



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

May 6, 2022
SITE PLAN LETTER

Kambi-Shamba Dumisani
382 Wallace Street
Freeport, NY 11520

RE: 382 Wallace Street, Freeport, NY
Zoning District - Residence AA Sec. 55 Blk. 398 Lot. 344
Building Permit Application #20222675
Description- Maintain raised roof line of existing garage and convert to recreation space

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
Jonathan Smith, Building Inspector

/cd
Encl.

c: Village Clerk
Field Associates, P.C.

ZBA Approval Needed:

Yes: _____ No X

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20222675

Applicant : Kambi-Shamba Dumisani

Location: 382 Wallace Street, Freeport, NY

Description: Maintain raised roof line of existing garage and convert to recreation space

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

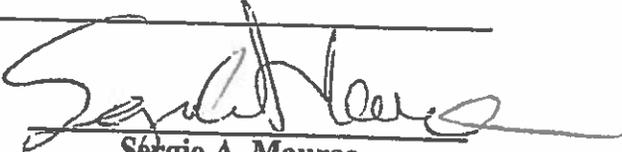
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: May 6, 2022


Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

20222678

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: KAMBI - SHAMBA DUMISANI GARAGE CONVERSION TO GYM			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action: MAINTAIN CONVERSION OF GARAGE TO HOME GYM, WITH HEIGHT ALTERATION.			
Name of Applicant or Sponsor: KAMBI - SHAMBA DUMISANI		Telephone: 917-985 0950	
Address: 382 WALLACE STREET		E-Mail: dumisanisa@gmail.com	
City/PO: FREEPORT		State: NY	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
3.a. Total acreage of the site of the proposed action?		0.14	acres
b. Total acreage to be physically disturbed?		0	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.14	acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
b. Consistent with the adopted comprehensive plan?			
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
			✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	✓		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation service(s) available at or near the site of the proposed action?	✓		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	✓		
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	✓		
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	✓		
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
b. Is the proposed action located in an archeological sensitive area?	✓		
	✓		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	✓		
	✓		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	✓		
16. Is the project site located in the 100 year flood plain?	NO	YES	
	✓		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	✓		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>KAMRI SHAMBA NUNISANI</u>		Date: _____
Signature: <u>[Handwritten Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
<hr/> Name of Lead Agency	<hr/> Date
<hr/> Print or Type Name of Responsible Officer in Lead Agency	<hr/> Title of Responsible Officer
<hr/> Signature of Responsible Officer in Lead Agency	<hr/> Signature of Preparer (if different from Responsible Officer)

