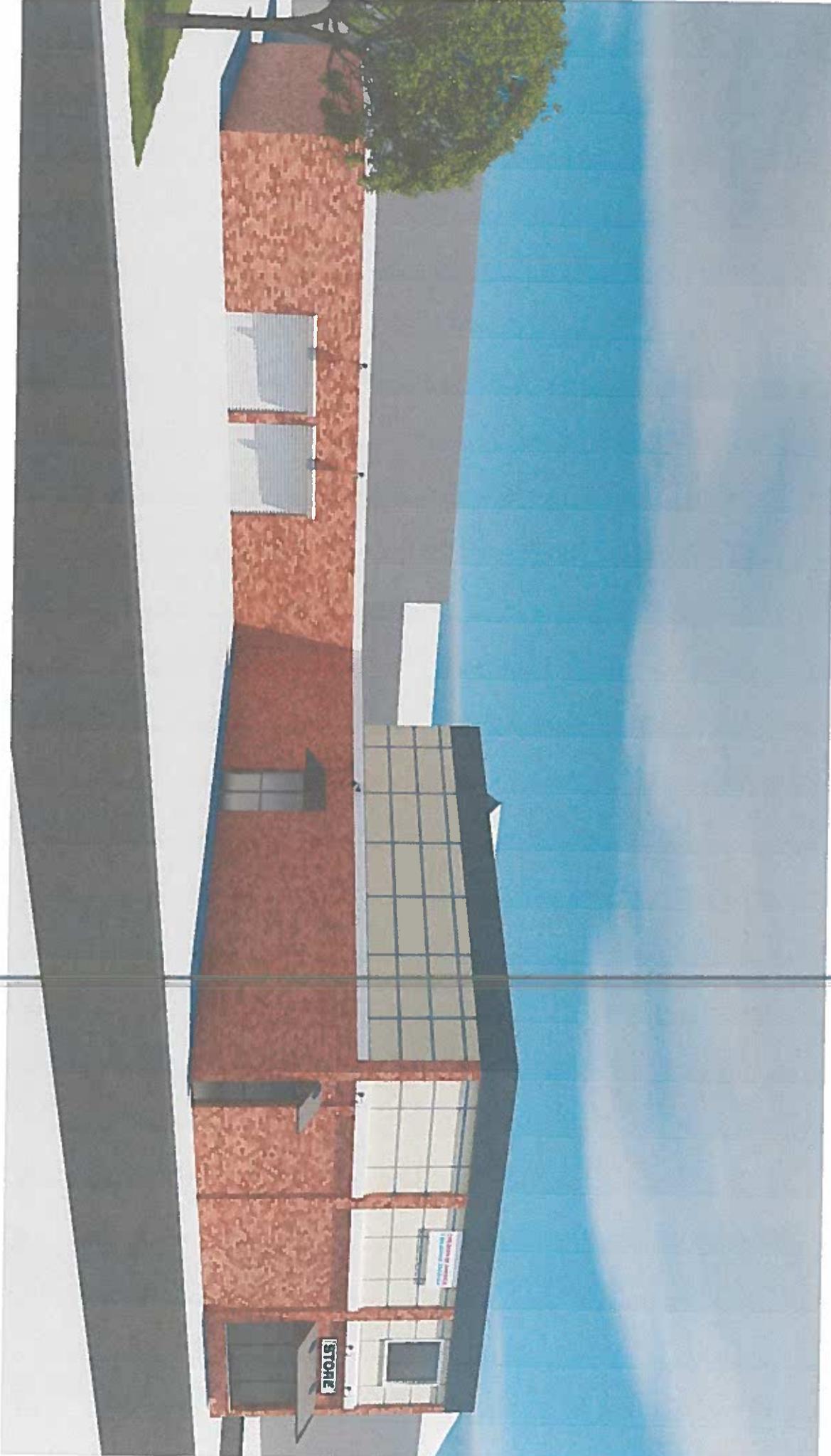
Dated: July 26, 2022



Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.



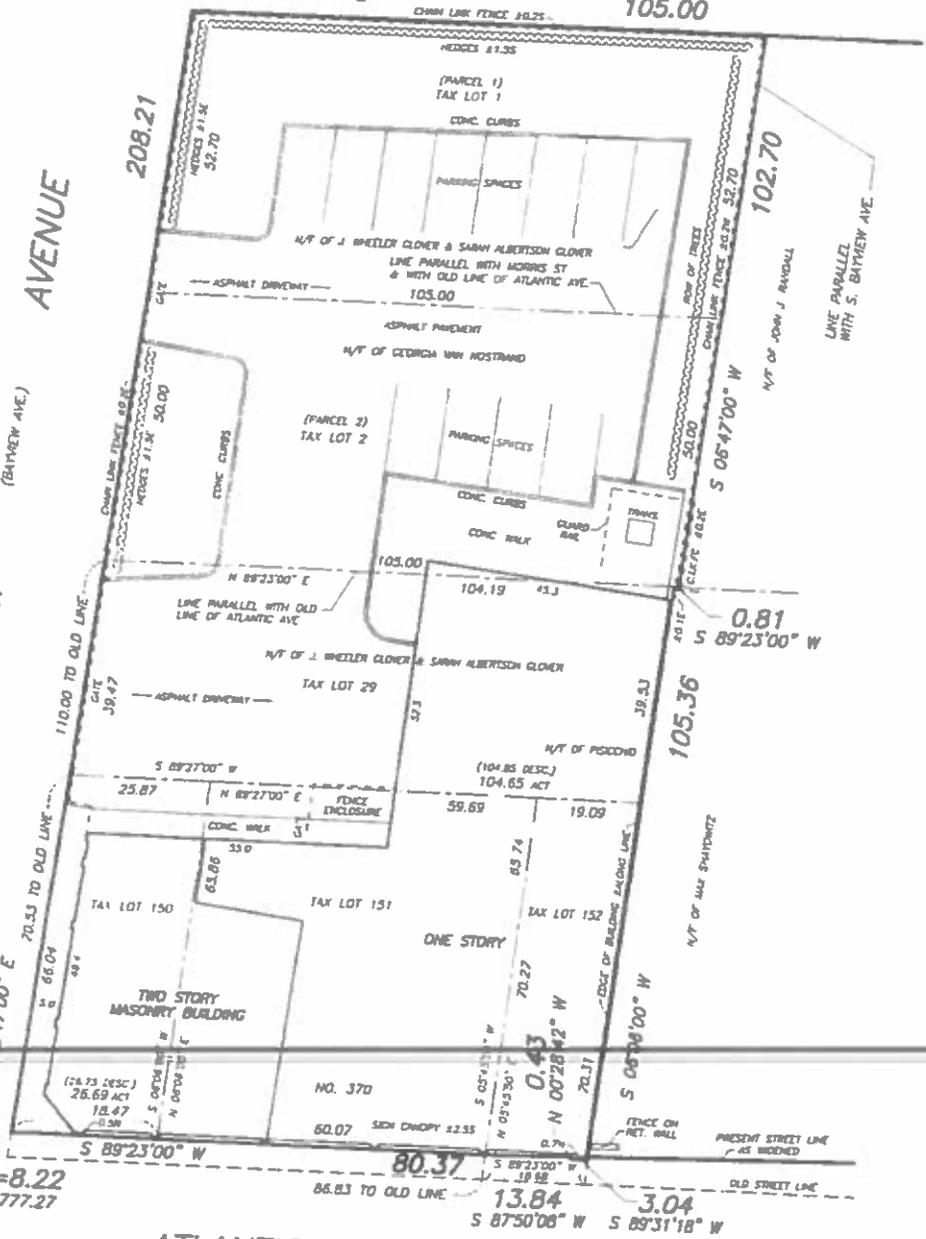


MAP OF PROPERTY SITUATED IN  
**FREEPORT**  
 NASSAU COUNTY, N.Y.  
 TAX SECT: 62 TAX BLOCK: 36 TAX LOT(S): 1, 2, 29, 150, 151 & 152

**MORRIS STREET**

**SOUTH BAYVIEW AVENUE**

**AVENUE**  
(BAYVIEW AVE.)



L=8.22  
R=777.27

**ATLANTIC AVENUE**

SCALE: 1"=20'

UNAUTHORIZED ALTERATIONS AND/OR ADDITIONS TO THIS SURVEY BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW  
 COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S SEAL OR EXCESSIVE SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY  
 CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED. THE TITLE COMPANY, THE COMMERCIAL AGENCY AND THE LENDING INSTRUMENT LISTED ON THIS SURVEY MAP CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTRUMENTS AND/OR SUBSEQUENT OWNERS. FENCE OFFSETS SHOWN AT PUBLIC ENCROACHMENTS OR WHATS BELONG SURFACE ARE NOT SHOWN BECAUSE OF THIS AND/OR EVIDENCES OF RECORD NOT SHOWN ON THIS SURVEY ARE NOT CERTIFIED.  
 OFFSETS AND DIMENSIONS HEREON ARE FOR A SPECIFIC PURPOSE AND ARE NOT TO BE USED IN THE ERECTION OF ADDITIONAL STRUCTURES, FENCES OR OTHER IMPROVEMENTS.  
 © 2017 ALL RIGHTS RESERVED

CERTIFIED TO: TITLE NO. 17-7405-77011-N  
 FIDELITY NATIONAL TITLE INSURANCE COMPANY  
 360-370 ATLANTIC AVENUE LLC  
 FREEPORT DEVELOPMENT GROUP, LLC, ITS SUCCESSORS AND/OR ASSIGNS

SURVEYED: AUGUST 5, 2017

**Empire State Land Surveyor, P.C.**  
 Frank I. Galluzzo Professional Land Surveyor  
 Records of Albert A. Bianco  
 Stephen J. Reid - M. Berry Carman - G. W. Haviland  
 Vandewater & Lapp - Robert E. Carlin - William J. Daly  
 1005 Glen Cove Avenue, Glen Head, NY, 11545  
 (516)-240-6901



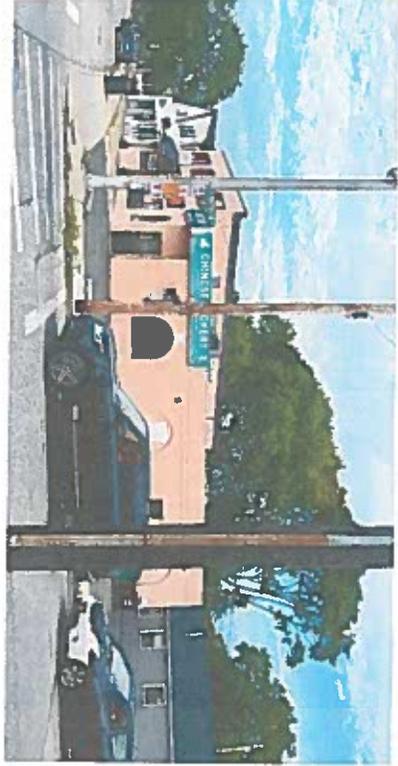
617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <p style="text-align: center; font-size: 1.2em;">370 ATLANTIC AVE</p>			
Project Location (describe, and attach a location map): <p style="text-align: center; font-size: 1.2em;">370 ATLANTIC AVE</p>			
Brief Description of Proposed Action: <p style="text-align: center; font-size: 1.2em;">EXTERIOR FACADE REPAIR</p>			
Name of Applicant or Sponsor: <p style="font-size: 1.2em;">KRISZTIAN T. SZEITZ</p>		Telephone:	
Address: <p style="font-size: 1.2em;">2310 124th ST</p>		E-Mail: <p style="font-size: 1.2em;">nystucco1@gmail.com</p>	
City/PO: <p style="font-size: 1.2em;">COLLEGE POINT</p>		State: <p style="font-size: 1.2em;">N.Y</p>	Zip Code: <p style="font-size: 1.2em;">11356</p>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? <i>If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.</i>			NO YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? <i>If Yes, list agency(s) name and permit or approval:</i>			NO YES
3.a. Total acreage of the site of the proposed action?			X
b. Total acreage to be physically disturbed?			N/A
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			N/A
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			



# Unique Wall Solutions



KRISZTIAN THOMAS SZEITZ - 917.301.7549

Date: 7/21/2022

Contract #: 1053

Customer ID: VHI001

Expires: 8/21/2022

To: OWNER 366 SOUTH BAYVIEW AVENUE FREEPORT NY	<b>GENERAL PROJECT NOTES:</b>
	> OWNER/ GC RESPONSIBLE FOR ANY REQUIRED DRAWINGS, FEES, TESTS & PERMITS
	> OWNER/ GC TO ACCEPT EXISTING IN-PLACE SSI INSURANCES
	> EXCLUDES ANY ROOF COPINGS & ALL METAL FLASHINGS
	> OWNER/ GC TO PROVIDE ELECTRIC, SITE DEBRIS CONTAINER & POTABLE H2O
> INCLUDES SCAFFOLDING EXCLUDES SCAFFOLDING BRIDGE & WIRE PROTECTION	

<b>PROJECT NAME / No.</b>	<b>STREET ADDRESS</b>	<b>CITY</b>	<b>STATE ZIP</b>
EXISTING BUILDING	366 SOUTH BAYVIEW AVENUE	FREEPORT	NY

ITEM	DESCRIPTION	AMOUNT
	WE PROPOSE TO FURNISH ALL SCAFFOLDING, LABOR & MATERIAL REQUIRED TO PERFORM THE FOLLOWING SCOPE OF WORK	
<b>A</b>	<b><u>AIR &amp; WEATHER BARRIER (AWB) WATERPROOFING - EIFS &amp; BRICK ELEVATIONS</u></b> 1 APPLY STOGUARD LIQUID MONOLITHIC MEMBRANE AIR & WATER BARRIER WATERPROOFING SYSTEM TO EXISTING MASONRY SUBSTRATE	\$
<b>B</b>	<b><u>EIFS SYSTEM</u></b> 1 ADHERE 2", 5", 7" EPS RIGID INSULATION TO AWB PREPARED SUBSTRATES WITH STO 100% ACRYLIC MODIFIED BASE COAT ADHESIVE VIA VERTICAL NOTCHED TROWEL APPLICATION FOR MOISTURE MANAGEMENT CI DESIGN 2 PREPARE EPS BY RASPING AND SANDING 3 APPLY ACRYLIC MODIFIED CEMENTITIOUS BASE COAT TO PREPARED EPS AND FULLY EMBED 4.5 OZ FIBER-GLASS REINFORCING MESH, APPLY 2ND LAYER OF BASE COAT TO ACHIEVE THICKNESS 6 FINISH COAT; HAND FLOAT TEXTURED 100% DPR ACRYLIC POLYMER FINISH COAT FROM STANDARD TEXTURE SELECTION AND STANDARD COLOR CHART. SAMPLE WILL BE PROVIDED FOR APPROVAL PRIOR TO APPLICATION	\$
<b>C</b>	<b><u>DIRECT APPLIED SYSTEM</u></b> 1 GRIND DOWN EXISTING PAINT 2 INSTALLATION OF BASECOAT, MESH & STANDARD FINISH COAT	\$
<b>D</b>	<b><u>THIN BRICK SYSTEM</u></b> 1 SUPPLY AND INSTALL THIN BRICK SYSTEM OVER EXISTING EIFS ON ELEVATIONS HIGHLIGHTED	\$
<b>E</b>	<b><u>SPECIALITY FINISH</u></b> 1 SUPPLY AND INSTALL SPECIALITY FINISH STO "30205 BRYCE" ON ELEVATIONS HIGHLIGHTED	\$
<b>F</b>	<b><u>METAL COPING AT PERIMETER OF BUILDING</u></b> 1 THOMAS TO REMOVE COLUMNS & FUNKY DECO ARCH 1 REMOVE EXISTING METAL COPING 2 SUPPLY & INSTALL WOOD BLOCKING 3 SUPPLY & INSTALL 0.0432 ALUMINUM COPING WITH CLEAT SYSTEM <b><u>CANT EXCEED 18" WIDTH</u></b>	\$

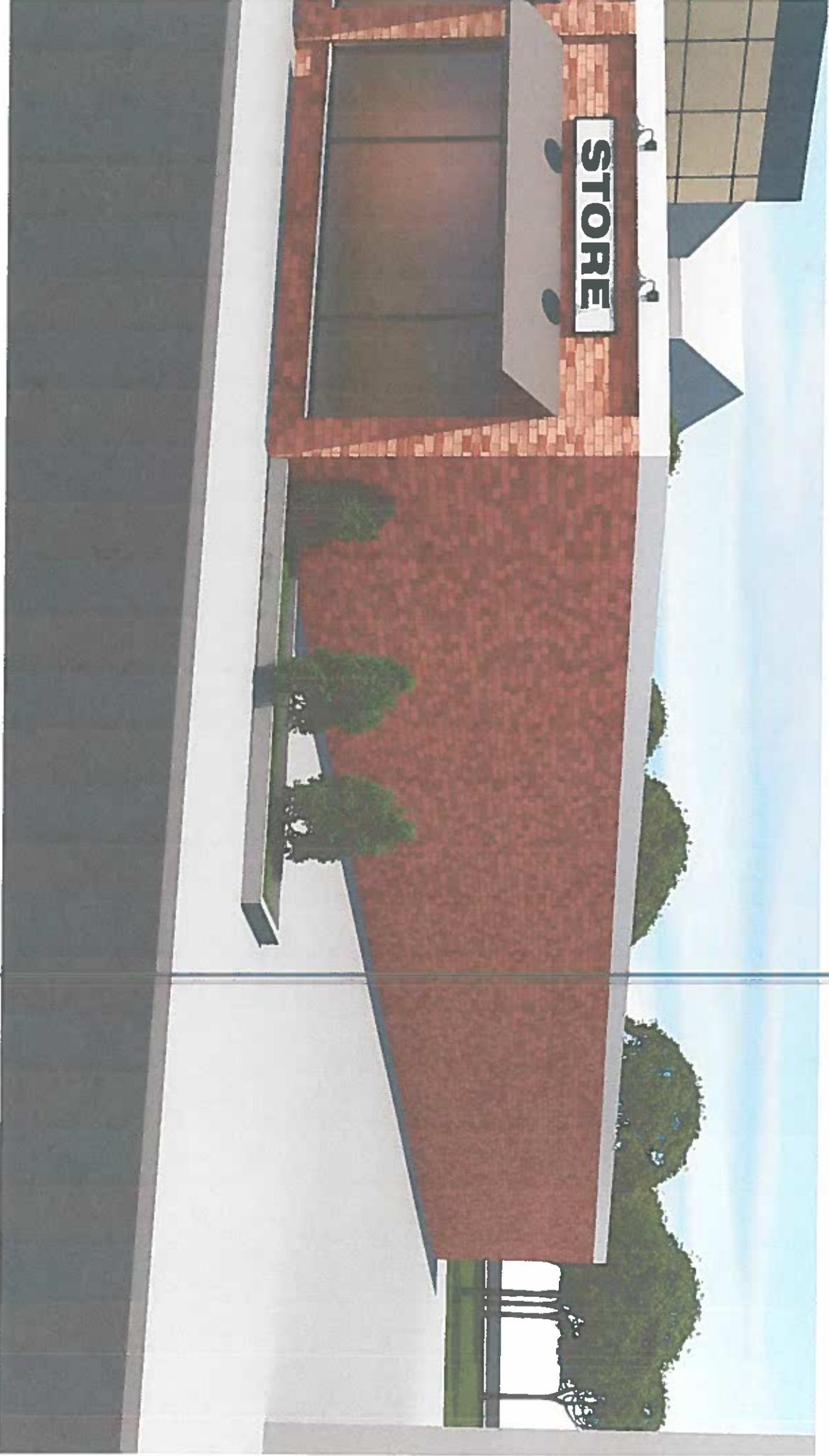
**PROPOSAL TOTAL \$**

360-370 Atlantic Ave Freepark

## Materials:

1. Thin Red Brick Siding of Building
  2. Thin Gray Brick Top of Building
  3. S-1 Thin Stucco Siding of Building
  4. Brown Canvas Awnings
  5. Retro Downward Lights.  
Bronze - Distressed
- 
6. Metal Trim to Hold Lights  
off-white









can be achieved with the following products/Esta textura se puede lograr con los siguientes productos

- StoSilco® 1.5
- StoSilco® 1.5
- StoMedium
- StoMedium
- StoSilco Medium

1.0/Fine

*Handwritten in blue ink:*  
This is a color

This texture can be achieved with the following products/Esta textura se puede lograr con los siguientes productos

- StoSilco® 1.0
- StoStolit® X Fine
- StoStolit® Lotusan® 1.0
- StoFine Sand
- StoSilco® Lit 1.0
- StoPowerwall® Fine
- StoPowerflex® Fine
- StoPowerflex® Silco Fine

Stolit®

360-370 Atlantic Ave

Application Date: \_\_\_\_\_  
Fees Paid: \_\_\_\_\_

SP# 3592

**INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD**

**NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION**

PROPERTY ADDRESS: <u>401 S Ocean Ave</u>	ZONING DISTRICT <u>Res-A</u>
SECTION <u>62</u> BLOCK <u>170</u> LOT <u>A</u>	LOT SIZE: <u>6,500</u>

<input type="checkbox"/> TENANT <b>APPLICANT</b> <input type="checkbox"/> LESSEE	<b>PROPERTY OWNER</b>
Name: <u>Same as owner</u>	Name: <u>Dennis Marti</u>
Address: _____	Address: <u>1500 Jerusalem Ave</u>
Telephone #: _____	Telephone #: <u>516-902-2594</u>

Attorney Name: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Address: \_\_\_\_\_

Present Land Use: Residential

Proposed Land Use: Residential

Description of Proposed Work: Proposed three story, one family dwelling

I request a preliminary meeting:  YES  NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES  NO  
9/22/22  
DATE

APPLICANT'S SIGNATURE

Sworn to before me this 23  
day of September, 2022

Yvesenia Escobar  
Notary Public



Property Owner's Consent:

I, Dennis Marti (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]

PROPERTY OWNER'S SIGNATURE

Sworn to before me this 23  
day of September, 2022

Yvesenia Escobar  
Notary Public



9/22/22  
DATE

Resolution of the Planning Board  
Incorporated Village of Freeport  
Subdivision Approval

Dated: July 12, 2022

Freeport, NY

The applicant, Michael Gregory comes before this Board seeking a subdivision of the premises known as and by 401 South Ocean Avenue, Section 62 Block 170 Lot 1, Freeport, New York from one (1) single lot to three (3) lots for the construction of three (1) one family dwellings.

I Edgar Campbell move that this Board make the following resolution:

**WHEREAS**, the Applicant, Michael Gregory, filed an application to subdivide the above premises from one (1) single lot to three (3) lots for the construction of three (3) one family dwellings; and

**WHEREAS**, the parcel sits in a Residence A District; and

**WHEREAS**, the Applicant has presented an application to the Planning Board of the Village of Freeport and a public hearing was held on June 28, 2022; and

**WHEREAS**, the Planning Board of the Incorporated Village, as lead agency has determined that this action is a unlisted action under SEQRA and no further review is required; and

**WHEREAS**, this Board has determined that the subject lot when separated will create three lots that residential homes can be built on as the size of the new lots exceeds the 50ft x 100ft lot size that is required in the Village Code; and

**WHEREAS**, that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of this subdivision. Applicant illustrated that the lot sizes in the area of the subject property are similar to the lot sizes of the proposed subdivision; and

**WHEREAS**, the Planning Board of the Village of Freeport, as lead agency, has determined that this action is an unlisted action under SEQRA. A short environmental assessment form has been completed by the applicant and this Board. The Superintendent of Buildings also did a preliminary review of this application and found no environmental impact under SEQRA, issues a negative declaration, and no further review is required.

**NOW, THEREFORE BE IT RESOLVED**, that the application of Michael Gregory, to subdivide the premises known as and by 401 South Ocean Avenue, Section 62 Block 170 Lot 1, Freeport, New York from one (1) single lot to three (3) lots for the construction of three (3) one family dwellings be granted with the following conditions:

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SEP 26 2022

CLERK  
VILLAGE OF FREEPORT

Resolution of the Planning Board  
Incorporated Village of Freeport  
Subdivision Approval

Dated: July 12, 2022

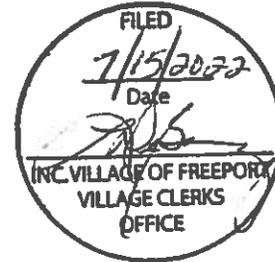
Freeport, NY

1. That the subdivision map must comply with the rules and regulations of the Incorporated Village of Freeport, the County of Nassau and the State of New York, and further must comply with all requirements of the Clerk of the County of Nassau and further must be filed with the Nassau County Clerk within ninety (90) days of this approval with a copy to the Village of Freeport Clerk's Office and the Building Department.
2. No permits will be issued until the subdivision map is filed.

Second by Ladonna Taylor

The Clerk polled the Board as follows:

Carole Ryan	In Favor
Ladonna Taylor	In Favor
Deborah Welch	In Favor
Edgar Campbell	In Favor



RECEIVED

SEP 26 2022

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



## INC. VILLAGE OF FREEPORT

### Department of Buildings

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

September 23, 2022  
SITE PLAN LETTER

Dennis Marti  
1500 Jerusalem Avenue  
Merrick, NY 11566

RE: 401 S. Ocean Avenue, Freeport, NY  
Zoning District: Residence A Sec 62 Blk 170 Lot 1 (Lot A)  
Building Permit Application #20222934  
Description: Proposed two-story, 2,304 sq. ft. one family dwelling with attached garage

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings

/cd  
Encl.

c: Village Clerk

ZBA Approval Needed: Yes  No

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VILLAGE OF FREEPORT

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20222934

Location : 401 S. Ocean Avenue, Freeport, NY – (Lot A)

Applicant : Dennis Marti

Description : Proposed two-story, 2,304 sq. ft, one family dwelling with attached garage

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

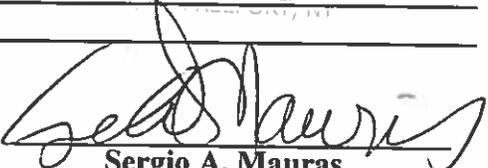
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B) Possible environment effects identified:  
(only if positive determination)

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VILLAGE OF FREEPORT, NY

Dated: September 23, 2022

  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

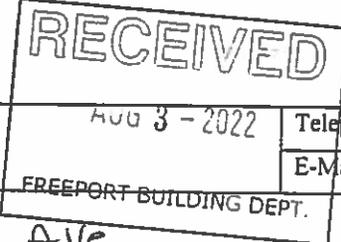
617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project:			
Project Location (describe, and attach a location map): 401 S Ocean Ave, Freeport NY 11520 (Lot A)			
Brief Description of Proposed Action: Proposed 2 Story, 1 family dwelling			
Name of Applicant or Sponsor: Dennis Marti		Telephone: 516-902-2594	
Address: 1500 Jerusalem Ave		E-Mail: Office@martihomes.net	
City/PO: Merrick		State: NY	Zip Code: 11566
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		X	
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
		X	
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			



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	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		X	
b. Consistent with the adopted comprehensive plan?			
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		X	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		X	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		X	
b. Are public transportation service(s) available at or near the site of the proposed action?		X	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		X	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____			X
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____		X	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____			X
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		X	
b. Is the proposed action located in an archeological sensitive area?		X	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		X	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		X	
<div style="border: 1px solid black; padding: 5px; display: inline-block;"> <b>RECEIVED</b>            SEP 9 2022            FREEPORT BUILDING DEPT.         </div>			
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		X	
16. Is the project site located in the 100 year flood plain?		X	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		X	
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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	X	
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Dennis Manti</u>	Date: <u>8/2/22</u>	
Signature: _____		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"**

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	X	
2. Will the proposed action result in a change in the use or intensity of use of land?	X	
3. Will the proposed action impair the character or quality of the existing community?	X	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	X	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	X	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	X	
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	X	
	X	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	X	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	X	

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	X	
11. Will the proposed action create a hazard to environmental resources or human health?	X	

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.**

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<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



Generated by REScheck-Web Software  
**Compliance Certificate**

Project Carman Street & South Ocean Ave

Energy Code: **2018 IECC**  
 Location: **Freeport, New York**  
 Construction Type: **Single-family**  
 Project Type: **New Construction**  
 Conditioned Floor Area: **1,940 ft<sup>2</sup>**  
 Glazing Area: **18%**  
 Climate Zone: **4 (5316 HDD)**  
 Permit Date:  
 Permit Number:

Construction Site: Carman Street & South Ocean Ave  
 Freeport  
 Owner/Agent:  
 Designer/Contractor:

**Compliance: Passes using UA trade-off**

Compliance **13.8% Better Than Code** Maximum UA: **362** Your UA: **312** Maximum SHGC **0.40** Your SHGC **0.21**  
 The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules.  
 It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

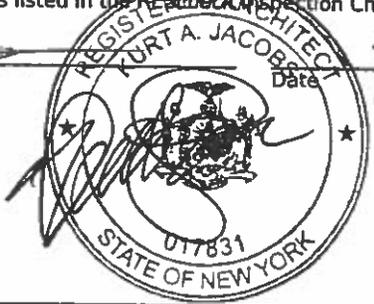
Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	1,245	30.0	0.0	0.035	0.026	44	32
Wall: Wood Frame, 16" o.c.	1,366	21.0	0.0	0.057	0.060	66	70
Window: Vinyl Frame SHGC: 0.21	200			0.240	0.320	48	64
Wall 1: Wood Frame, 16" o.c.	1,152	21.0	0.0	0.057	0.060	51	54
Window 1: Vinyl Frame SHGC: 0.21	260			0.240	0.320	62	83
Floor: All-Wood Joist/Truss	1,245	30.0	0.0	0.033	0.047	41	59

*Compliance Statement:* The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title \_\_\_\_\_

Signature \_\_\_\_\_



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# Inspection Checklist

Energy Code: 2018 IECC

Requirements: 0.0% were addressed directly in the REScheck software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2 [PR1] <sup>1</sup> ⊕	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
103.1, 103.2, 403.7 [PR3] <sup>1</sup> ⊕	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
302.1, 403.7 [PR2] <sup>2</sup> ⊕	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: _____ Cooling: _____ Btu/hr _____	Heating: _____ Cooling: _____ Btu/hr _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

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1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
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Section # & Req.ID	Foundation Inspection	Complies?	Comments/Assumptions
303.2.1 [FO11] <sup>2</sup> Ⓢ	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.9 [FO12] <sup>2</sup> Ⓢ	Snow- and ice-melting system controls installed.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

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1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
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Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.1, 402.3.3, 402.5 [FR2] <sup>1</sup> ☉	Glazing U-factor (area-weighted average).	U-_____	U-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 [FR4] <sup>1</sup> ☉	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.1 [FR23] <sup>1</sup> ☉	Air barrier and thermal barrier installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.3 [FR20] <sup>1</sup> ☉	Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.5 [FR16] <sup>2</sup>	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.1 [FR12] <sup>1</sup> ☉	Supply and return ducts in attics insulated ≥ R-8 where duct is ≥ 3 inches in diameter and ≥ R-6 where < 3 inches. Supply and return ducts in other portions of the building insulated ≥ R-6 for diameter ≥ 3 inches and R-4.2 for < 3 inches in diameter.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.2 [FR13] <sup>1</sup> ☉	Ducts, air handlers and filter boxes are sealed with joints/seams compliant with International Mechanical Code or International Residential Code, as applicable.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.5 [FR15] <sup>3</sup> ☉	Building cavities are not used as ducts or plenums.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4 [FR17] <sup>2</sup> ☉	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3.	R-_____	R-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4.1 [FR24] <sup>1</sup> ☉	Protection of insulation on HVAC piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.3 [FR18] <sup>2</sup> ☉	Hot water pipes are insulated to ≥R-3.	R-_____	R-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.6 [FR19] <sup>2</sup>	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

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1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] <sup>2</sup> ☉	All installed insulation is labeled or the installed R-values provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1, 402.2.6 [IN1] <sup>1</sup> ☉	Floor insulation R-value.	R- _____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R- _____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2, 402.2.8 [IN2] <sup>1</sup> ☉	Floor insulation installed per manufacturer's instructions and in substantial contact with the underside of the subfloor, or floor framing cavity insulation is in contact with the top side of sheathing, or continuous insulation is installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1, 402.2.5, 402.2.6 [IN3] <sup>1</sup> ☉	Wall insulation R-value. If this is a mass wall with at least 1/2 of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R- _____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	R- _____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [IN4] <sup>1</sup>	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

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Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2, 402.2.6 [F11] <sup>1</sup>	Ceiling insulation R-value.	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.1.1, 303.2 [F12] <sup>1</sup>	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft <sup>2</sup> .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.3 [F122] <sup>2</sup>	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.4 [F13] <sup>1</sup>	Attic access hatch and door insulation ≥R-value of the adjacent assembly.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.2 [F17] <sup>1</sup>	Blower door test @ 50 Pa. ≤5 ach in Climate Zones 1-2, and ≤3 ach in Climate Zones 3-8.	ACH 50 = ____	ACH 50 = ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.3 [F127] <sup>1</sup>	Ducts are pressure tested to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	____ cfm/100 ft <sup>2</sup>	____ cfm/100 ft <sup>2</sup>	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.4 [F14] <sup>1</sup>	Duct tightness test result of ≤4 cfm/100 ft <sup>2</sup> across the system or ≤3 cfm/100 ft <sup>2</sup> without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	____ cfm/100 ft <sup>2</sup>	____ cfm/100 ft <sup>2</sup>	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.2.1 [F124] <sup>1</sup>	Air handler leakage designated by manufacturer at ≤2% of design air flow.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.1 [F19] <sup>2</sup>	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.2 [F110] <sup>2</sup>	Heat pump thermostat installed on heat pumps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1 [F111] <sup>2</sup>	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)    2 Medium Impact (Tier 2)    3 Low Impact (Tier 3)

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Data filename:

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Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 [F125] <sup>2</sup>	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits per Table R403.6.1.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2 [F126] <sup>2</sup>	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1.1 [F128] <sup>2</sup>	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermosyphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1.2 [F129] <sup>2</sup>	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.2 [F130] <sup>2</sup>	Demand recirculation water systems have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to $\leq 104^{\circ}\text{F}$ .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.4 [F131] <sup>2</sup>	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units $< 3$ psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units $< 2$ psi for individual units connected to three or more showers.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1 [F16] <sup>1</sup>	90% or more of permanent fixtures have high efficacy lamps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1.1 [F123] <sup>3</sup>	Fuel gas lighting systems have no continuous pilot light.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
401.3 [F17] <sup>2</sup>	Compliance certificate posted.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

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1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
------------------------	--------------------------	-----------------------

Project Title: Carman Street & South Ocean Ave  
 Data filename:

Report date: 07/19/22  
 Page 8 of 9

VILLAGE OF ...

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.3 [FI18] <sup>3</sup>	Manufacturer manuals for mechanical and water heating systems have been provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

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1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
------------------------	--------------------------	-----------------------



# 2018 IECC Energy Efficiency Certificate

Insulation Rating	R-Value
Above-Grade Wall	21.00
Below-Grade Wall	0.00
Floor	30.00
Ceiling / Roof	30.00
Ductwork (unconditioned spaces):	_____

Glass & Door Rating	U-Factor	SHGC
Window	0.24	0.21
Door		

Heating & Cooling Equipment	Efficiency
Heating System: _____	_____
Cooling System: _____	_____
Water Heater: _____	_____

Name: \_\_\_\_\_ Date: \_\_\_\_\_

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401 S Ocean Ave Finishes – LOT A

Rear exterior door  
white with glass & 2 panels

Rear sliding door  
white

**Siding**

White vinyl

**Trim**

Standard White

**Doors**

Black Walnut with oval glass

**Windows**

black

6 over 1 panel

**Masonry**

Ledge Stone veneer Pembry (brown)

**Light Fixtures**

low profile frame rectangle sconce color?