PHOTOS NEIGHBORING PROPERTIES



Property across the street from 382 wallace



Property to left



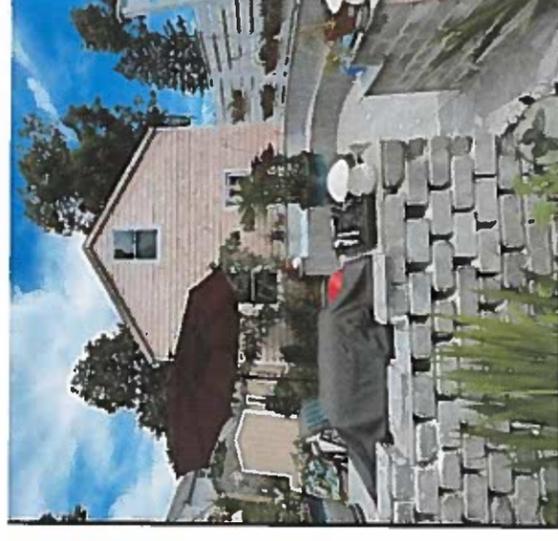
Property at rear



Property to right on opposite corner



FRONT 382 WALLACE STREET



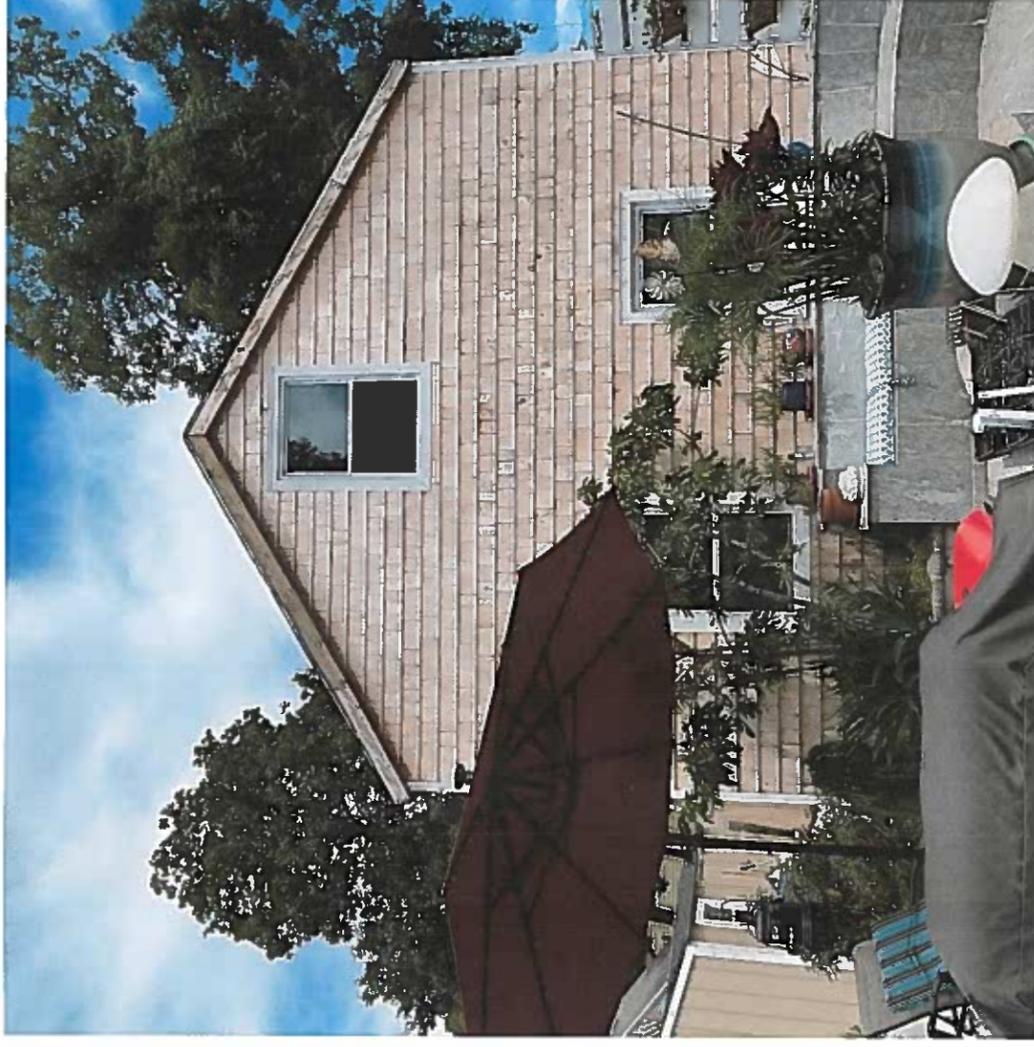
SIDE YARD 382 WALLACE

*Note: Unable to obtain full photos or Rear and left sides of garage due to proximity to neighbors fence and vegetation.

PHOTOS OF GARAGE ALTERATION



Front and Right side



Right side

*Note: Unable to obtain full photos or Rear and left sides of garage due to proximity to neighbors fence and vegetation.

Application Date: 7/21/22
Fees Paid: \$325.00

SP# 3574

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 438 Nassau Ave ZONING DISTRICT Res A
SECTION 62 BLOCK 186 LOT 1 LOT SIZE: _____

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER	
Name:	<u>438 Nassau LLC</u>		Name:	<u>Andrew Cacciatore</u>
Address:	<u>2290 Bellmore Ave 11710</u>		Address:	<u>2290 Bellmore Ave Bellmore NY 11710</u>
Telephone #:	<u>516 316 2002</u>		Telephone #:	<u>516 316 2002</u>

Attorney or architect:
Name: ~~Michael Angelo~~ Address: _____
Phone #: ~~516 316 2004~~

Present Land Use: Vacant land Proposed Land Use: Single Family Dwelling

Description of Proposed Work: Construct a new 3 story 2515 sqft single family dwelling with 246 sq ft porch and a 82.5 sq ft deck

I request a concept plan conference: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

APPLICANT'S SIGNATURE

Sworn to before me this 20th day of July, 2022

Notary Public

VINCENT ROY CACCIATORE
Notary Public, State of New York
No. 30-4514022
Qualifier in Nassau County
Commission Expires March 30, 2028

DATE

RECEIVED
2022 JUL 21 A 10:10
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Property Owner's Consent: 438 Nassau LLC
I, Andrew Cacciatore am (are) the owner(s) of the subject property and consent to the filing of this application.

PROPERTY OWNER'S SIGNATURE

Sworn to before me this 20th day of July, 2022

Notary Public

VINCENT ROY CACCIATORE
Notary Public, State of New York
No. 30-4514022
Qualifier in Nassau County
Commission Expires March 30, 2028

DATE

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

June 28, 2022

AMENDED SITE PLAN LETTER

438 Nassau LLC
2290 Bellmore Avenue
Bellmore, NY 11710

RE: 438 Nassau Avenue, Freeport, NY
Zoning District - Residence A Sec. 62 Blk. 186 Lot. 1
Building Permit Application #20222615
Description- Construct a 3 story, 2515 sq. ft. single family dwelling with 246 sq. ft. porch & 82.5 sq. ft. deck

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
Jonathan Smith, Building Inspector
/al
Encl.

c: Village Clerk
Michael Angelone, P.E.
ZBA Approval Needed:
Yes: X No

RECEIVED
2022 JUL 21 A 10:10
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20222615

Location: 438 Nassau Avenue, Freeport, NY

Applicant: 438 Nassau LLC

Description: Construct a new 3 story 2515 sq. ft. single family dwelling with a 246 sq. ft. porch and a 82.5 sq. ft. deck

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

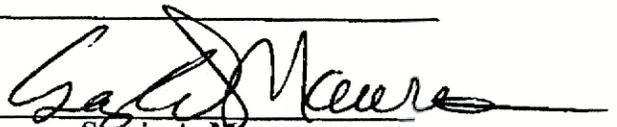
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: June 28, 2022


Sergio A. Mauras
Superintendent of Buildings

RECEIVED
2022 JUN 31 10 11
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

JAN 31 2022

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <u>PROPOSED NEW ONE FAMILY DWELLING</u>			
Project Location (describe, and attach a location map): <u>438 NASSAU AVENUE / FREEPORT</u>			
Brief Description of Proposed Action: <u>CONSTRUCT NEW ONE FAMILY DWELLING</u>			
Name of Applicant or Sponsor: <u>ANDREW CACCIATORE</u>		Telephone: <u>516 316 2002</u>	
		E-Mail:	
Address: <u>220 BALTIMORE AVENUE</u> <u>NY 11710</u>			
City/PO: <u>BALTIMORE</u>		State: <u>NY</u>	Zip Code: <u>11710</u>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
<u>VILLAGE OF FREEPORT</u>			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action? <u>60 X 100</u> acres			
b. Total acreage to be physically disturbed? <u>600 SQ FT</u> acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <u>600 SQ FT</u> acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

RECEIVED
2022 JUL 21 A 10:11
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY
JAN 10 11

JAN 31 2022

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>ANIM CACCIAIONE</u>	Date: <u>1/20/2022</u>	
Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

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 VILLAGE OF FREEPORT, NY
 2022 JUL 21 A 10: 11
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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

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 2007 JUN 21 A 10:11
 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY

**INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION**

DATE: June 16, 2022

APPROVAL

Building Department Permit Application#20222615

Chairman, regarding Application #2022-24 for the premises located at 438 Nassau Avenue, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-43A(1), 210-43A(2), 210-43A(3) and 210-39A seeking approval for a new 3 story 2,515 sq ft single family dwelling with a 246 sq ft porch and a 82.5 sq ft deck.