Roofing

Charcoal

~~stone veneer~~

~~Pembry (brown)~~

columns

square white

foundation

parged sides & rear

stairs

stained natural wood

railings

white PVC

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CLARENCE P. FEE  
VILLAGE OF FREEPORT, NY



Mr. Michael Gregory  
The Service Depot Inc.  
204 Westbury Avenue  
Carle Place, NY 11514

21 January 2022

Re: Property at 401 South Ocean Avenue (on east side at the corner of Carman Street), Freeport, NY  
Section 62 Block 170 Lot 1

Dear Mr. Gregory:

As per your request, I inspected the property described above on 15 December 2021 with respect to the protection and/or removal of existing trees. Enclosed is a copy of the Tree Location Map with trees numbered to correspond with the list shown below.

	Tree #	Tree Caliper	Tree Type	Recommendations	Remarks
Lot A	1	13", 18", 19"	Black Cherry	Preserve	Prune and feed
	2	11"	Norway Maple	Remove	Poor condition
	3	12"	Mulberry	Remove	Poor condition
	4	12"	Unknown	Remove	Dead
	5	17"	Black Cherry	Preserve	Prune and feed
	6	18"	Norway Maple	Preserve	Prune and feed
	7	16", 18"	Norway Maple	Preserve	Prune and feed
Lot B	8	17"	Norway Maple	Remove	Poor condition; crown damage
	9	8", 8", 11"	Norway Maple	Preserve	Prune and feed
	10	8", 10", 10"	Black Cherry	Remove	Poor condition
	11	20", 18"	Black Cherry	Remove	Poor condition
Lot C	12	9"	Black Cherry	Remove	Poor condition
	13	29"	London Plane	Remove	In construction
	14	26"	London Plane	Remove	In construction
	15	9"	Norway Maple	Remove	Poor condition
	16	18"	Black Cherry	Remove	Poor condition
	17	10"	Norway Maple	Preserve	Prune and feed
	18	16"	Norway Maple	Preserve	Prune and feed
	19	6"	Unknown	Remove	Dead

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To replace the trees removed I recommend the planting of three new trees as follows and shown on the attached Tree Location Map.

Tree A 2½"-3" caliper Red Maple (*Acer rubrum* October Glory)

Tree B 2½"-3" caliper White Oak (*Quercus alba*)

Tree C 2-2½" caliper Pink Flowering Dogwood (*Cornus florida rubra*)

Trees to remain shall be protected in a fence enclosure at least 4'-0" high and 8'-0" square or at a distance in feet from the tree equal to the diameter of the trunk in inches, measured twelve (12) inches from grade, whichever is greater. All building material, dirt and debris shall be kept outside the barrier. In addition, wherever excavation takes place within the dripline of the tree, the tree should be well irrigated. Existing trees to remain should be pruned for safety.

To prevent damage to the roots and branches and to minimize root compaction, no material or equipment shall be stored or operated over the area of the dripline of the trees to remain.

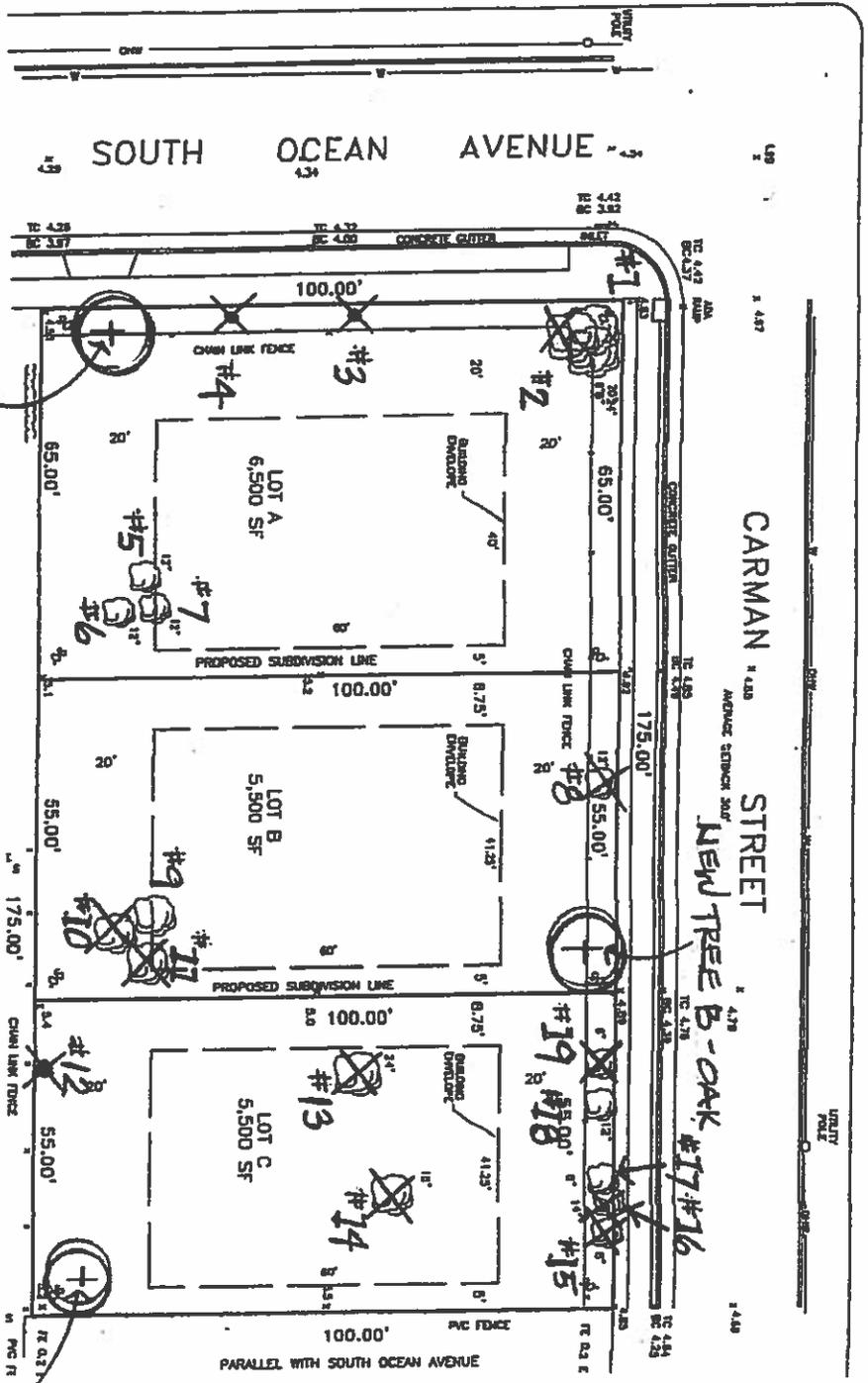
If there are any errors, omissions, questions or comments concerning the above, please contact me.

Sincerely,

  
Richard W Gibney RLA / ISA

Enc: Corresponding Tree Location Map





NEW TREE A - MAPLE

NEW TREE C - DOGWOOD

TREE LOCATION MAP

LOTS A-C AT 401 SOUTH OCEAN AVENUE, FREEPORT, NY  
 SECTION 62 BLOCK 170 LOT 1  
 RW GIRLIEY PIA 21 JANUARY 2022

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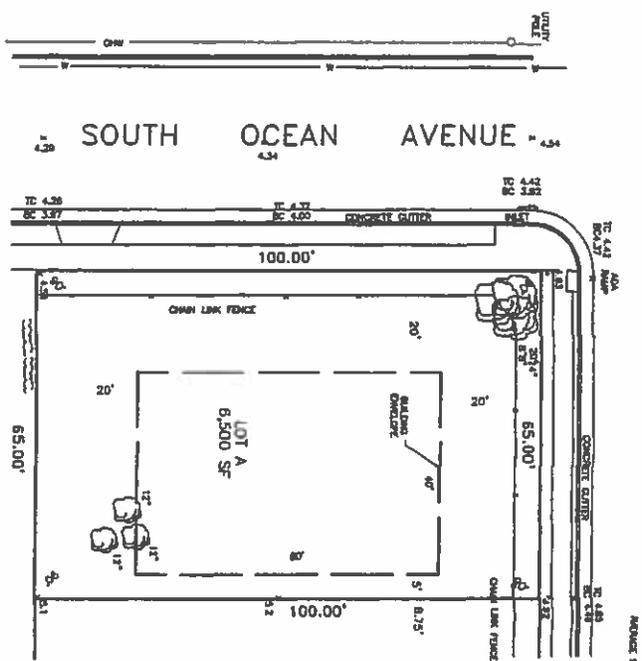
VILLAGE OF FREEPORT, NY





NCTM SECTION 62 BLOCK 170 P/O LOT 1

CARMAN STREET



**SURVEY NOTES:**  
 THIS SURVEY HAS BEEN PREPARED IN CONFORMANCE WITH A BUILDING DEPARTMENT APPLICATION. IT HAS BEEN PREPARED USING THE FOLLOWING INFORMATION: FIELD MEASUREMENTS TAKEN ON THE DATE OF THIS SURVEY; PHOTO COPIES OF THE RECORDS OF THE SURVEY SHOULD BE AVAILABLE THAT UNRECORDED EASEMENTS, EASEMENTS ON FIELD CONTROL, NOT IN RECORD, AT THE OF SURVEY MAY AFFECT RESULTS AS SHOWN HEREON.  
 SURVEY HAS BEEN PERFORMED WITHOUT THE BENEFIT OF A COMPLETE CURRENT TITLE REPORT.  
 DESCRIPTION FOR LOT 1 CALLS OUT DIMENSIONS AS PARALLEL WITH STREETS. DIMENSIONS FOR ADJACENT PROPERTIES INDICATE THE ELEVATIONS SHOWN ARE IN EITHER HAND 1988.  
 SUBJECT PROPERTY IS IN FEMA ZONE 4E E1. 9 EFFECTIVE 9/1/2005 IN VILLAGE OF FREEPORT, COMMUNITY MAPSHEET 38045.

SURVEY OF PROPERTY  
 PROPOSED LOT A  
 SITUATE AT  
 INC. VILLAGE OF FREEPORT  
 TOWN OF HEMPSTEAD  
 NASSAU COUNTY, NEW YORK

SURVEYED OCTOBER 28, 2021

SCALE 1" = 20'

UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE GIVEN TO THE CENTER OF A WALL OR TO THE CENTER OF A CURVE. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY UNRECORDED EASEMENTS OR INTERESTS IN THE PROPERTY. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY UNRECORDED EASEMENTS OR INTERESTS IN THE PROPERTY. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY UNRECORDED EASEMENTS OR INTERESTS IN THE PROPERTY.

DORANNE E. TAY LS  
 PO BOX 32  
 SELDEN, NY 11784  
 TEL (516) 660-9489



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Application Date: \_\_\_\_\_  
Fees Paid: \_\_\_\_\_

SP# 3593

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: <u>401 S Ocean Ave</u>	ZONING DISTRICT <u>Res-A</u>
SECTION <u>62</u> BLOCK <u>170</u> LOT <u>B</u>	LOT SIZE: <u>5,500 sqft</u>

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	<b>PROPERTY OWNER</b>
Name: <u>Same as owner</u>	Name: <u>Dennis Marti</u>
Address: _____	Address: <u>1500 Jerusalem Ave</u>
Telephone #: _____	Merrick NY 11566 Telephone #: <u>516-902-2594</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: Proposed three story, one family dwelling.

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I request a preliminary meeting:  YES  NO

SEP 26 2022

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

VILLAGE OF FREEPORT, NY

APPLICANT'S SIGNATURE

Sworn to before me this 23 day of September, 2022

Yesenia Escobar

Notary Public



YES  NO  
9/22/22  
DATE

Property Owner's Consent:

I, Dennis Marti am (are) the owner(s) of the subject property and consent to the filling of this application.

PROPERTY OWNER'S SIGNATURE

Sworn to before me this 22 day of September, 2022

Dennis Marti



9/22/22  
DATE

**Resolution of the Planning Board  
Incorporated Village of Freeport  
Subdivision Approval**

Dated: July 12, 2022

Freeport, NY

The applicant, Michael Gregory comes before this Board seeking a subdivision of the premises known as and by 401 South Ocean Avenue, Section 62 Block 170 Lot 1, Freeport, New York from one (1) single lot to three (3) lots for the construction of three (1) one family dwellings.

I Edgar Campbell move that this Board make the following resolution:

**WHEREAS**, the Applicant, Michael Gregory, filed an application to subdivide the above premises from one (1) single lot to three (3) lots for the construction of three (3) one family dwellings; and

**WHEREAS**, the parcel sits in a Residence A District; and

**WHEREAS**, the Applicant has presented an application to the Planning Board of the Village of Freeport and a public hearing was held on June 28, 2022; and

**WHEREAS**, the Planning Board of the Incorporated Village, as lead agency has determined that this action is a unlisted action under SEQRA and no further review is required; and

**WHEREAS**, this Board has determined that the subject lot when separated will create three lots that residential homes can be built on as the size of the new lots exceeds the 50ft x 100ft lot size that is required in the Village Code; and

**WHEREAS**, that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of this subdivision. Applicant illustrated that the lot sizes in the area of the subject property are similar to the lot sizes of the proposed subdivision; and

**WHEREAS**, the Planning Board of the Village of Freeport, as lead agency, has determined that this action is an unlisted action under SEQRA. A short environmental assessment form has been completed by the applicant and this Board. The Superintendent of Buildings also did a preliminary review of this application and found no environmental impact under SEQRA, issues a negative declaration, and no further review is required.

**NOW, THEREFORE BE IT RESOLVED**, that the application of Michael Gregory, to subdivide the premises known as and by 401 South Ocean Avenue, Section 62 Block 170 Lot 1, Freeport, New York from one (1) single lot to three (3) lots for the construction of three (3) one family dwellings be granted with the following conditions:

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VILLAGE OF FREEPORT, NY

Resolution of the Planning Board  
Incorporated Village of Freeport  
Subdivision Approval

Dated: July 12, 2022

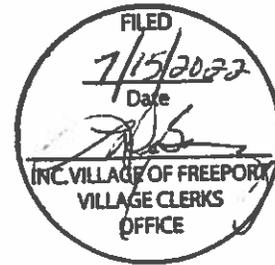
Freeport, NY

1. That the subdivision map must comply with the rules and regulations of the Incorporated Village of Freeport, the County of Nassau and the State of New York, and further must comply with all requirements of the Clerk of the County of Nassau and further must be filed with the Nassau County Clerk within ninety (90) days of this approval with a copy to the Village of Freeport Clerk's Office and the Building Department.
2. No permits will be issued until the subdivision map is filed.

Second by Ladonna Taylor

The Clerk polled the Board as follows:

Carole Ryan	In Favor
Ladonna Taylor	In Favor
Deborah Welch	In Favor
Edgar Campbell	In Favor



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VILLAGE OF FREEPORT, NY



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

September 23, 2022  
SITE PLAN LETTER

Dennis Marti  
1500 Jerusalem Avenue  
Merrick, NY 11566

RE: 401 S. Ocean Avenue, Freeport, NY  
Zoning District: Residence A Sec 62 Blk 170 Lot 1 (Lot B)  
Building Permit Application #20222935  
**Description: Proposed two-story, 2,345 sq. ft. one family dwelling with attached garage**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings

/cd  
Encl.

c: Village Clerk

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VILLAGE OF FREEPORT, NY

ZBA Approval Needed: Yes  No

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

\_\_\_\_\_ The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20222935

Location : 401 S. Ocean Avenue, Freeport, NY – (Lot B)

Applicant : Dennis Marti

Description : Proposed two-story, 2,345 sq. ft, one family dwelling with attached garage

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

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B) Possible environment effects identified:  
(only if positive determination)

SEP 26 2022

CLERK OF THE  
VILLAGE OF FREEPORT, NY

Dated: September 23, 2022

  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project:			
Project Location (describe, and attach a location map): 401 S Ocean Ave, Freeport NY 11520 - Lot B			
Brief Description of Proposed Action: Proposed 2 story one family dwelling			
Name of Applicant or Sponsor: Dennis Marti		Telephone: 516-902-2594	
Address: 1500 Jerusalem Ave		E-Mail: Office@martihomes.net	
City/PO: merrick	State: NY	Zip Code: 11566	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		X	
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
		X	
3.a. Total acreage of the site of the proposed action? _____ acres		RECEIVED SEP 26 2022 CLERK'S OFFICE VILLAGE OF FREEPORT, NY	
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?			X	
	b. Consistent with the adopted comprehensive plan?			
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES	
		X		
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		NO	YES	
		X		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES	
		X		
b. Are public transportation service(s) available at or near the site of the proposed action?		X		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		X		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		NO	YES	
			X	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____		NO	YES	
		X		
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____		NO	YES	
			X	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		NO	YES	
		X		
b. Is the proposed action located in an archeological sensitive area?		X		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES	
		X		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		X		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:				
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO	YES	
		X		
16. Is the project site located in the 100 year flood plain?		NO	YES	
		X		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		NO	YES	
		X		
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		<input type="checkbox"/> NO <input type="checkbox"/> YES		

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	X	
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Dennis Marti</u>	Date: <u>8/2/22</u>	
Signature: _____		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

SEP 26 2022 CLERK'S OFFICE VILLAGE OF FREEPORT, NY	AUG 3 - 2022 RECEIVED FREEPORT BUILDING DEPT.	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	X		
2. Will the proposed action result in a change in the use or intensity of use of land?	X		
3. Will the proposed action impair the character or quality of the existing community?	X		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	X		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	X		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	X		
7. Will the proposed action impact existing: a. public / private water supplies?	X		
b. public / private wastewater treatment utilities?	X		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	X		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	X		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	X	
11. Will the proposed action create a hazard to environmental resources or human health?	X	

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 FREEPORT BUILDING DEPT.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

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401 S Ocean Ave Finishes – LOT B

**Siding**

Blue

**Trim**

Standard White

**Doors**

Mahogany

**Windows**

6 over 1 panel

**Masonry**

Ledge Stone

**Light Fixtures**

low profile frame rectangle sconce

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Richard W Gibney RLA □ ISA  
Principal

Mr. Michael Gregory  
The Service Depot Inc.  
204 Westbury Avenue  
Carle Place, NY 11514

21 January 2022

Re: Property at 401 South Ocean Avenue (on east side at the corner of Carman Street), Freeport, NY  
Section 62 Block 170 Lot 1

Dear Mr. Gregory:

As per your request, I inspected the property described above on 15 December 2021 with respect to the protection and/or removal of existing trees. Enclosed is a copy of the Tree Location Map with trees numbered to correspond with the list shown below.

	Tree #	Tree Caliper	Tree Type	Recommendations	Remarks
Lot A	1	13", 18", 19"	Black Cherry	Preserve	Prune and feed
	2	11"	Norway Maple	Remove	Poor condition
	3	12"	Mulberry	Remove	Poor condition
	4	12"	Unknown	Remove	Dead
	5	17"	Black Cherry	Preserve	Prune and feed
	6	18"	Norway Maple	Preserve	Prune and feed
	7	16", 18"	Norway Maple	Preserve	Prune and feed
Lot B	8	17"	Norway Maple	Remove	Poor condition; crown damage
	9	8", 8", 11"	Norway Maple	Preserve	Prune and feed
	10	8", 10", 10"	Black Cherry	Remove	Poor condition
	11	20", 18"	Black Cherry	Remove	Poor condition
Lot C	12	9"	Black Cherry	Remove	Poor condition
	13	29"	London Plane	Remove	In construction
	14	26"	London Plane	Remove	In construction
	15	9"	Norway Maple	Remove	Poor condition
	16	18"	Black Cherry	Remove	Poor condition
	17	10"	Norway Maple	Preserve	Prune and feed
	18	16"	Norway Maple	Preserve	Prune and feed
	19	6"	Unknown	Remove	Dead

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To replace the trees removed I recommend the planting of three new trees as follows and shown on the attached Tree Location Map.

- Tree A 2½"-3" caliper Red Maple (*Acer rubrum* October Glory)
- Tree B 2½"-3" caliper White Oak (*Quercus alba*)
- Tree C 2-2½" caliper Pink Flowering Dogwood (*Cornus florida rubra*)

Trees to remain shall be protected in a fence enclosure at least 4'-0" high and 8'-0" square or at a distance in feet from the tree equal to the diameter of the trunk in inches, measured twelve (12) inches from grade, whichever is greater. All building material, dirt and debris shall be kept outside the barrier. In addition, wherever excavation takes place within the dripline of the tree, the tree should be well irrigated. Existing trees to remain should be pruned for safety.

To prevent damage to the roots and branches and to minimize root compaction, no material or equipment shall be stored or operated over the area of the dripline of the trees to remain.

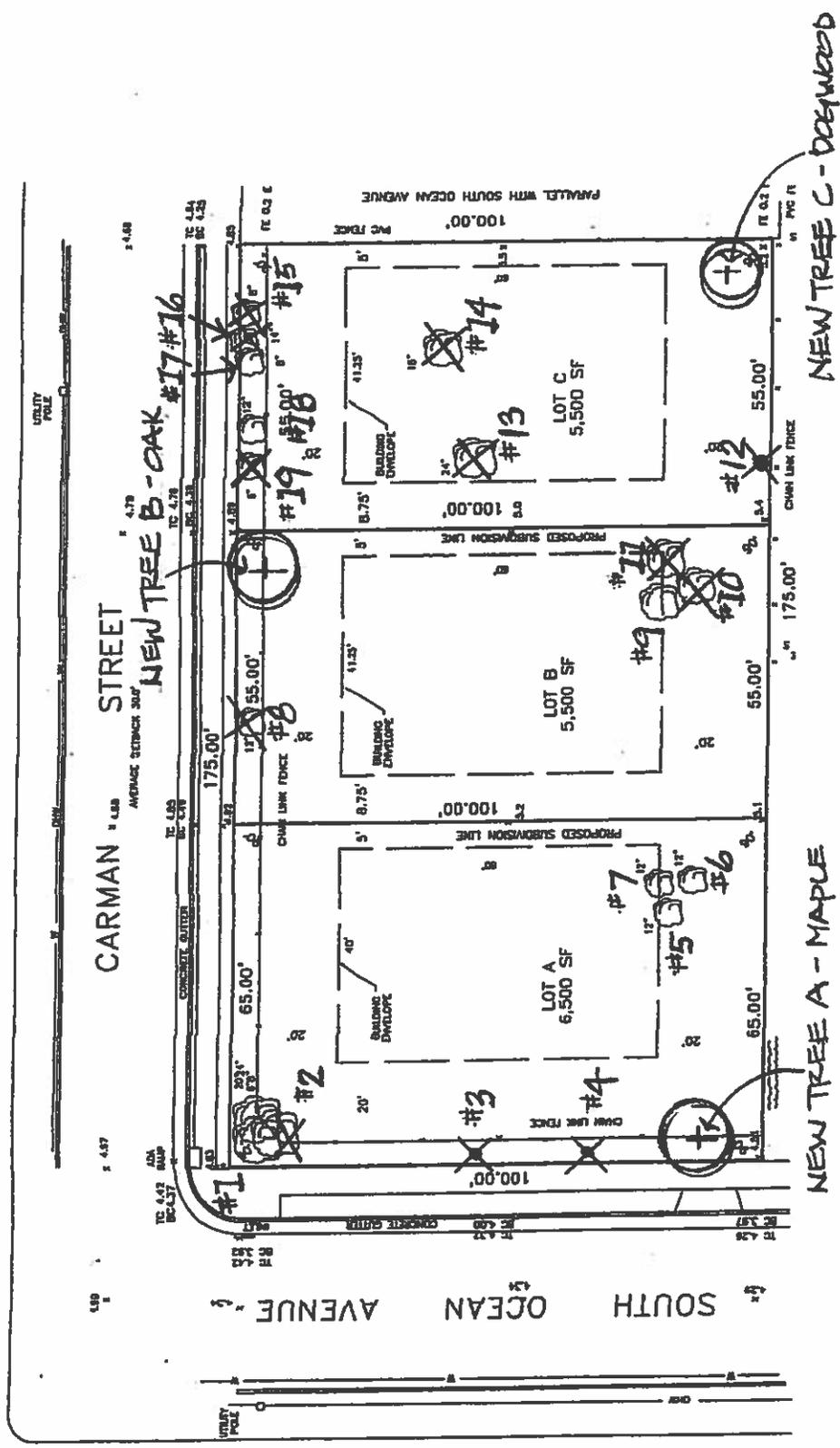
If there are any errors, omissions, questions or comments concerning the above, please contact me.

Sincerely,

  
Richard W Gibney RLA ISA

Enc: Corresponding Tree Location Map





TREE LOCATION MAP  
 LOTS A-C AT 401 SOUTH OCEAN AVENUE, FREEPORT, NY  
 SECTION 62 BLOCK 170 LOT 1  
 RW GIBNEY PLA 21 JANUARY 2022

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1"=120'

# LEGEND

— PARCEL LINE

- - - LOT LINE

— ZONING DISTRICT LINE

(27) LOT NUMBER

100 PARCEL LINE LENGTH

ADDRESS NUMBER  
NOTE: FACES STREET THAT IT IS ON.

## Radius Map

401 Ocean Avenue  
Freeport, NY 11520

Section: 62  
Block: 170  
Lot: 1

Prepared By:

Long Island Expeditors  
121 Newbridge Road  
Hicksville, NY 11801  
Phone 516-698-0005

DATE: November 18, 2021





# Generated by REScheck-Web Software Compliance Certificate

Project Carman Street

Energy Code: **2018 IECC**  
 Location: **Freeport, New York**  
 Construction Type: **Single-family**  
 Project Type: **New Construction**  
 Conditioned Floor Area: **1,940 ft<sup>2</sup>**  
 Glazing Area: **18%**  
 Climate Zone: **4 (5316 HDD)**  
 Permit Date:  
 Permit Number:

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Construction Site:  
 Carman Street  
 Freeport

Owner/Agent:

Designer/Contractor:

## Compliance: Passes using UA trade-off

Compliance **13.8% Better Than Code** Maximum UA **362** Your UA **312** Maximum SHGC **0.40** Your SHGC **0.21**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

## Envelope Assemblies

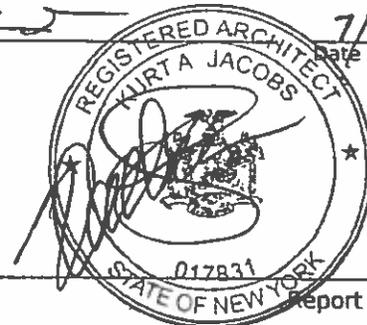
Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	1,245	30.0	0.0	0.035	0.026	44	32
Wall: Wood Frame, 16" o.c.	1,366	21.0	0.0	0.057	0.060	66	70
Window: Vinyl Frame SHGC: 0.21	200			0.240	0.320	48	64
Wall 1: Wood Frame, 16" o.c.	1,152	21.0	0.0	0.057	0.060	51	54
Window 1: Vinyl Frame SHGC: 0.21	260			0.240	0.320	62	83
Floor: All-Wood Joist/Truss	1,245	30.0	0.0	0.033	0.047	41	59

**Compliance Statement:** The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title

Signature

Date



Project Title: Carman Street  
 Data filename:

Report date: 07/25/22  
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# REScheck Software Version : REScheck-Web Inspection Checklist

Energy Code: 2018 IECC

Requirements: 0.0% were addressed directly in the REScheck software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2 [PR1] <sup>1</sup> ☉	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
103.1, 103.2, 403.7 [PR3] <sup>1</sup> ☉	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
302.1, 403.7 [PR2] <sup>2</sup> ☉	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: Btu/hr _____ Cooling: Btu/hr _____	Heating: Btu/hr _____ Cooling: Btu/hr _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

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Project Title: Carman Street  
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Section # & Req.ID	Foundation Inspection	Complies?	Comments/Assumptions
303.2.1 [FO11] <sup>2</sup> Ⓢ	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.9 [FO12] <sup>2</sup> Ⓢ	Snow- and ice-melting system controls installed.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

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1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
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Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.1, 402.3.3, 402.5 [FR2] <sup>1</sup>	Glazing U-factor (area-weighted average).	U- _____	U- _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 [FR4] <sup>1</sup>	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.1 [FR23] <sup>1</sup>	Air barrier and thermal barrier installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.3 [FR20] <sup>1</sup>	Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.5 [FR16] <sup>2</sup>	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.1 [FR12] <sup>1</sup>	Supply and return ducts in attics insulated ≥ R-8 where duct is ≥ 3 inches in diameter and ≥ R-6 where < 3 inches. Supply and return ducts in other portions of the building insulated ≥ R-6 for diameter ≥ 3 inches and R-4.2 for < 3 inches in diameter.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.2 [FR13] <sup>1</sup>	Ducts, air handlers and filter boxes are sealed with joints/seams compliant with International Mechanical Code or International Residential Code, as applicable.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.5 [FR15] <sup>3</sup>	Building cavities are not used as ducts or plenums.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4 [FR17] <sup>2</sup>	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3.	R- _____	R- _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4.1 [FR24] <sup>1</sup>	Protection of insulation on HVAC piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.3 [FR18] <sup>2</sup>	Hot water pipes are insulated to ≥R-3.	R- _____	R- _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.6 [FR19] <sup>2</sup>	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)   
  2 Medium Impact (Tier 2)   
  3 Low Impact (Tier 3)

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1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] <sup>2</sup> ☺	All installed insulation is labeled or the installed R-values provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1, 402.2.6 [IN1] <sup>2</sup> ☺	Floor insulation R-value.	R-_____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R-_____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2, 402.2.8 [IN2] <sup>1</sup> ☺	Floor insulation installed per manufacturer's instructions and in substantial contact with the underside of the subfloor, or floor framing cavity insulation is in contact with the top side of sheathing, or continuous insulation is installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1, 402.2.5, 402.2.6 [IN3] <sup>1</sup> ☺	Wall insulation R-value. If this is a mass wall with at least ½ of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R-_____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	R-_____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [IN4] <sup>1</sup>	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

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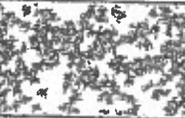
1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
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Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2, 402.2.6 [F11] <sup>1</sup>	Ceiling insulation R-value.	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.1.1, 303.2 [F12] <sup>1</sup>	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft <sup>2</sup> .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.3 [F122] <sup>2</sup>	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.4 [F13] <sup>1</sup>	Attic access hatch and door insulation ≥ R-value of the adjacent assembly.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.2 [F17] <sup>1</sup>	Blower door test @ 50 Pa. <=5 ach in Climate Zones 1-2, and <=3 ach in Climate Zones 3-8.	ACH 50 = ____	ACH 50 = ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.3 [F127] <sup>1</sup>	Ducts are pressure tested to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	____ cfm/100 ft <sup>2</sup>	____ cfm/100 ft <sup>2</sup>	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	RECEIVED SEP 26 2022 VILLAGE
403.3.4 [F14] <sup>1</sup>	Duct tightness test result of <=4 cfm/100 ft <sup>2</sup> across the system or <=3 cfm/100 ft <sup>2</sup> without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	____ cfm/100 ft <sup>2</sup>	____ cfm/100 ft <sup>2</sup>	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.2.1 [F124] <sup>1</sup>	Air handler leakage designated by manufacturer at <=2% of design air flow.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.1 [F19] <sup>2</sup>	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.2 [F110] <sup>2</sup>	Heat pump thermostat installed on heat pumps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1 [F111] <sup>2</sup>	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)    2 Medium Impact (Tier 2)    3 Low Impact (Tier 3)

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 [FI25] <sup>2</sup>	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits per Table R403.6.1.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2 [FI26] <sup>2</sup>	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1.1 [FI28] <sup>2</sup>	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermosiphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1.2 [FI29] <sup>2</sup>	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.2 [FI30] <sup>2</sup>	Demand recirculation water systems have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to $\leq 104^{\circ}\text{F}$ .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.4 [FI31] <sup>2</sup>	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units < 3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units < 2 psi for individual units connected to three or more showers.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	RECEIVED SEP 26 2022 VILLAGE OF FREDERICK
404.1 [FI6] <sup>1</sup>	90% or more of permanent fixtures have high efficacy lamps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1.1 [FI23] <sup>3</sup>	Fuel gas lighting systems have no continuous pilot light.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
401.3 [FI7] <sup>2</sup>	Compliance certificate posted.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

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Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.3 [F118] <sup>3</sup>	Manufacturer manuals for mechanical and water heating systems have been provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

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# 2018 IECC Energy Efficiency Certificate

Insulation Rating	R-Value
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Above-Grade Wall	21.00
Below-Grade Wall	0.00
Floor	30.00
Ceiling / Roof	30.00
Ductwork (unconditioned spaces):	_____

Glass & Door Rating	U-Factor	SHGC
---------------------	----------	------

Window	0.24	0.21
Door		

Heating & Cooling Equipment	Efficiency
-----------------------------	------------

Heating System: _____	_____
Cooling System: _____	_____
Water Heater: _____	_____

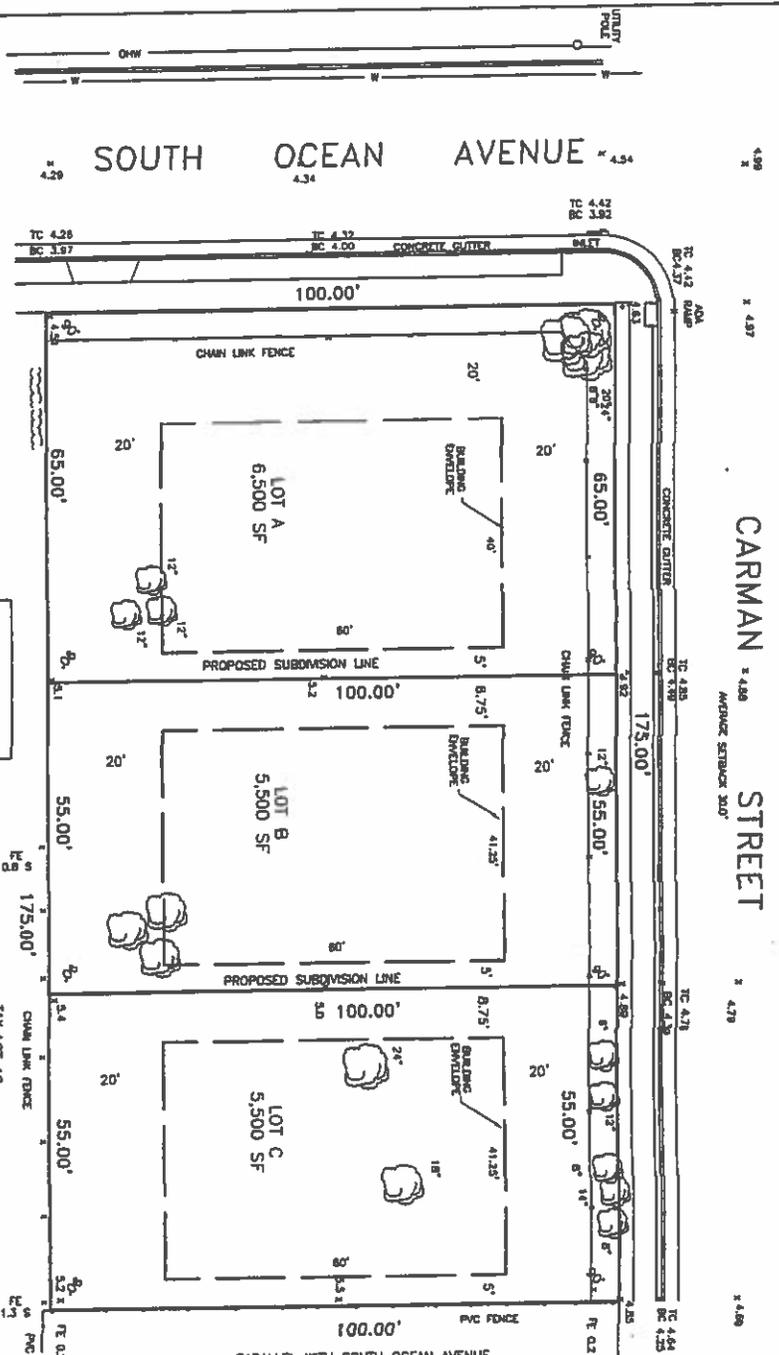
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Comments

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CLL  
VILLAGE OF PINE

NCIM SECTION 62 BLOCK 170 LOT 1

CARMAN STREET



**SURVEY NOTES:**  
 THIS SURVEY HAS BEEN PREPARED IN CONJUNCTION WITH A BUILDING DEPARTMENT APPLICATION. IT HAS BEEN PREPARED USING THE FOLLOWING INFORMATION: FIELD MEASUREMENTS TAKEN ON THE DATE SHOWN; USERS OF THIS SURVEY SHOULD BE AWARE THAT UNRECORDED DOCUMENTS, PAVEMENT AGREEMENTS OR FIELD CONTROL NOT IN EVIDENCE AT TIME OF SURVEY MAY AFFECT ANALYSIS AS SHOWN HEREON.  
 SURVEY HAS BEEN PERFORMED WITHOUT THE BENEFIT OF A COMPLETE CURRENT RECORD.  
 DESCRIPTION FOR LOT 1 CALLS OUT DIRECTIONS AS PARALLEL WITH THE ADJACENT PROPERTY LINES. ANGLES INDICATE THE ELEMENTS SHOWN ARE IN DATUM YEAR 1868.  
 SUBJECT PROPERTY IS IN ZONE AE EL. 8 AS SHOWN ON PANEL 130503232C.  
 EFFECTIVE 9/1/2009, THE COMMUNITY NUMBER IS 80444.