I, Drew Scopelitis, move that this Board make the following findings of fact:

A public hearing was held on June 16, 2022 wherein applicant was represented by Attorney Christopher Gomoka, as counsel to the law office of Michael Soloman. He explained that the front yard setback deficiency is caused by a desire to stay within a similar footprint as to the original structure. One house within 200 feet has a 200 ft. radius and a 37 ft. setback. Two neighboring houses have setbacks of 16 and 17 feet. The property is also a corner lot, necessitating 2 front yards. The rear setback issue comes from a 6 foot wide section at the rear where the canal encroaches. The other 54 feet is compliant. The side yard has a deck to add to the aesthetics and there is a garage at the adjoining property with no windows or doors on that side. The sky exposure plane comes from the requirement that the house be elevated.

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance;
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;
 - c. that the requested area variance is insubstantial;
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty was not self-created.
2. The Board, as lead agency has determined that this action is a Type II action and under SEQRA and no further review is required.

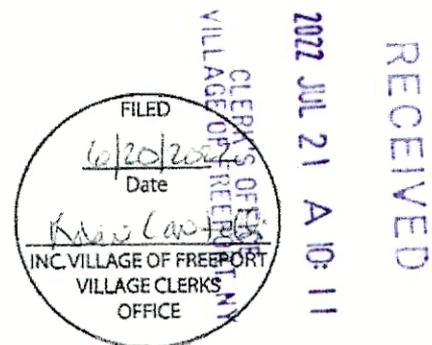
I further move that this application be granted subject to the following conditions:

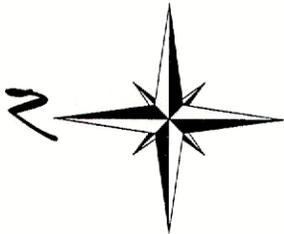
1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.

Second by: Charles Hawkins

The Clerk polled the Board:

Deputy Carey	Excused
Member Mineo	Excused
Member Jackson	Excused
Member Hawkins	In Favor
Alternate Scopelitis	In Favor
Alternate Pinzon	In Favor
Chairperson Rhoden	In Favor





1" = 70'

LEGEND

- PARCEL LINE
- - - LOT LINE
- - - ZONING DISTRICT LINE
- (27) LOT NUMBER
- 102.64 PARCEL LINE LENGTH
- ADDRESS NUMBER.
NOTE: FACES STREET THAT IT IS ON.

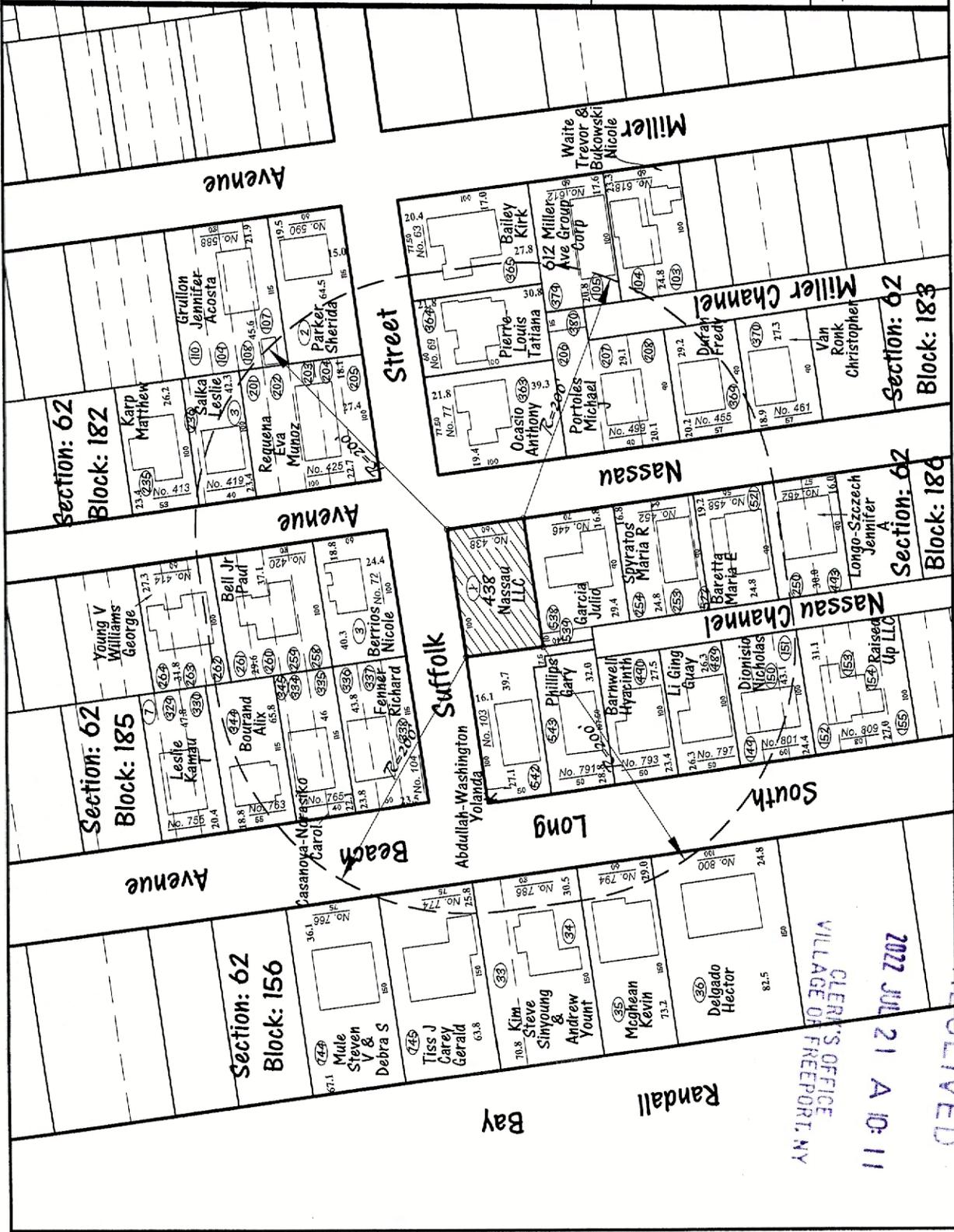
Radius Map

438 Nassau Avenue,
Freeport, NY 11520

Section: 62
Block: 186
Lot: 1

Prepared By:

Long Island Expeditors
121 Newbridge Road
Hicksville, NY 11801
Phone 516-698-0005
DATE: June 7, 2022



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VILLAGE OF FREEPORT, NY
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CERTIFICATE OF COMPLETION
INCORPORATED VILLAGE OF FREEPORT
DEPARTMENT OF BUILDINGS

Date: February 7, 2022

Permit No: 20211319

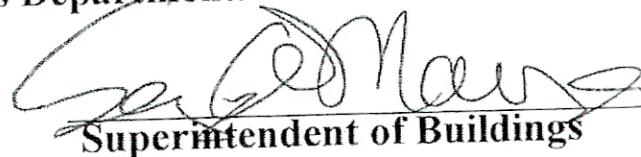
Certificate No: 20220085

Permit Issued: 11/08/2021

Location: 438 Nassau Ave, Freeport, N.Y. 11520

Project: Remove and replace 23 ft. existing bulkhead.*****

Completed on 01/31/2022 to the satisfaction of this Department.



Superintendent of Buildings

Sergio Maura

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

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*This Certificate is not valid without Village Seal

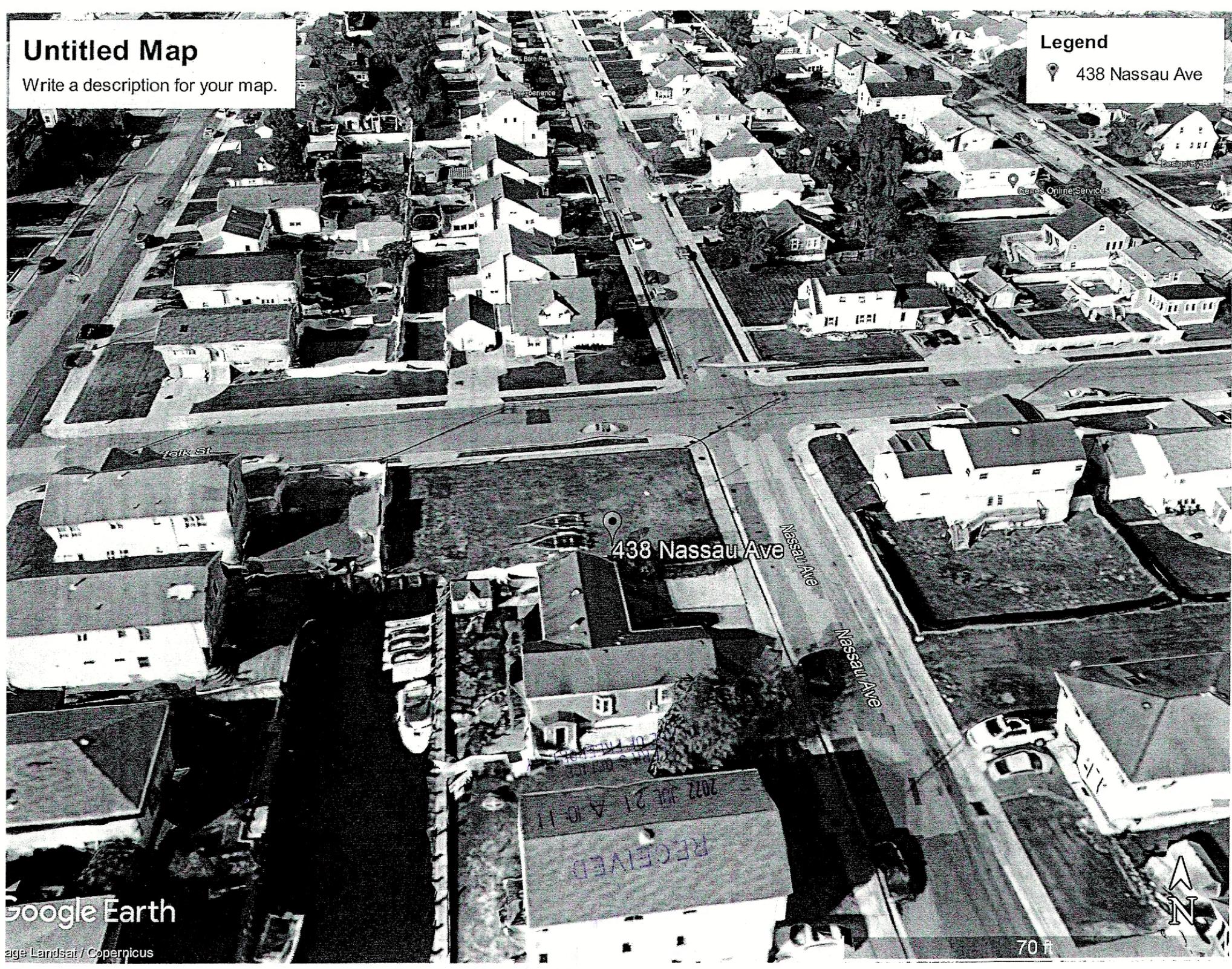
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Untitled Map

Write a description for your map.