SURVEY OF PROPERTY  
 COMPOSITE PLAN  
 PROPOSED SUBDIVISION  
 SITUATE AT  
 TOWN OF HEMPSTEAD  
 NASSAU COUNTY, NEW YORK

SURVEYED OCTOBER 28, 2021

UNLAWFUL ALTERATION OR ADDITION TO THE SURVEY IS A VIOLATION OF SECTION 2209 OF THE NEW YORK STATE EVIDENCE LAW.  
 ANY ALTERATION OR ADDITION TO THE SURVEY SHALL BE CONSIDERED TO BE A WAIVER THEREOF.  
 QUALITY CONTROL OF THIS SURVEY WAS NOT PERFORMED BY THE SURVEYOR. THE SURVEYOR'S SEAL OR EMPLOYED SEAL SHALL NOT BE CONSIDERED TO BE A WAIVER THEREOF.  
 QUALITY CONTROL OF THIS SURVEY WAS NOT PERFORMED BY THE SURVEYOR. THE SURVEYOR'S SEAL OR EMPLOYED SEAL SHALL NOT BE CONSIDERED TO BE A WAIVER THEREOF.  
 QUALITY CONTROL OF THIS SURVEY WAS NOT PERFORMED BY THE SURVEYOR. THE SURVEYOR'S SEAL OR EMPLOYED SEAL SHALL NOT BE CONSIDERED TO BE A WAIVER THEREOF.

DORANNE E. TAY LS  
 PO BOX 32  
 SELDEN, NY 11784  
 TEL (516) 660-9489



SCALE 1" = 20'





Application Date: \_\_\_\_\_  
Fees Paid: \_\_\_\_\_

SP# 3594

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 401 S Ocean Ave ZONING DISTRICT Res-A  
SECTION 62 BLOCK 170 LOT C LOT SIZE: 5,500 sqft

<input type="checkbox"/> TENANT <b>APPLICANT</b> <input type="checkbox"/> LESSEE	<b>PROPERTY OWNER</b>
Name: <u>Same as owner</u>	Name: <u>Dennis Marti</u>
Address: _____	Address: <u>1500 Jerusalem Ave</u>
Telephone #: _____	Merrick NY 11566
	Telephone #: <u>516-902-2594</u>

Attorney Name: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Address: \_\_\_\_\_

Present Land Use: Residential

Proposed Land Use: Residential

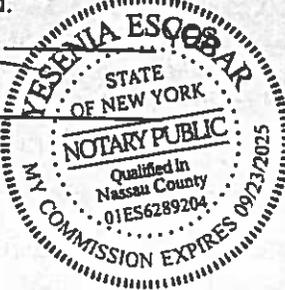
Description of Proposed Work: Proposed 3 story, one family dwelling.

I request a preliminary meeting:  YES  NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

[Signature]  
APPLICANT'S SIGNATURE  
Sworn to before me this 22  
day of September, 2022  
[Signature]  
Notary Public



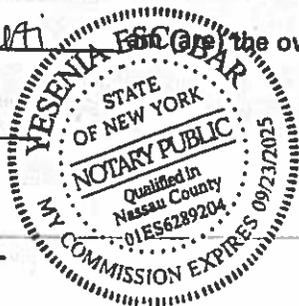
NO  
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DATE

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VILLAGE OF FREEPORT, NY

Property Owner's Consent:

I, Dennis Marti (are) the owner(s) of the subject property and consent to the filing of this application.

PROPERTY OWNER'S SIGNATURE  
Sworn to before me this 22  
day of September, 2022  
[Signature]  
Notary Public



9/22/22  
DATE



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**September 23, 2022**  
**SITE PLAN LETTER**

**Dennis Marti**  
**1500 Jerusalem Avenue**  
**Merrick, NY 11566**

**RE: 401 S. Ocean Avenue, Freeport, NY**  
**Zoning District: Residence A Sec 62 Blk 170 Lot 1 (Lot C)**  
**Building Permit Application #20222936**  
**Description: Proposed two-story, 2,304 sq. ft. one family dwelling with attached garage**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings

/cd  
Encl.

c: Village Clerk

ZBA Approval Needed: Yes  No

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VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20222936

Location : 401 S. Ocean Avenue, Freeport, NY – (Lot C)

Applicant : Dennis Marti

Description : Proposed two-story, 2,304 sq. ft, one family dwelling with attached garage

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

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B) Possible environment effects identified:  
(only if positive determination)

CLERK  
VILLAGE OF FREEPORT, NY

Dated: September 23, 2022

  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.



**VILLAGE OF FREEPORT**  
**VILLAGE CLERK**  
46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2300 (Bus) (516) 771-4127 Fax

ROBERT T. KENNEDY  
MAYOR

PAMELA WALSH BOENING  
VILLAGE CLERK

July 15, 2022

Mr. Michael Gregory  
204 Westbury Avenue  
Carle Place, NY 11514

**Re: 401 South Ocean Avenue, Section 62, Block 170, Lot 1. Residence A district – Marti Homes, LLC**  
- Application for Subdivision to erect three (3) single family detached homes.

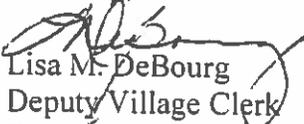
Dear Mr. Gregory:

Please be advised that the above referenced subdivision application was approved at the July 12, 2022 Planning Board meeting.

Attached you will find the resolution of the Planning Board for your subdivision approval.

If you have any questions or need further information, please call my office at 516-377-3632.

Sincerely,

  
Lisa M. DeBourg  
Deputy Village Clerk  
Enclosures

cc: Howard Colton, Village Attorney  
Sergio A. Mauras, Superintendent of Buildings  
Marti Homes, LLC  
Michael Solomon, Esq.

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VILLAGE OF FREEPORT, NY

**Resolution of the Planning Board  
Incorporated Village of Freeport  
Subdivision Approval**

Dated: July 12, 2022

Freeport, NY

The applicant, Michael Gregory comes before this Board seeking a subdivision of the premises known as and by 401 South Ocean Avenue, Section 62 Block 170 Lot 1, Freeport, New York from one (1) single lot to three (3) lots for the construction of three (1) one family dwellings.

I Edgar Campbell move that this Board make the following resolution:

**WHEREAS**, the Applicant, Michael Gregory, filed an application to subdivide the above premises from one (1) single lot to three (3) lots for the construction of three (3) one family dwellings; and

**WHEREAS**, the parcel sits in a Residence A District; and

**WHEREAS**, the Applicant has presented an application to the Planning Board of the Village of Freeport and a public hearing was held on June 28, 2022; and

**WHEREAS**, the Planning Board of the Incorporated Village, as lead agency has determined that this action is a unlisted action under SEQRA and no further review is required; and

**WHEREAS**, this Board has determined that the subject lot when separated will create three lots that residential homes can be built on as the size of the new lots exceeds the 50ft x 100ft lot size that is required in the Village Code; and

**WHEREAS**, that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of this subdivision. Applicant illustrated that the lot sizes in the area of the subject property are similar to the lot sizes of the proposed subdivision; and

**WHEREAS**, the Planning Board of the Village of Freeport, as lead agency, has determined that this action is an unlisted action under SEQRA. A short environmental assessment form has been completed by the applicant and this Board. The Superintendent of Buildings also did a preliminary review of this application and found no environmental impact under SEQRA, issues a negative declaration, and no further review is required.

**NOW, THEREFORE BE IT RESOLVED**, that the application of Michael Gregory, to subdivide the premises known as and by 401 South Ocean Avenue, Section 62 Block 170 Lot 1, Freeport, New York from one (1) single lot to three (3) lots for the construction of three (3) one family dwellings be granted with the following conditions:

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VILLAGE OF FREEPORT, NY

Resolution of the Planning Board  
Incorporated Village of Freeport  
Subdivision Approval

Dated: July 12, 2022

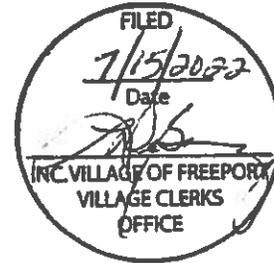
Freeport, NY

1. That the subdivision map must comply with the rules and regulations of the Incorporated Village of Freeport, the County of Nassau and the State of New York, and further must comply with all requirements of the Clerk of the County of Nassau and further must be filed with the Nassau County Clerk within ninety (90) days of this approval with a copy to the Village of Freeport Clerk's Office and the Building Department.
2. No permits will be issued until the subdivision map is filed.

Second by Ladonna Taylor

The Clerk polled the Board as follows:

Carole Ryan	In Favor
Ladonna Taylor	In Favor
Deborah Welch	In Favor
Edgar Campbell	In Favor



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617.20  
Appendix B  
Short Environmental Assessment Form

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OFFICE  
VILLAGE OF FREEPORT, NY

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project:			
Project Location (describe, and attach a location map): 401 S Ocean Ave, Freeport NY 11520 (Lot C)			
Brief Description of Proposed Action: Proposed 2 story, one family Dwelling			
Name of Applicant or Sponsor: Dennis Marti		Telephone: 516-902-2594	
		E-Mail: Office@marti.homes.net	
Address: 1500 Jerusalem Ave			
City/PO: Merrick NY		State: NY	Zip Code: 11566
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES
			X
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES
			X
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify):			
<input type="checkbox"/> Parkland			

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	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		X	
b. Consistent with the adopted comprehensive plan?			
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	X		
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	X		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	X		
b. Are public transportation service(s) available at or near the site of the proposed action?		X	
	X		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		X	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
		X	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	X		
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
		X	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	X		
b. Is the proposed action located in an archeological sensitive area?		X	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	X		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		X	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	X		
16. Is the project site located in the 100 year flood plain?	NO	YES	
	X		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	X		

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VILLAGE OF FREEPORT, NY

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	X	
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Dennis Marti</u>	Date: <u>8/2/22</u>	
Signature: _____		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"**

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	X	
2. Will the proposed action result in a change in the use or intensity of use of land?	X	
3. Will the proposed action impair the character or quality of the existing community?	X	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	X	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	X	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	X	
7. Will the proposed action impact existing: a. public / private water supplies?	X	
b. public / private wastewater treatment utilities?	X	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	X	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	X	

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	X	
11. Will the proposed action create a hazard to environmental resources or human health?	X	

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.**

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<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

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Mr. Michael Gregory  
The Service Depot Inc.  
204 Westbury Avenue  
Carle Place, NY 11514

21 January 2022

Re: Property at 401 South Ocean Avenue (on east side at the corner of Carman Street), Freeport, NY  
Section 62 Block 170 Lot 1

Dear Mr. Gregory:

As per your request, I inspected the property described above on 15 December 2021 with respect to the protection and/or removal of existing trees. Enclosed is a copy of the Tree Location Map with trees numbered to correspond with the list shown below.

	Tree #	Tree Caliper	Tree Type	Recommendations	Remarks
Lot A	1	13", 18", 19"	Black Cherry	Preserve	Prune and feed
	2	11"	Norway Maple	Remove	Poor condition
	3	12"	Mulberry	Remove	Poor condition
	4	12"	Unknown	Remove	Dead
	5	17"	Black Cherry	Preserve	Prune and feed
	6	18"	Norway Maple	Preserve	Prune and feed
	7	16", 18"	Norway Maple	Preserve	Prune and feed
Lot B	8	17"	Norway Maple	Remove	Poor condition; crown damage
	9	8", 8", 11"	Norway Maple	Preserve	Prune and feed
	10	8", 10", 10"	Black Cherry	Remove	Poor condition
	11	20", 18"	Black Cherry	Remove	Poor condition
Lot C	12	9"	Black Cherry	Remove	Poor condition
	13	29"	London Plane	Remove	In construction
	14	26"	London Plane	Remove	In construction
	15	9"	Norway Maple	Remove	Poor condition
	16	18"	Black Cherry	Remove	Poor condition
	17	10"	Norway Maple	Preserve	Prune and feed
	18	16"	Norway Maple	Preserve	Prune and feed
	19	6"	Unknown	Remove	Dead

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To replace the trees removed I recommend the planting of three new trees as follows and shown on the attached Tree Location Map.

- Tree A 2½"-3" caliper Red Maple (*Acer rubrum* October Glory)
- Tree B 2½"-3" caliper White Oak (*Quercus alba*)
- Tree C 2-2½" caliper Pink Flowering Dogwood (*Cornus florida rubra*)

Trees to remain shall be protected in a fence enclosure at least 4'-0" high and 8'-0" square or at a distance in feet from the tree equal to the diameter of the trunk in inches, measured twelve (12) inches from grade, whichever is greater. All building material, dirt and debris shall be kept outside the barrier. In addition, wherever excavation takes place within the dripline of the tree, the tree should be well irrigated. Existing trees to remain should be pruned for safety.

To prevent damage to the roots and branches and to minimize root compaction, no material or equipment shall be stored or operated over the area of the dripline of the trees to remain.

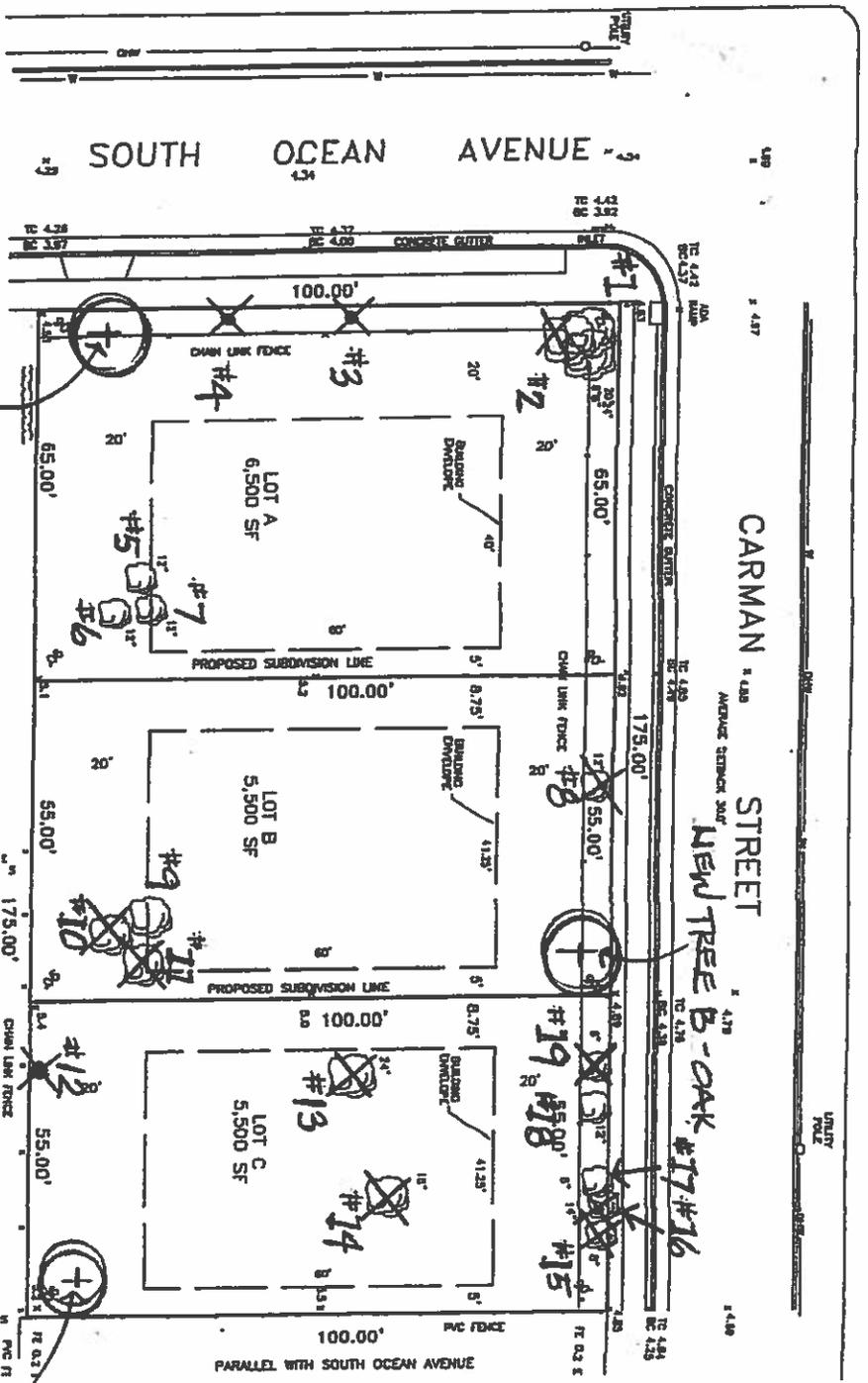
If there are any errors, omissions, questions or comments concerning the above, please contact me.

Sincerely,

  
Richard W Gibney RLA / ISA

Enc: Corresponding Tree Location Map





TREE LOCATION MAP  
 LOTS A-C AT 401 SOUTH OCEAN AVENUE, FREEPORT, NY  
 SECTION 62 BLOCK 170 LOT 1  
 RW GIBNEY PIA 21 JANUARY 2022

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 VILLAGE OF FREEPORT, NY



1" = 120'

# LEGEND

- PARCEL LINE
- LOT LINE
- ZONING DISTRICT LINE
- (27) LOT NUMBER
- 100 PARCEL LINE LENGTH
- No 60 ADDRESS NUMBER
- NOTE: FACES STREET THAT IT IS ON.

## Radius Map

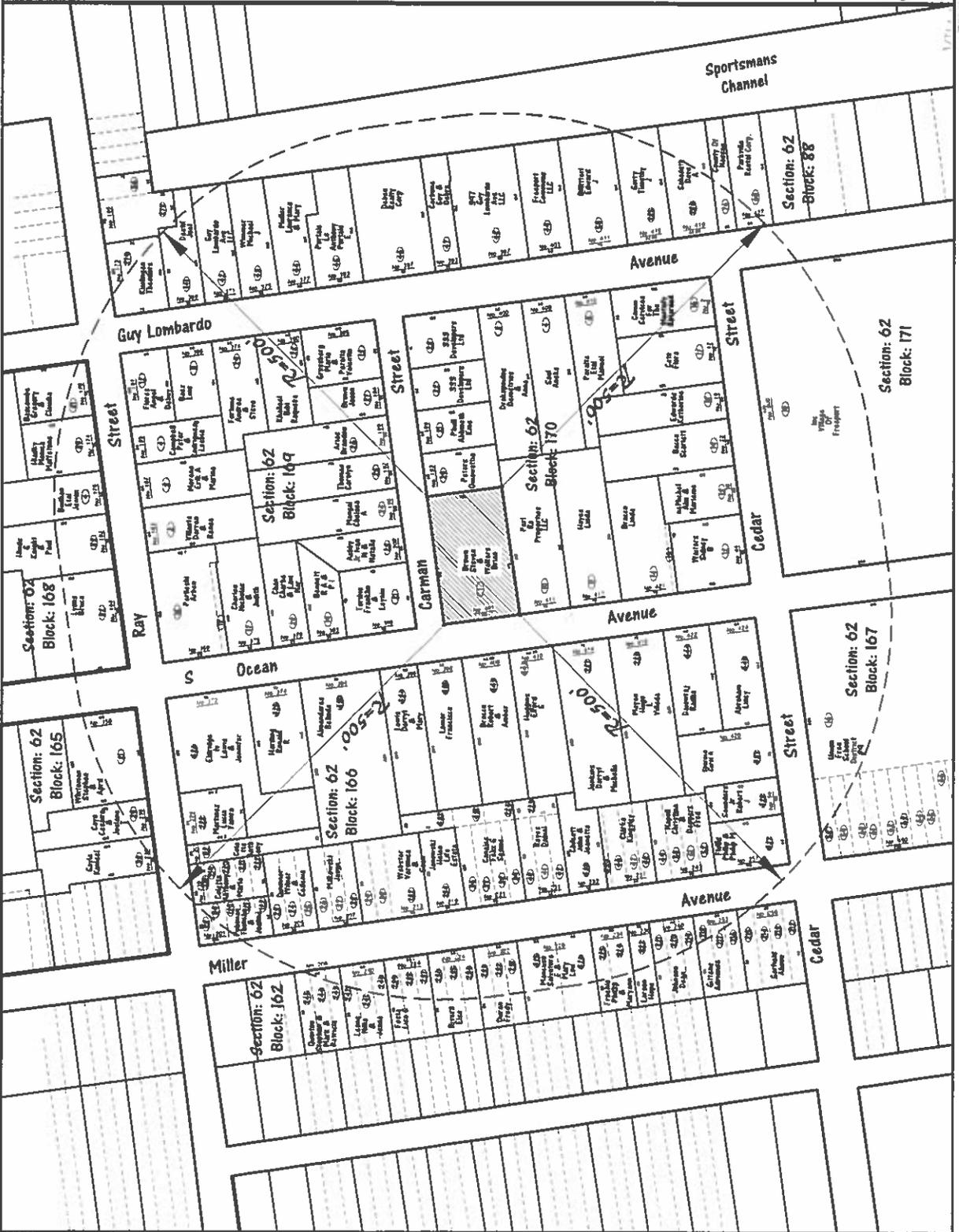
401 Ocean Avenue  
Freeport, NY 11520

Section: 62  
Block: 170  
Lot: 1

Prepared By:

Long Island Expeditors  
121 Newbridge Road  
Hicksville, NY, 11801  
Phone 516-698-0005

DATE: November 18, 2021





# Generated by REScheck-Web Software Compliance Certificate

Project Carman Street

Energy Code: **2018 IECC**  
 Location: **Freeport, New York**  
 Construction Type: **Single-family**  
 Project Type: **New Construction**  
 Conditioned Floor Area: **1,940 ft<sup>2</sup>**  
 Glazing Area: **18%**  
 Climate Zone: **4 (5316 HDD)**  
 Permit Date:  
 Permit Number:

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Construction Site:  
 Carman Street  
 Freeport

Owner/Agent:

Designer/Contractor:

## Compliance: Passes using UA trade-off

Compliance **13.8% Better Than Code** Maximum UA. **362** Your UA. **312** Maximum SHGC **0.40** Your SHGC **0.21**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

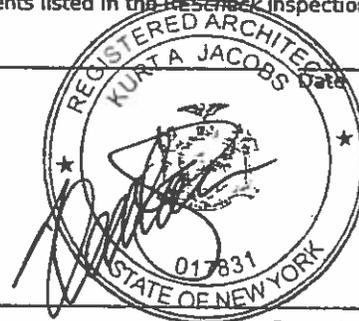
## Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	1,245	30.0	0.0	0.035	0.026	44	32
Wall: Wood Frame, 16" o.c.	1,366	21.0	0.0	0.057	0.060	66	70
Window: Vinyl Frame SHGC: 0.21	200			0.240	0.320	48	64
Wall 1: Wood Frame, 16" o.c.	1,152	21.0	0.0	0.057	0.060	51	54
Window 1: Vinyl Frame SHGC: 0.21	260			0.240	0.320	62	83
Floor: All-Wood Joist/Truss	1,245	30.0	0.0	0.033	0.047	41	59

**Compliance Statement:** The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title

Signature



Project Title: Carman Street  
 Data filename:

Report date: 07/25/22  
 Page 1 of 9



**REScheck Software Version : REScheck-Web**

# Inspection Checklist

Energy Code: 2018 IECC

Requirements: 0.0% were addressed directly in the REScheck software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2 [PR1] <sup>1</sup> ⊙	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
103.1, 103.2, 403.7 [PR3] <sup>1</sup> ⊙	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
302.1, 403.7 [PR2] <sup>2</sup> ⊙	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: Btu/hr _____ Cooling: Btu/hr _____	Heating: Btu/hr _____ Cooling: Btu/hr _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

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1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
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Project Title: Carman Street  
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Section # & Req.ID	Foundation Inspection	Complies?	Comments/Assumptions
303.2.1 [FO11] <sup>2</sup> Ⓢ	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.9 [FO12] <sup>2</sup> Ⓢ	Snow- and ice-melting system controls installed.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

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1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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Project Title: Carman Street  
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Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.1, 402.3.3, 402.5 [FR2] <sup>1</sup> ☺	Glazing U-factor (area-weighted average).	U-_____	U-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 [FR4] <sup>1</sup> ☺	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.1 [FR23] <sup>1</sup> ☺	Air barrier and thermal barrier installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.3 [FR20] <sup>1</sup> ☺	Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.5 [FR16] <sup>2</sup>	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.1 [FR12] <sup>1</sup> ☺	Supply and return ducts in attics insulated ≥ R-8 where duct is ≥ 3 inches in diameter and ≥ R-6 where < 3 inches. Supply and return ducts in other portions of the building insulated ≥ R-6 for diameter ≥ 3 inches and R-4.2 for < 3 inches in diameter.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.2 [FR13] <sup>1</sup> ☺	Ducts, air handlers and filter boxes are sealed with joints/seams compliant with International Mechanical Code or International Residential Code, as applicable.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.5 [FR15] <sup>3</sup> ☺	Building cavities are not used as ducts or plenums.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4 [FR17] <sup>2</sup> ☺	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3.	R-_____	R-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4.1 [FR24] <sup>1</sup> ☺	Protection of insulation on HVAC piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.3 [FR18] <sup>2</sup> ☺	Hot water pipes are insulated to ≥R-3.	R-_____	R-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.6 [FR19] <sup>2</sup>	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)    2 Medium Impact (Tier 2)    3 Low Impact (Tier 3)

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**Additional Comments/Assumptions:**

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VILLAGE OF FREEPORT NY

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] <sup>2</sup> ☉	All installed insulation is labeled or the installed R-values provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1, 402.2.6 [IN1] <sup>1</sup> ☉	Floor insulation R-value.	R- _____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R- _____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2, 402.2.8 [IN2] <sup>1</sup> ☉	Floor insulation installed per manufacturer's instructions and in substantial contact with the underside of the subfloor, or floor framing cavity insulation is in contact with the top side of sheathing, or continuous insulation is installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1, 402.2.5, 402.2.6 [IN3] <sup>1</sup> ☉	Wall insulation R-value. If this is a mass wall with at least 1/2 of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R- _____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	R- _____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [IN4] <sup>1</sup>	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

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 VILLAGE OF FREEPORT

1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
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Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2, 402.2.6 [F11] <sup>1</sup>	Ceiling insulation R-value.	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values
303.1.1.1, 303.2 [F12] <sup>1</sup>	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft <sup>2</sup> .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.3 [F122] <sup>2</sup>	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.4 [F13] <sup>1</sup>	Attic access hatch and door insulation $\geq$ R-value of the adjacent assembly.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.2 [F117] <sup>1</sup>	Blower door test @ 50 Pa. $\leq$ 5 ach in Climate Zones 1-2, and $\leq$ 3 ach in Climate Zones 3-8.	ACH 50 = ____	ACH 50 = ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.3 [F127] <sup>1</sup>	Ducts are pressure tested to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	____ cfm/100 ft <sup>2</sup>	____ cfm/100 ft <sup>2</sup>	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input checked="" type="checkbox"/> Not Applicable	RECEIVED SEP 26 2022 CLERK'S OFFICE VILLAGE OF FREETOWN, VI
403.3.4 [F14] <sup>1</sup>	Duct tightness test result of $\leq$ 4 cfm/100 ft <sup>2</sup> across the system or $\leq$ 3 cfm/100 ft <sup>2</sup> without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	____ cfm/100 ft <sup>2</sup>	____ cfm/100 ft <sup>2</sup>	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.2.1 [F124] <sup>1</sup>	Air handler leakage designated by manufacturer at $\leq$ 2% of design air flow.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.1 [F19] <sup>2</sup>	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.2 [F110] <sup>2</sup>	Heat pump thermostat installed on heat pumps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1 [F11] <sup>2</sup>	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)    2 Medium Impact (Tier 2)    3 Low Impact (Tier 3)

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 [F125] <sup>2</sup>	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits per Table R403.6.1.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2 [F126] <sup>2</sup>	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1.1 [F128] <sup>2</sup>	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermosyphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	RECEIVED SEP 26 2022 VILLAGE OF FREEPORT, ILL.
403.5.1.2 [F129] <sup>2</sup>	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.2 [F130] <sup>2</sup>	Demand recirculation water systems have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to $\leq 104^{\circ}\text{F}$ .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.4 [F131] <sup>2</sup>	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units $< 3$ psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units $< 2$ psi for individual units connected to three or more showers.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1 [F16] <sup>1</sup>	90% or more of permanent fixtures have high efficacy lamps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1.1 [F123] <sup>3</sup>	Fuel gas lighting systems have no continuous pilot light.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
401.3 [F17] <sup>2</sup>	Compliance certificate posted.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
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Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.3 [F18]³	Manufacturer manuals for mechanical and water heating systems have been provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

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# 2018 IECC Energy Efficiency Certificate

Insulation Rating	R-Value
-------------------	---------

Above-Grade Wall	21.00
------------------	-------

Below-Grade Wall	0.00
------------------	------

Floor	30.00
-------	-------

Ceiling / Roof	30.00
----------------	-------

Ductwork (unconditioned spaces):	_____
----------------------------------	-------

Glass & Door Rating	U-Factor	SHGC
---------------------	----------	------

Window	0.24	0.21
--------	------	------

Door	_____	_____
------	-------	-------

Heating & Cooling Equipment	Efficiency
-----------------------------	------------

Heating System: _____	_____
-----------------------	-------

Cooling System: _____	_____
-----------------------	-------

Water Heater: _____	_____
---------------------	-------

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Comments

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VILLAGE OF FRELPORT, NY



401 S Ocean Ave Finishes – LOT C

**Siding**

Grey

**Trim**

Standard White

**Doors**

In Standard White

**Windows**

6 over 1 panel

**Masonry**

Ledge Stone

**Light Fixtures**

low profile frame rectangle sconce

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SEP 26 2022

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



NCTM SECTION 62 BLOCK 170 P/O LOT

**SURVEY NOTES:**

THIS SURVEY HAS BEEN PREPARED IN CONJUNCTION WITH A BUILDING DEPARTMENT APPLICATION FOR THE PROPOSED CONSTRUCTION OF A BUILDING ON THE FOLLOWING INFORMATION: DEED FILED MAP TAKEN FROM THE DATE SHOWN AND FIELD MEASUREMENTS TAKEN ON THE DATE SHOWN. USERS OF THIS SURVEY SHOULD BE AWARE THAT UNRECORDED DOCUMENTS, EASEMENTS, AGREEMENTS OR FIELD CONTROL NOT IN POSSESSION AT THE TIME OF SURVEY MAY AFFECT ANALYSIS AS SHOWN HEREON. SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A COMPLETE CURRENT TITLE REPORT. DESCRIPTION FOR LOT 1 CALLS OUT CURBSTONS AS PARALLEL WITH STREETS. DEEDS FOR ADJOINING PROPERTIES INDICATE THE ANGULAR RELATIONSHIP IS 90 DEGREES. ELEVATIONS SHOWN ARE IN DATUM NAVD 1988. SUBJECT PROPERTY IS IN FEMA ZONE AE EL. 8. SURVEY WAS MADE ON THE 11TH DAY OF OCTOBER 2021. EFFECTIVE 9/1/2020 IN VILLAGE OF FREEPORT, COMMUNITY NUMBER 350464.

SURVEY OF PROPERTY  
PROPOSED LOT C  
SITUATE AT  
INC. VILLAGE OF FREEPORT  
TOWN OF HEMPSTEAD  
NASSAU COUNTY, NEW YORK

SCALE 1" = 20'

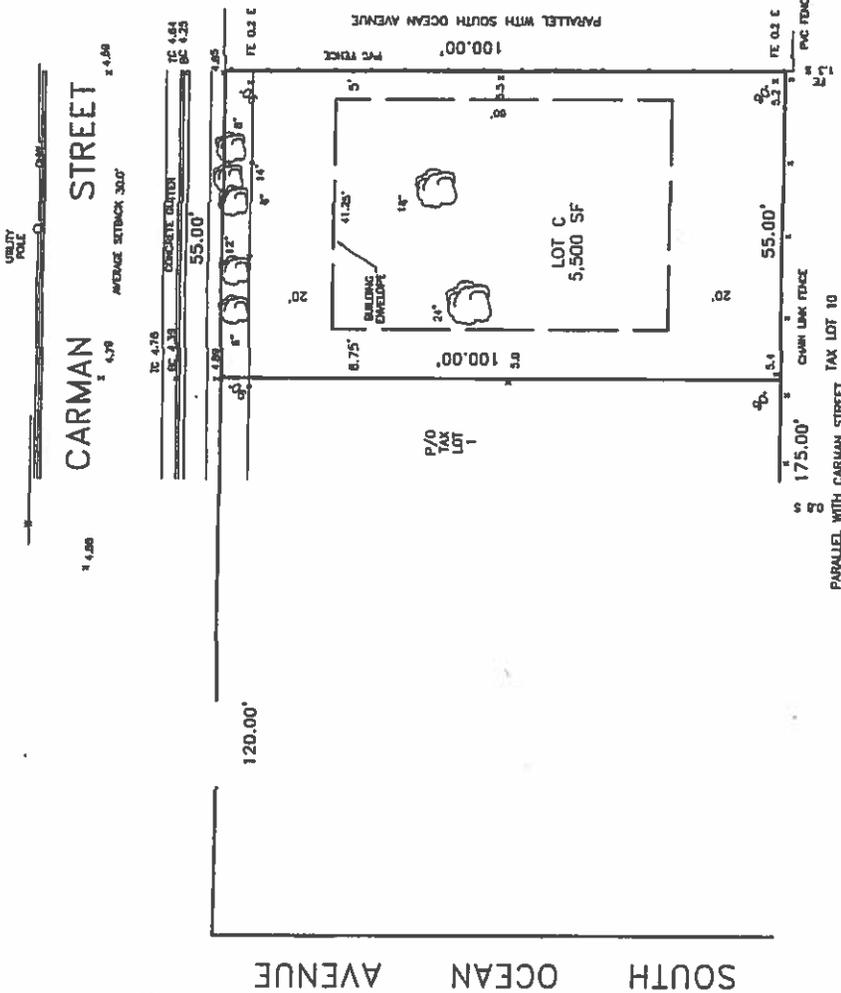


DORANNE E. TAY LS  
PO BOX 32  
SELDEN, NY 11784  
TEL (516) 660-9489

SURVEYED OCTOBER 28, 2021

UNREGISTERED ASSISTANTS OR ASSISTERS TO THIS SURVEYOR IS A VIOLATION OF SECTION 1707 OF THE NEW YORK STATE SURVEYS LAW.