Legend

 438 Nassau Ave

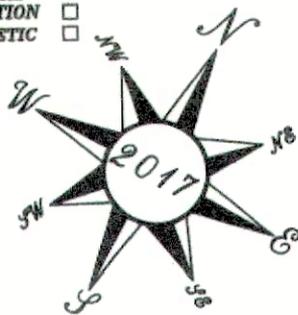


Google Earth

Image Landsat / Copernicus

70 ft

DEED
GENERAL
DIRECTION
MAGNETIC



STAKE OUT

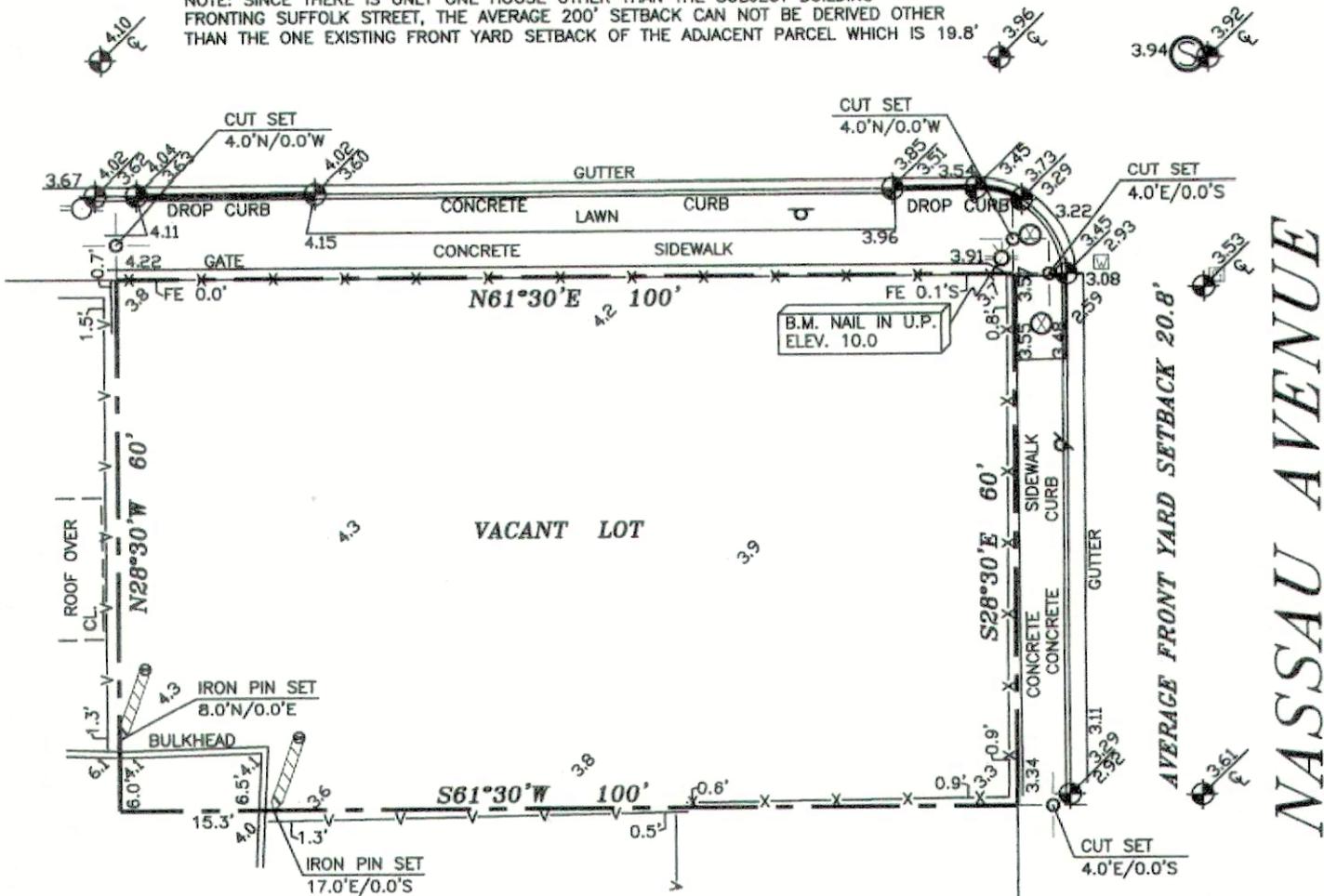
10 5 0 10 20

SCALE 1"=20'

NOTE- STAKES, PINS AND NAILS ARE TEMPORARY OBJECTS AND ARE SUBJECT TO ACCIDENTAL DISTURBANCES. THE STAKES SHOWN ON THIS PLAT WERE PLACED IN THE POSITION SHOWN ON THE DATE SHOWN. THE STAKES ARE SET TO REPRESENT FINAL BLD. DIMENSIONS, & SHOULD NOT BE EXCEEDED. THE USER OF THIS PLAT SHOULD INSURE THAT THE STAKES HAVE NOT BEEN DISTURBED PRIOR TO CONSTRUCTION. STRING LINES SHOULD NEVER BE ATTACHED TO LAYOUT STAKES.

SUFFOLK STREET

NOTE: SINCE THERE IS ONLY ONE HOUSE OTHER THAN THE SUBJECT BUILDING FRONTING SUFFOLK STREET, THE AVERAGE 200' SETBACK CAN NOT BE DERIVED OTHER THAN THE ONE EXISTING FRONT YARD SETBACK OF THE ADJACENT PARCEL WHICH IS 19.8'



LEGEND

SEWER MANHOLE	☉
WATER VALVE	☐
GAS VALVE	⊠
UNKNOWN MANHOLE	⊗
UTILITY/LIGHT POLE	⊙
TRAFFIC SIGN	⚠
EXISTING GRADE	—

ELEVATIONS SHOWN ON THIS PLAT HAVE BEEN DEVELOPED USING A NETWORKED GPS SYSTEM AND ARE CONSISTENT WITH NAVD 1988

CALL UFPO TWO WORKING DAYS BEFORE DIGGING! 1-800-962-7962 OR 811
NON-MEMBERS MUST BE CONTACTED SEPARATELY.

EASEMENTS, IF ANY, NOT SHOWN.

UNLESS OTHERWISE NOTED, PHYSICAL MONUMENTS HAVE NOT BEEN SET.