COPIES OF THIS SURVEY MAP NOT BEING FILED WITH THE COUNTY CLERK OF NASSAU COUNTY, NEW YORK, SHALL NOT BE CONSIDERED TO BE A TRUE COPY. COPIES OF THIS SURVEY MAP NOT BEING FILED WITH THE COUNTY CLERK OF NASSAU COUNTY, NEW YORK, SHALL NOT BE CONSIDERED TO BE A TRUE COPY. THE SURVEYOR'S LIABILITY IS LIMITED TO THE EXTENT OF THE LICENSEE'S NEGLIGENCE. THE SURVEYOR'S LIABILITY IS LIMITED TO THE EXTENT OF THE LICENSEE'S NEGLIGENCE. THE SURVEYOR'S LIABILITY IS LIMITED TO THE EXTENT OF THE LICENSEE'S NEGLIGENCE.



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NCTM SECTION 62 BLOCK 170 LOT 1

**SURVEY NOTES:**

THIS SURVEY HAS BEEN PREPARED IN CONJUNCTION WITH A BUILDING DEPARTMENT APPLICATION FOR THE PROPOSED SUBDIVISION. THE FOLLOWING INFORMATION HAS BEEN OBTAINED FROM THE RECORDS OF THE BUILDING DEPARTMENT AND FIELD MEASUREMENTS TAKEN ON THE DATE SHOWN. USERS OF THIS SURVEY SHOULD BE AWARE THAT UNRECORDED DOCUMENTS, PAROL AGREEMENTS OR FIELD CONTROL NOT IN EVIDENCE AT TIME OF SURVEY MAY AFFECT ANALYSIS AS SHOWN HEREON.

SURVEY HAS BEEN PERFORMED WITHOUT THE BENEFIT OF A COMPLETE CURRENT TITLE REPORT.

DESCRIPTION FOR LOT 1 CALLS OUT DIRECTIONS AS PARALLEL WITH STREETS. DEGREES SHOWING SURROUNDING PROPERTIES INDICATE THE ANGULAR RELATIONSHIP. S, 90 DEGREES.

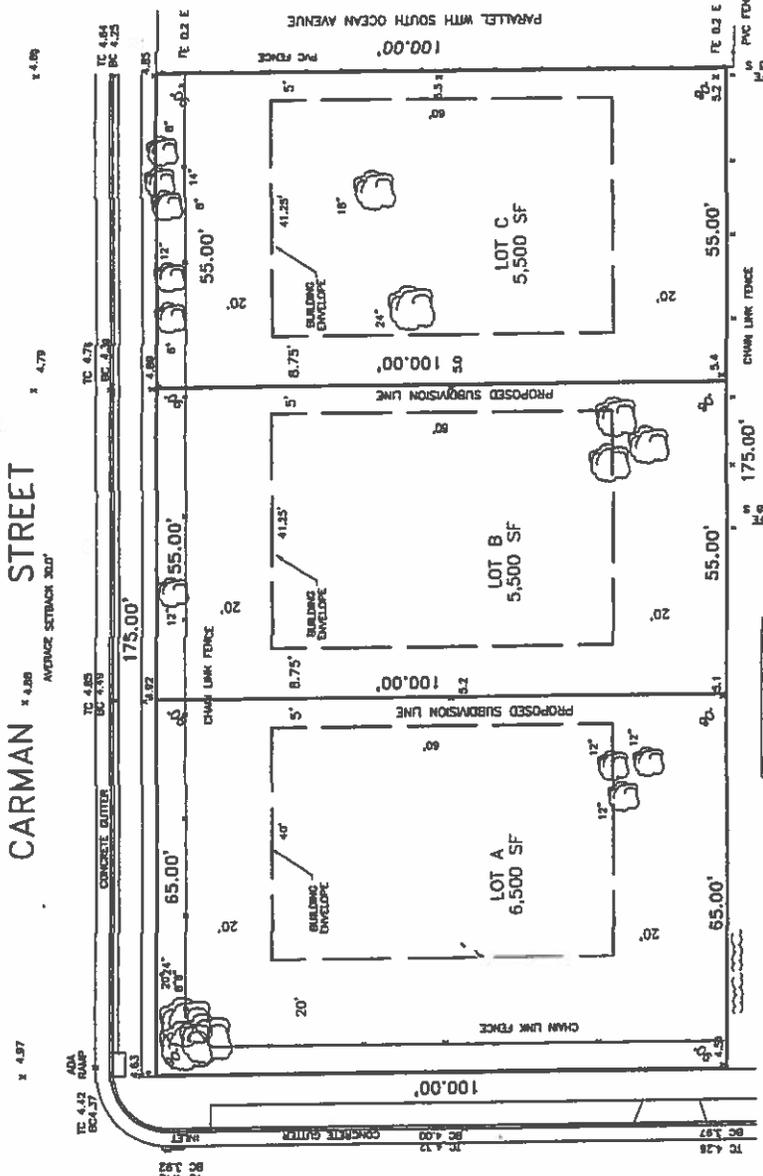
ELEVATIONS SHOWN ARE IN DATUM NAD 1988.

SUBJECT PROPERTY IS IN FEMA ZONE AE EL. 8 AS SHOWN ON PANEL 360550239C, EFFECTIVE 9/11/2009 IN VILLAGE OF FREEPORT, COMMUNITY NUMBER 380464.

UTILITY POLE

CARMAN STREET  
AVERAGE SETBACK 30.0'

SOUTH OCEAN AVENUE



TAX LOT 20

SURVEY OF PROPERTY  
COMPOSITE PLAN  
PROPOSED SUBDIVISION  
SITUATE AT  
INC. VILLAGE OF FREEPORT  
TOWN OF HEMPSTEAD  
NASSAU COUNTY, NEW YORK



SURVEYED OCTOBER 28, 2021

SCALE 1" = 20'

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF EXECUTION LAW.

COPIES OF THIS SURVEY MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR.



DORANNE E. TAY LS  
PO BOX 32  
SELDEN, NY 11784  
TEL (516) 660-9489

RECEIVED  
SEP 20 2022

Application Date: 10/18/22  
 Fees Paid: 325

SP# 3603

**INCORPORATED VILLAGE OF FREEPORT  
 SITE PLAN REVIEW APPLICATION  
 PLANNING BOARD**

**NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION**

**PROPERTY ADDRESS:** 16 W Merrick Road, Freeport ZONING DISTRICT Bus B  
**SECTION** 55 **BLOCK** 481 **LOT** 23 **LOT SIZE:** 3865.1 SF

<input type="checkbox"/> TENANT <u>APPLICANT</u>	<input checked="" type="checkbox"/> LESSEE	<u>PROPERTY OWNER</u>
Name: <u>Jing Zheng</u>		Name: <u>Javid Sakhai (PR.)</u> <u>MERRICK MEADOWS LTD</u>
Address: <u>2217 63rd Road</u> <u>Brooklyn, NY 11024</u>		Address: <u>760 Jericho TPKE</u> <u>Westbury, NY 11590</u>
Telephone #: <u>646 431-3221</u>		Telephone #: <u>516 669-0699</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
 (optional) Phone #: \_\_\_\_\_

Present Land Use: Store Proposed Land Use: Store

Description of Proposed Work: New store front  
interior renovation to nail spa store

I request a preliminary meeting: \_\_\_\_\_ YES  NO

I request a waiver of the public hearing and hereby certify the following:  
 A. The subject property is zoned Residence A or Residence AA.  
 B. The proposed construction is not a new building or dwelling.  
 C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  
 \_\_\_\_\_ YES  NO

Jing Zheng  
 APPLICANT'S SIGNATURE

10/8/2022  
 DATE

Sworn to before me this 8<sup>th</sup>  
 day of Oct, 2022  
 Notary Public

**RONEL BACCAY**  
 Notary Public, State of New York  
 Registration No. 01BA8363265  
 QUALIFIED IN QUEENS COUNTY  
 Commission Expires AUGUST, 14, 2025

**Property Owner's Consent:**  
 I, JAVID SAKHAI am (are) the owner(s) of the subject property and consent to the filing of this application.

Javid Sakhai  
 PROPERTY OWNER'S SIGNATURE

10/13/22  
 DATE

Sworn to before me this 13<sup>th</sup>  
 day of October, 2022  
 Notary Public

**MARIA F MAWYIN MUNOZ**  
 Notary Public, State of New York  
 No. 01MA6268499  
 Qualified in Queens County  
 Commission Expires Sep 10, 2024

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 2022 OCT 18 4 11 05  
 VILLAGE OF FREEPORT  
 CLERK'S OFFICE

**FOR VILLAGE USE ONLY**

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242

FAX (516) 377-2493

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

ROBERT T. KENNEDY  
MAYOR

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

October 4, 2022  
**SITE PLAN LETTER**

Jing Zheng  
2217 63<sup>rd</sup> Road  
Brooklyn, NY 11024

**RE: 16 W. Merrick Road, Freeport, NY**  
**Zoning District: Business B Sec 55 Blk 481 Lot 23**  
**Building Permit Application #20223004**  
**Description: Construct new storefront**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings

/cd  
Encl.

c: Village Clerk  
JA E Architect, P.C.

ZBA Approval Needed: Yes \_\_\_ No X

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VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

     The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20223004

Location: 16 W. Merrick Road, Freeport, NY

Applicant: Jing Zheng

Description: Construct new storefront

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

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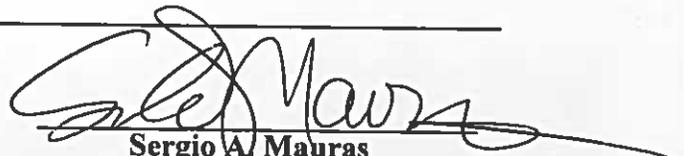
**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: October 4, 2022

  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

**Short Environmental Assessment Form**  
**Part 1 - Project Information**

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SEP 29 2022

FREEPORT BUILDING DEPT.

**Instructions for Completing**

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: <b>L1 Goldmine Nail Spa</b>			
Project Location (describe, and attach a location map): <b>16 W Merrick Rd Freeport, NY 11520</b>			
Brief Description of Proposed Action: <b>New store front &amp; interior renovation to a new nail Spa store</b>			
Name of Applicant or Sponsor: <b>Lilyanne Parengkuan</b>		Telephone: <b>516 2238945</b>	
		E-Mail: <b>jaearchitect@yahoo.com</b>	
Address: <b>75-43 188 St</b>			
City/PO: <b>Freeh Meadows</b>		State: <b>NY</b>	Zip Code: <b>11366</b>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		<b>0.089</b>	acres
b. Total acreage to be physically disturbed?		<b>0.041</b>	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<b>0.041</b>	acres
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

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FREEPORT BUILDING DEPT.

		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?			NO	YES
		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?			NO	YES
If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?			NO	YES
	b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements?			NO	YES
If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply?			NO	YES
If No, describe method for providing potable water: _____		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities?			NO	YES
If No, describe method for providing wastewater treatment: _____		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		<input checked="" type="checkbox"/>	NO	YES
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	YES	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____				

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14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply. <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the Federal government as threatened or endangered?	NO	YES
16. Is the project site located in the 100-year flood plan?	NO	YES
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Lizyanne Parengkuan Date: 9/28/2022  
Signature: \_\_\_\_\_ Title: \_\_\_\_\_