This survey is intended to be used for Building Department purposes only and is subject to whatever a more complete title search may reveal. Use of this survey for any other purpose may result in problems for which this surveyor will not be liable. "Unauthorized alteration to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law"

"Only copies from the original of this survey marked with an original of the land surveyor's embossed seal shall be considered to be valid true copies." "Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person for whom the survey was prepared, and on his behalf to the title company, government agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners." This map may not be used in connection with a "Survey Affidavit" or similar document, statement, or mechanism to obtain title insurance for any subsequent or future grantees.

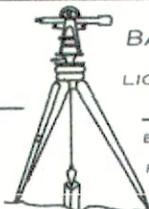
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VILLAGE OF FREEPORT

L.S.T. = LANDSCAPE TIE (G) = GATE R.O. = ROOF OVER W.O.F. = WIRES ON FACE F.E. = FIRE ESCAPE 438NASSAUAVE

CERTIFIED TO:
A & J BUILDING & CONSTRUCTION

REVISED 01/12/2022 PL. STAKE OUT



BARRY M. FAHRER
NEW YORK STATE
LICENSED LAND SURVEYOR
No. 49851

BARRY M. FAHRER L.S.
206 CHURCH STREET
FREEPORT NEW YORK 11520
(516) 623-2909
FAX (516) 623-0628

STATE OF NEW YORK

JOB No. 20170494/20220002
SECTION No. 62
TITLE No. TAX BLOCK No. 186

LOT No. 1

DATE SURVEYED 08/21/2017
FREEPORT
COUNTY OF: NASSAU

[Handwritten Signature]

PROPERTY LINE A.O. = AWNING OVER O.H. = OVER HEAD A.W. = AREA WAY FENCES: METAL IRON WOOD POST & RAIL VINYL

LOT LINE = UTILITY POLE LOT # = TAX MAP LOT # 123 = FILED MAP LOT # C.D. = CELLAR DOOR G.B.C. = GRANITE BLOCK CURB C.C. = CONCRETE CURB C.R.W. = CONCRETE-RETAINING WALL

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 PLANNING DEPT OFFICE
 TOWN OF FREEPORT, NY



FRONT EXTERIOR ELEVATION



2290 Bellport Ave
 Bellport, N.Y. 11710
 Tel: 800-566-6000
 Fax: 270-221-6470

Drawing Description
**Proposed Front
 Exterior Elevation**
* THESE DRAWINGS ARE PREPARED FOR GENERAL INFORMATION ONLY. THEY ARE NOT TO BE USED FOR CONSTRUCTION OR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF HUNTER CABINETS.

Proposed Family / Dwelling
438 Nassau Ave
Freeport, N.Y.

NO.	DATE	REVISION	SITS

DATE: 7.8.2022
 SCALE: NTC

SHEET
A-1



REAR EXTERIOR ELEVATION



2000 BIRCHWAY AVE
 FREEPORT, N.Y. 11520
 TEL: 516-359-9500
 FAX: 516-359-9501

Drawing Description

**Proposed Rear
 Exterior Elevation**

THESE DRAWINGS ARE CREATED FOR GENERAL INFORMATION ONLY. THEY ARE NOT TO BE USED FOR CONSTRUCTION. ALL DIMENSIONS AND MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. ANY CHANGES SHALL BE MADE BY A WRITTEN INSTRUMENT.

**Proposed Family / Dwelling
 438 Nassau Ave
 Freeport, N.Y.**

NO.	DATE	REVISION	BY

DATE: 7.8.2022
 SCALE: NTC

SHEET:
A-2



2022 JUL 21

RECEI

RIGHT SIDE EXTERIOR ELEVATION



2200 Oakway Ave
Freeport, N.Y. 11520
Tel: 800-996-0323
Fax: 516-371-8425

Drawing Description
**Proposed Right Side
Exterior Elevation**

THESE DRAWINGS ARE CREATED FOR DESIGN PURPOSES ONLY. THEY ARE NOT TO BE USED FOR CONSTRUCTION. ANY AND ALL DIMENSIONS AND MATERIALS SHALL BE AS SHOWN AND CONTROLLED BY THE CONTRACT DOCUMENTS.

Proposed Family / Dwelling
438 Nassau Ave
Freeport, N.Y.

NO.	DATE	REVISION	INTS

DATE: 7.8.2022

SCALE: NTS

SHEET:
A-3



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 VILLAGE REPORT, NY

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LEFT SIDE EXTERIOR ELEVATION



2000 Belmont Ave
 Bohannon, N.Y. 11710
 Tel: 800.926.4653
 Fax: 815.225.4972

Drawing Description
**Proposed Left Side
 Exterior Elevation**

THESE DRAWINGS AND ANY SPECIFICATIONS REFERENCED HEREIN ARE THE PROPERTY OF HUNTER CABINETS. ANY REUSE OR REPRODUCTION OF ANY PART OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF HUNTER CABINETS IS STRICTLY PROHIBITED.

Proposed Family / Dwelling
438 Nassau Ave
Freeport, N.Y.

NO.	DATE	REVISION	INTS

DATE: 7.8.2022
 SCALE: NTS

SHEET
A-4



CHARCOAL
50 YEAR ASPHALT ROOF
BY CAT

CASTLE STONE GRAY
4 1/2" VINYL
HORIZONTAL
CLAPBOARD

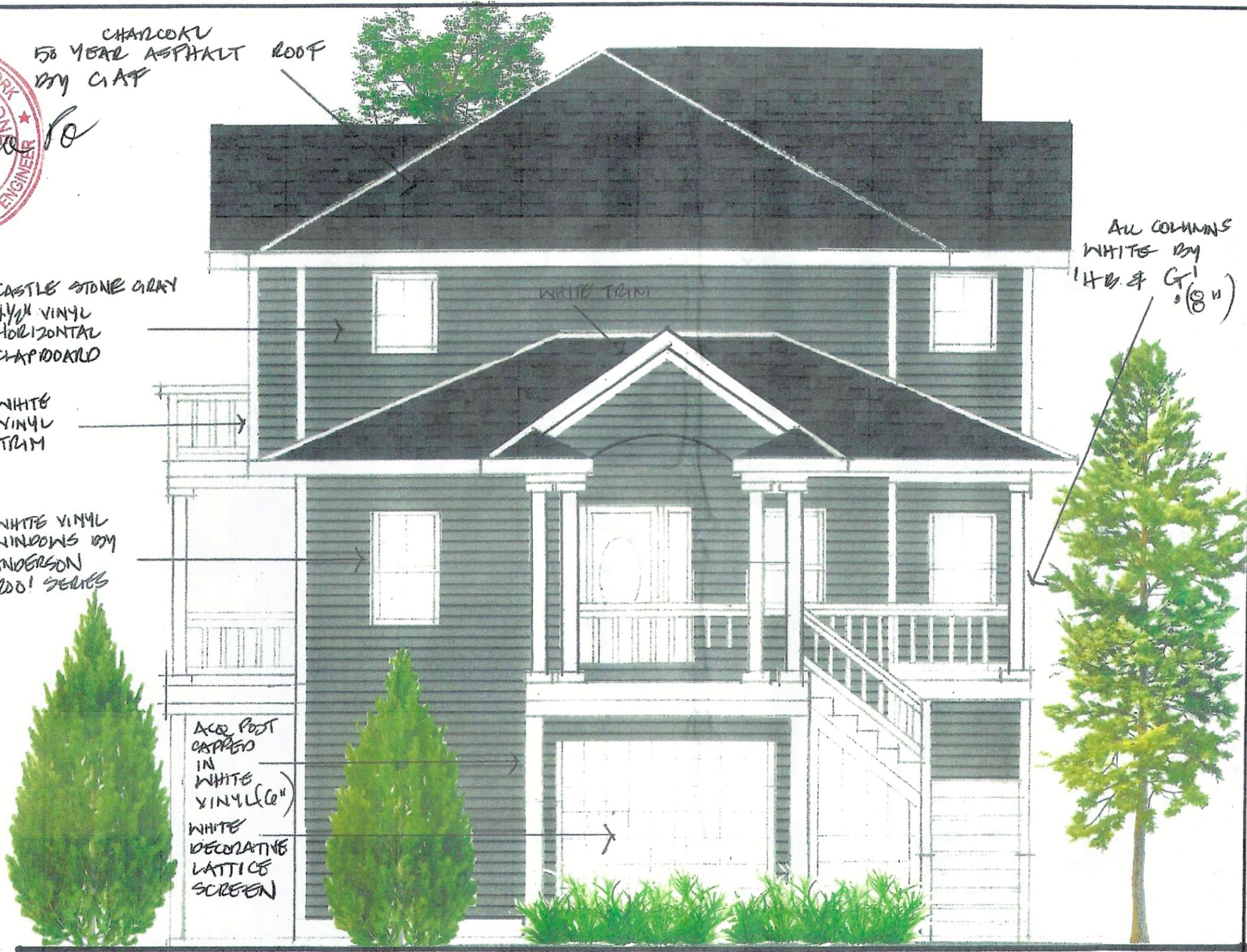
WHITE
VINYL
TRIM

WHITE VINYL
WINDOWS BY
ANDERSON
1200 SERIES

ACE POST
CRAPPED
IN
WHITE
VINYL (6")
WHITE
DECORATIVE
LATTICE
SCREEN

WHITE TRIM

ALL COLUMNS
WHITE BY
H&G (8")



FRONT EXTERIOR ELEVATION



Drawing Description
Proposed Front Exterior Elevation

PLEASE NOTE: THIS DRAWING IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE LOCAL AUTHORITIES.

Proposed Family / Dwelling
438 Nassau Ave
Freeport, N.Y.

No.	DATE	REVISION	DATE

DATE: 7.8.2022
SCALE: NTC

SHEET:
A-1

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VILLAGE OF FREEPORT, NY

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PE

CHARCOAL COLOR
50 YEAR ASPHALT ROOF
11M GAF

WHITE VINYL ANDERSEN
200 SERIES



CASTLE STONE
GRAY 4 1/2"
VINYL HORIZONTAL
CLAPBOARD 4 1/2"
WHITE TRIM

ACQ POSTS
CAPPED
IN
WHITE
VINYL
(6")

CASTLE STONE GRAY

REAR EXTERIOR ELEVATION



Drawing Description
**Proposed Rear
Exterior Elevation**

THESE DRAWINGS ARE CREATED FOR DESIGN PURPOSES ONLY. ALL MATERIALS, DIMENSIONS AND FINISHES ARE TO BE DETERMINED BY THE CLIENT AND THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

Proposed Family / Dwelling
438 Nassau Ave
Freeport, N.Y.

CLIENT'S OFFICE
OF FREEPORT, NY

NO	DATE	REVISION	INTS

DATE: 7.8.2022
SCALE: NTC

SHEET: **A-2**

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2022 JUL 21 A 10:11



Michael Angelone

CHARCOAL COLOR
50 YEAR ASPHALT ROOF BY GIAT

2 1/2" WHITE FURFON

ORIENTED STRONG CLAM
4 1/2" VINYL HORIZONTAL
CLAP BOARD

WHITE VINYL ANDERSON
200 SERIES

8" COLUMNS
BY GIAT



DECORATIVE SCREEN
WHITE LATTICE

RIGHT SIDE EXTERIOR ELEVATION

10'-0" WHITE GARAGE
DOOR



Drawing Description
**Proposed Right Side
Exterior Elevation**

THESE PLANS AND SPECIFICATIONS SHALL BE USED ONLY FOR THE PROJECT AND SITE SHOWN HEREON. ANY OTHER USE, REUSE, REPRODUCTION, OR MODIFICATION OF ANY PART OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

Proposed Family / Dwelling

438 Nassau Ave

Freeport, N.Y.