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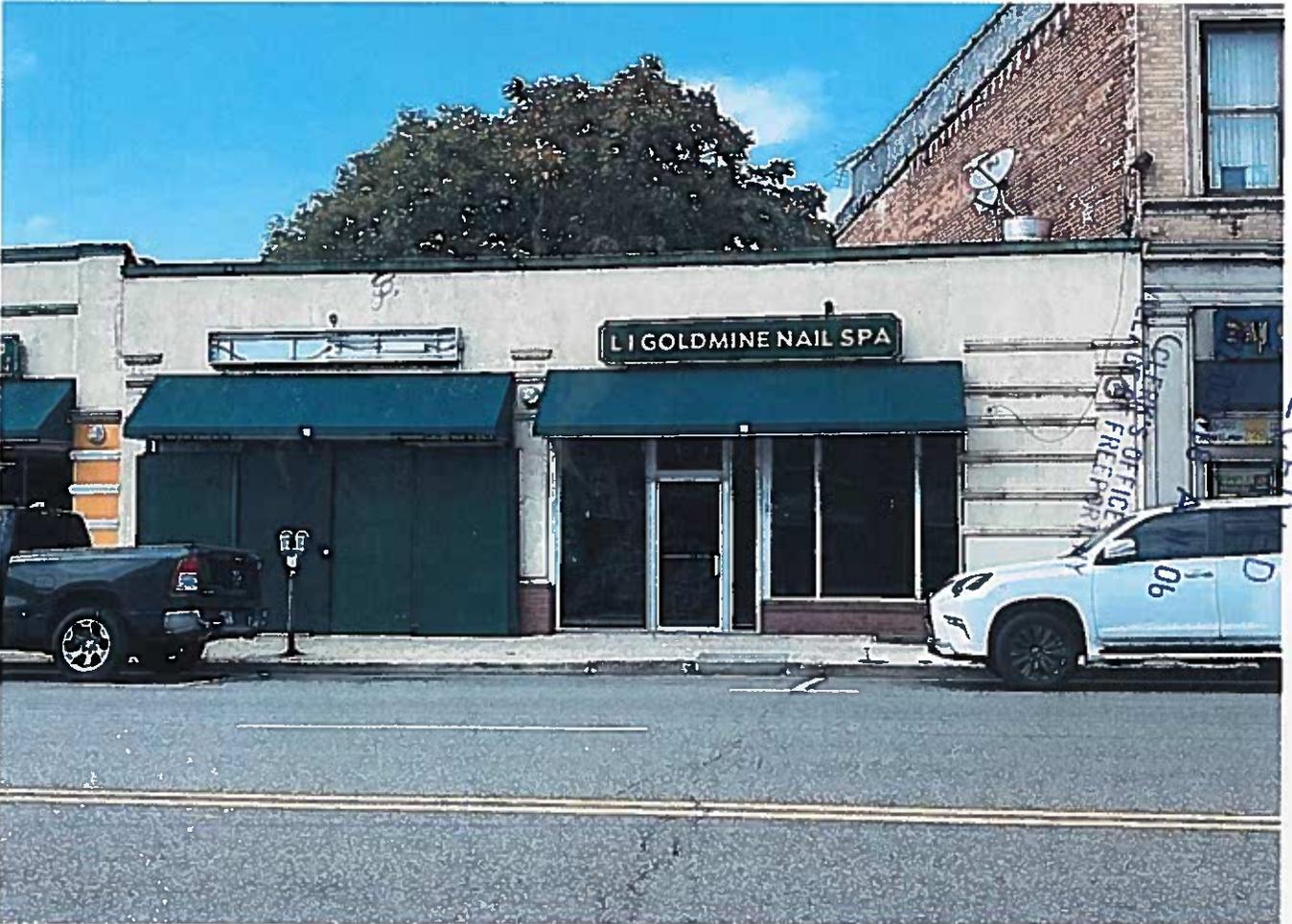
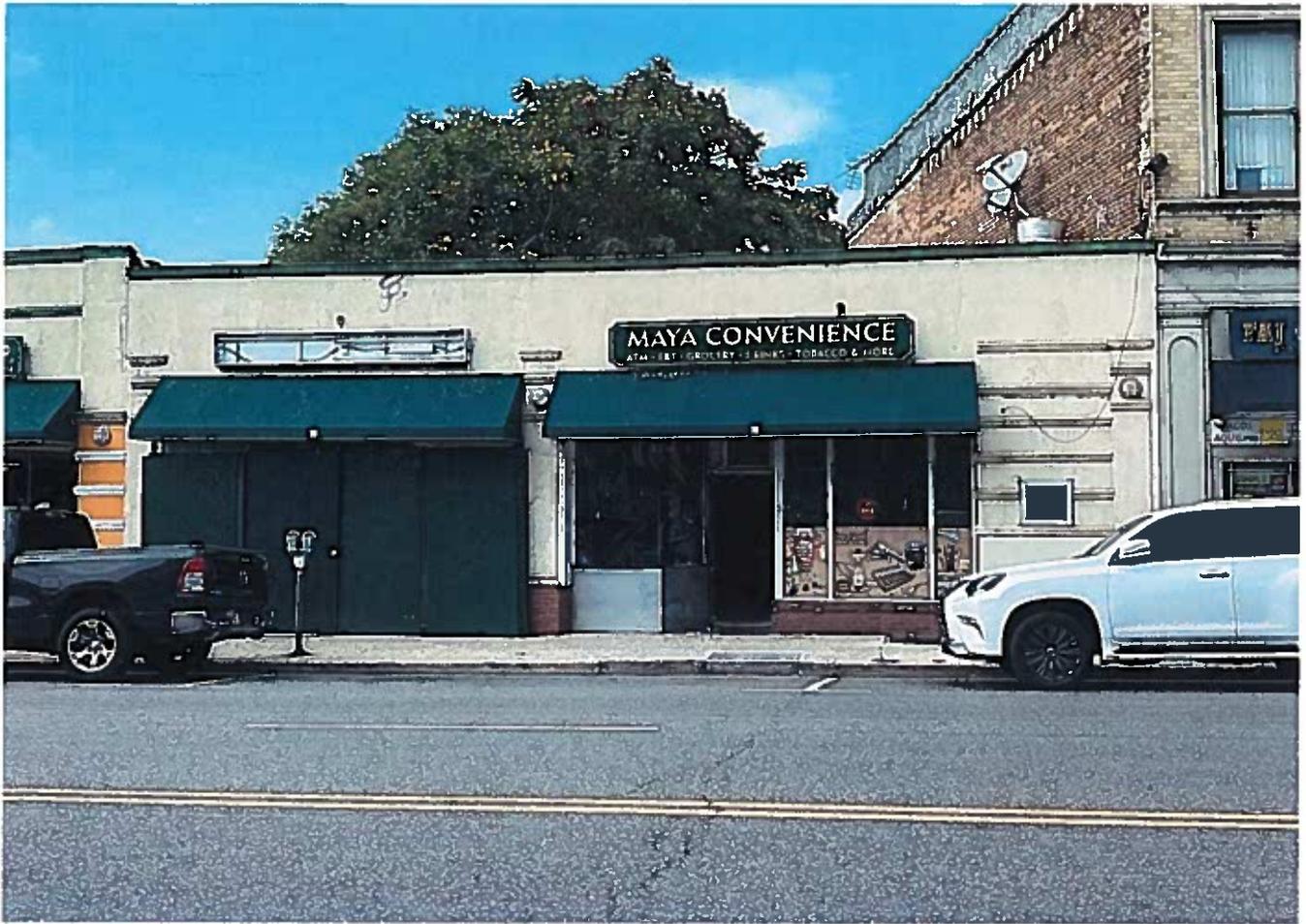
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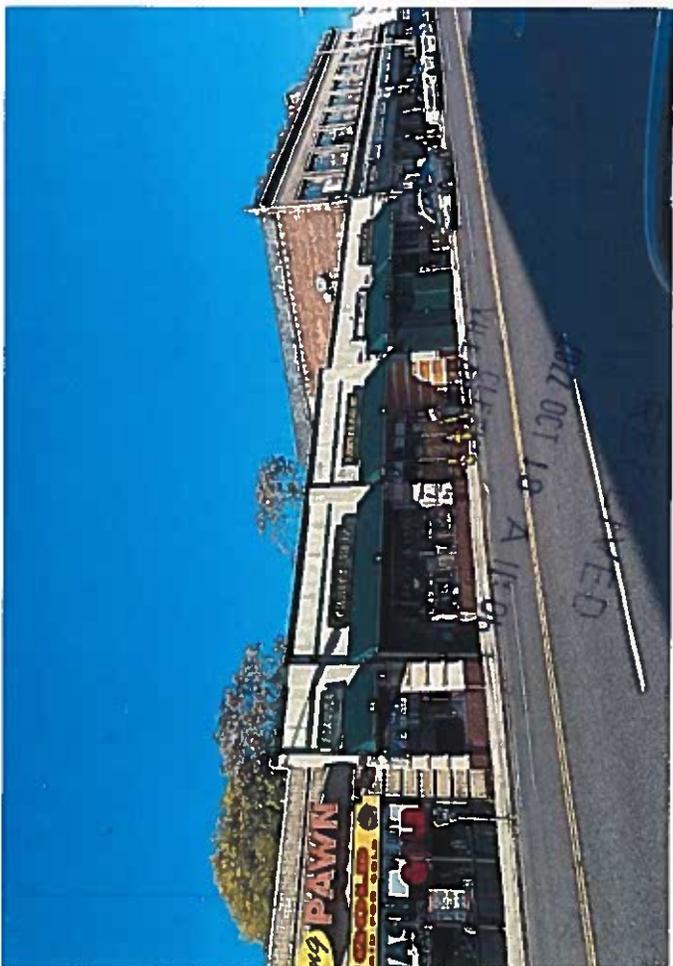
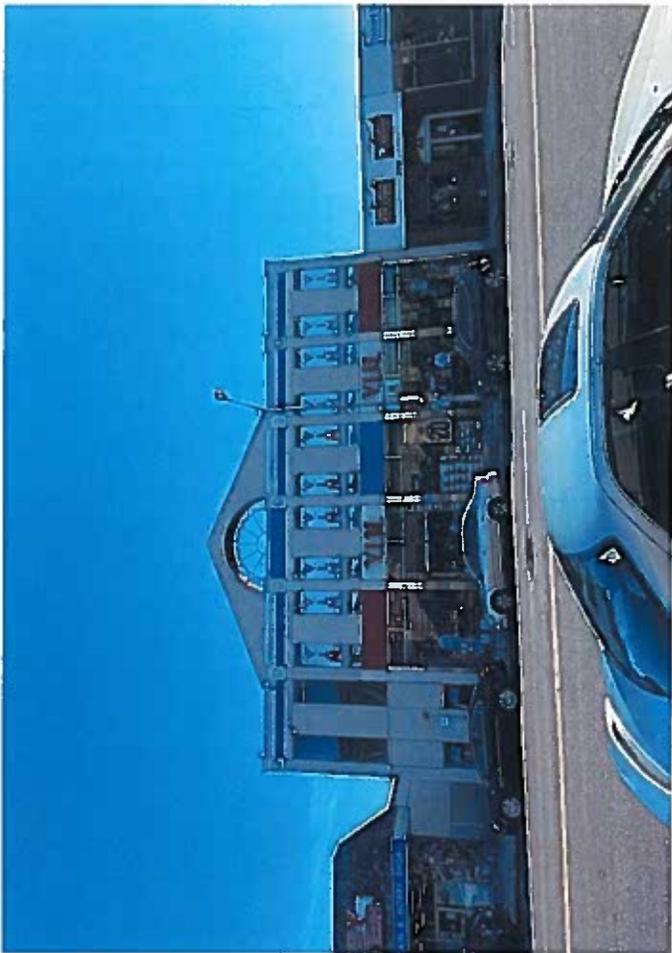
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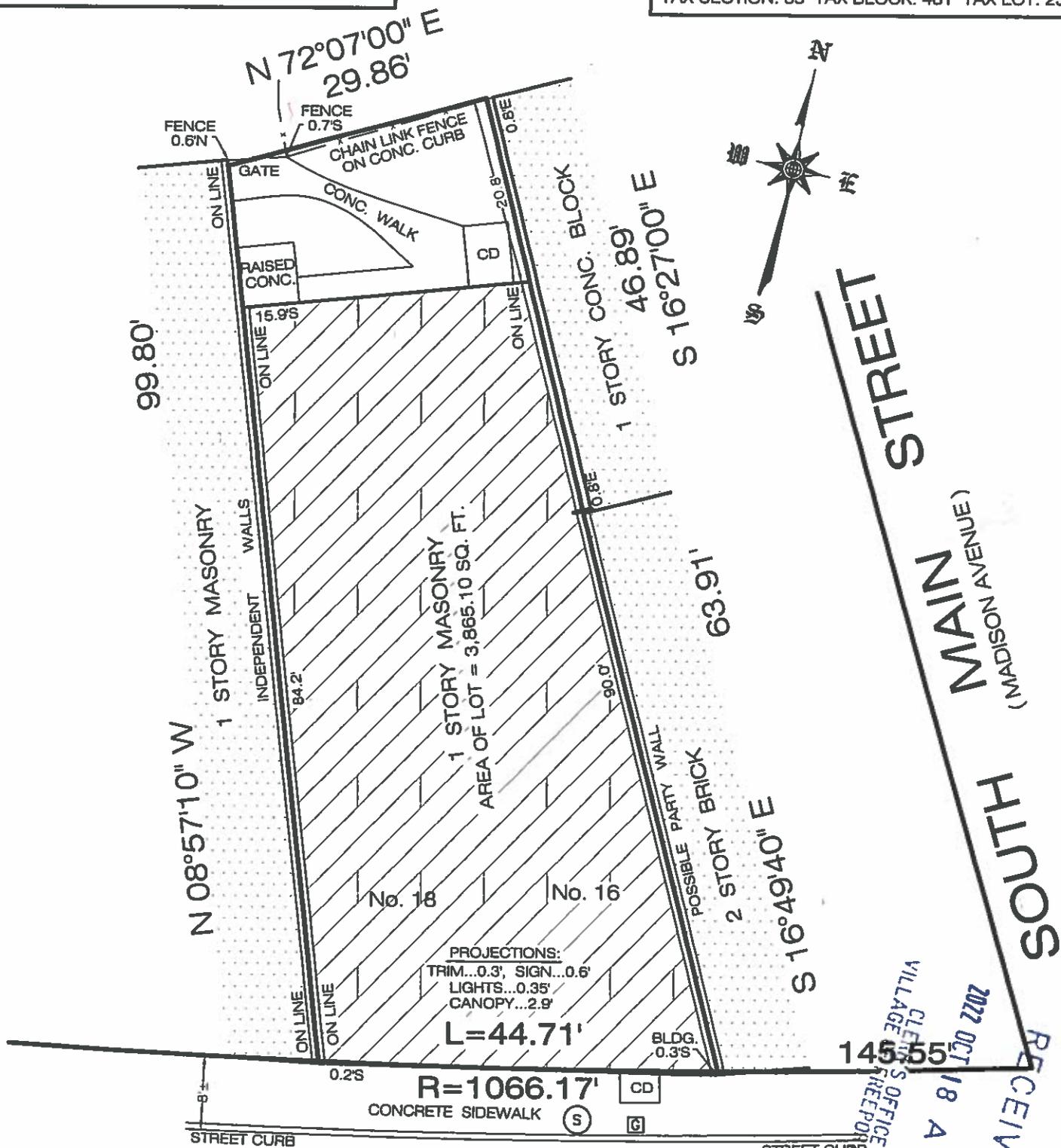






ORIGINAL SCALE: 1" = 16'

SURVEY OF PROPERTY AT  
TOWN OF HEMPSTEAD  
NASSAU COUNTY, N.Y.  
TAX SECTION: 55 TAX BLOCK: 481 TAX LOT: 23



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# WEST MERRICK ROAD

- LEGEND**
- GAS VALVE
  - SEWER MANHOLE
  - CELLAR DOOR

**CERTIFIED:-**  
TOWN OF HEMPSTEAD / INCORPORATED VILLAGE OF FREEPORT

**NOTES:**  
 1. THERE ARE NO VISIBLE STREAMS NOR NATURAL WATER COURSES IN THE PROPERTY EXCEPT AS SHOWN ON THIS SURVEY.  
 2. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.  
 3. IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.  
 4. ARCHITECTS MUST ORDER A TOPOGRAPHICAL MAP SPECIFYING THEIR EXACT NEEDS.  
 5. CONSULT WITH THE HIGHWAY DEPARTMENT BEFORE DESIGNING, INSTALLING, OR MODIFYING ANY NEW OR EXISTING CURBS, WALKS, OR ROADWAYS IN THE STREETS SHOWN HEREON.  
 6. SUBSURFACE INFORMATION SHOWN HEREON WAS OBTAINED FROM VARIOUS CITY DEPARTMENTS AND/OR PRIVATE UTILITY COMPANIES. THE SURVEYOR ACCEPTS NO RESPONSIBILITY FOR ANY OF THIS DATA.  
 7. EASEMENTS OF RECORD ARE ONLY GUARANTEED IF AN ABSTRACT OF TITLE IS FURNISHED TO THE SURVEYOR.

SURVEY No:- COC-2022-609  
 DESCRIPTION:- AS-BUILT SURVEY



**C.O.C MAPPING CORP.**  
 COORDINATES OF CONSTRUCTION  
 91-22 215th PLACE  
 QUEENS VILLAGE, N.Y. 11428  
 TELEPHONE (347)239-9844  
 EMAIL:- COCMAPPING@GMAIL.COM

SURVEY AMENDED: OCTOBER 5, 2022  
 DATE: AUGUST 31, 2022



COMPUTE:-MJ DRAFTED:-CJ CHECKED:- SK

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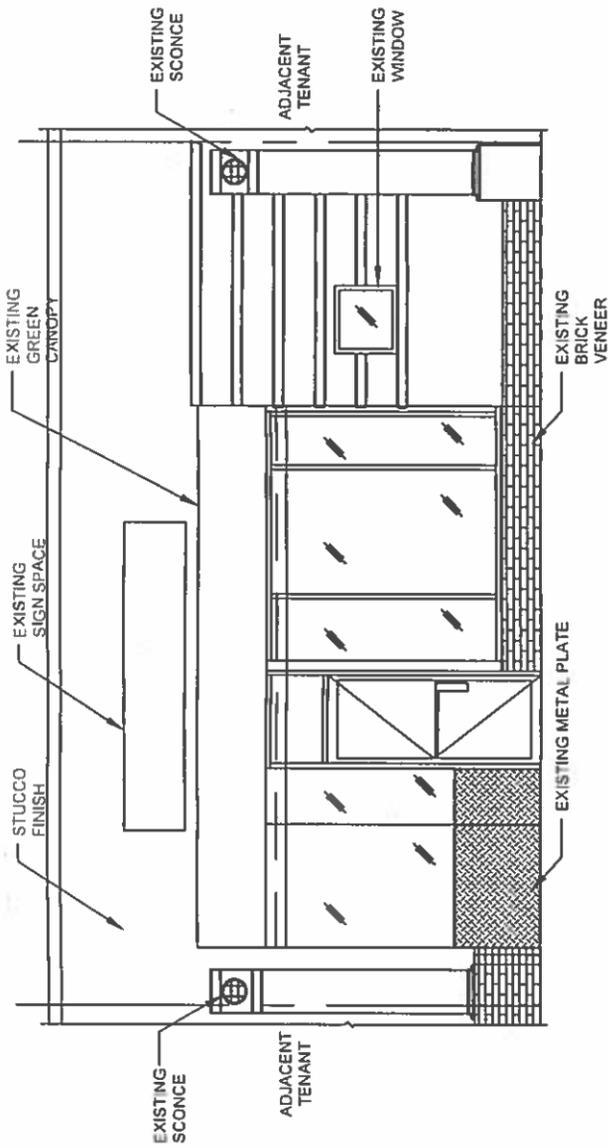
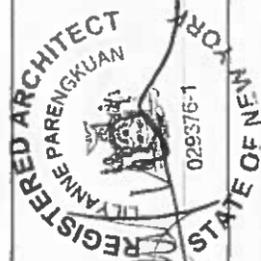
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**Ja E**  
**Architect P.C.**  
75-43 188 Street  
Fresh Meadows, NY 11366  
Tel. : (516) 223-8945

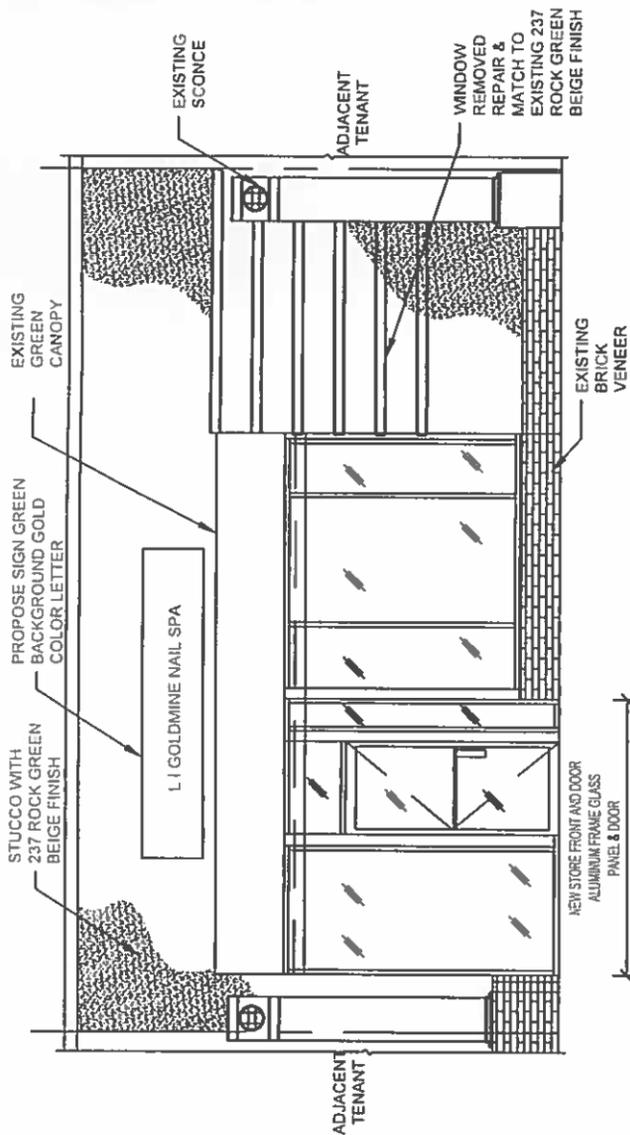
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NO DATE COMMENT

16 W MERRICK ROAD  
FREEPORT, NY 11520

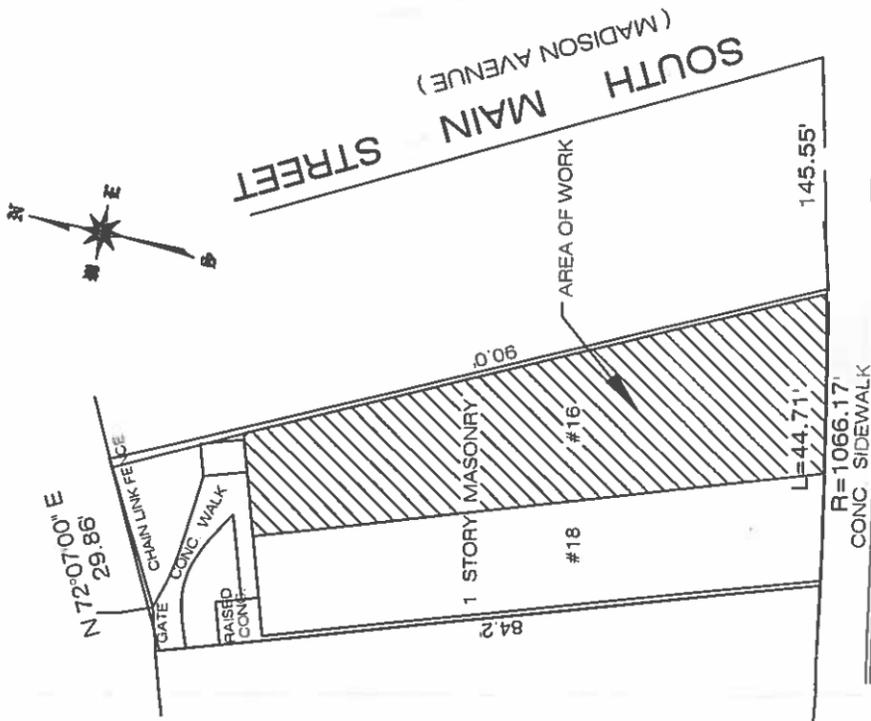
# ELEVATION & SURVEY



**2** EXISTING FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



**3** PROPOSED FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



WEST MERRICK ROAD SURVEY  
SCALE: N.T.S.

1