CLERK'S OFFICE
OF FREEPORT, NY

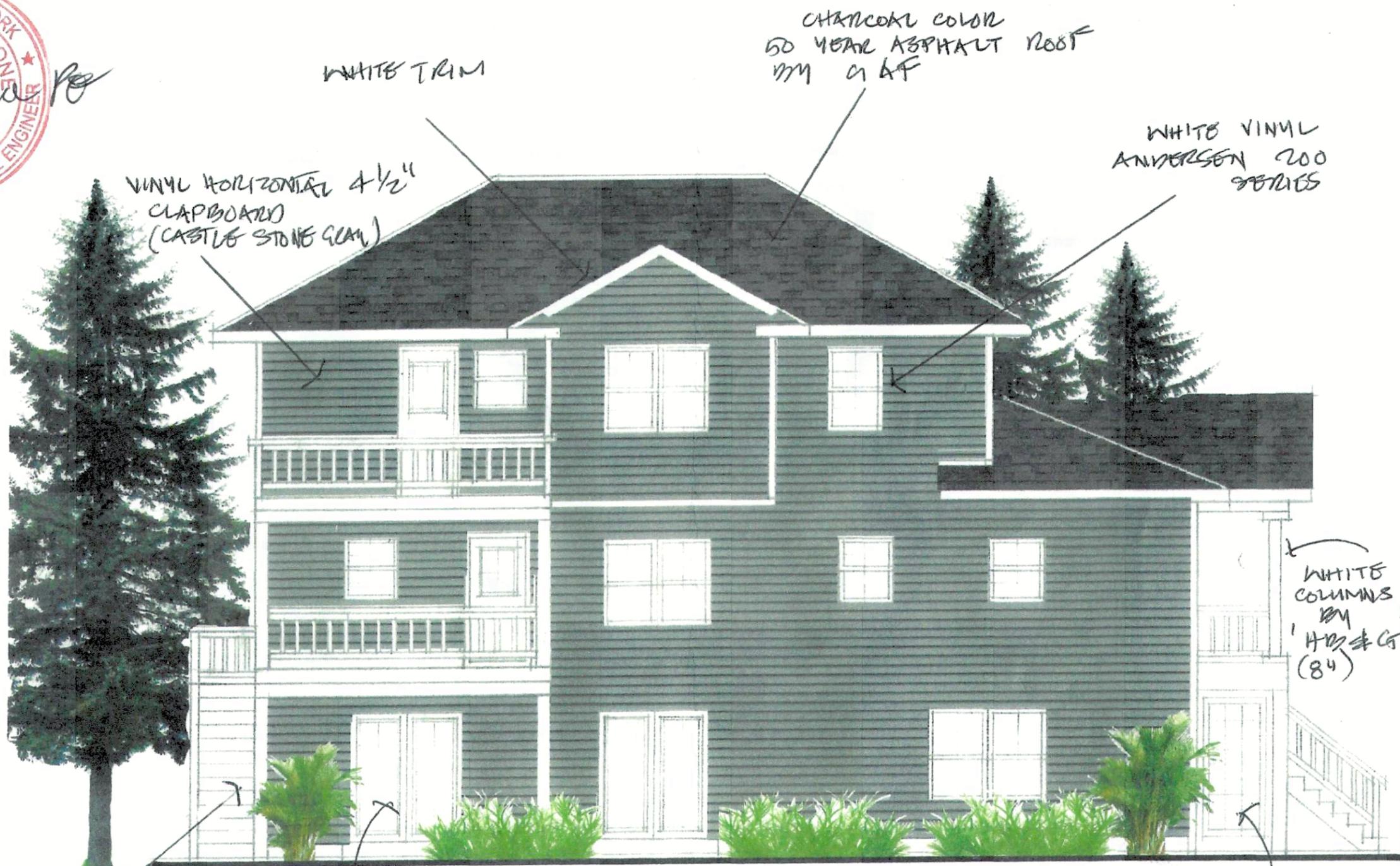
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NO	DATE	REVISION	INTD

DATE: 7.8.2022
SCALE: NTS

SHEET:
A-3



WHITE TRIM

CHARCOAL COLOR
50 YEAR ASPHALT ROOF
3/4" GAF

WHITE VINYL
ANDERSON 200
SERIES

VINYL HORIZONTAL 4 1/2"
CLAPBOARD
(CASTLE STONE GRAY)

WHITE
COLUMNS
BY
4" x 4" x 6"
(84)

(6") ACQ POSTS CAPPED
IN WHITE VINYL

WHITE VINYL
FRENCH DOORS

WHITE SCREEN
LATTICE

LEFT SIDE EXTERIOR ELEVATION



Proposed Left Side
Exterior Elevation
2

Proposed Family / Dwelling
438 Nassau Ave
Freeport, N.Y.

NO	DATE	REVISION	BY

DATE: 7.8.2022
SCALE: NTS

A-4

Application Date: 7/27/22
Fees Paid: _____

SP# 3575

**INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD**

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 552 N. Brookside Ave ZONING DISTRICT Res AA
SECTION 36 BLOCK K LOT 148 LOT SIZE: _____

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Jahn Lagoudes</u>	Name: <u>Daniel Sosa</u>
Address: <u>707 Route 110</u> <u>Farmingdale, NY 11735</u>	Address: <u>552 N. Brookside Ave</u> <u>Freeport, NY 11520</u>
Telephone #: <u>631-643-1949</u>	Telephone #: <u>516-112-7919</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Res. Home Proposed Land Use: Res. Home

Description of Proposed Work: Maintain 20'x13' shed 21'x19' pavilion, 19'x41' raised terrace, replace driveway, 4' solid PVC fence in front yard, wood burning fireplace + a 34" Cmu retaining wall.

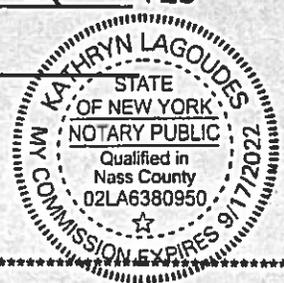
I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES _____ NO
5/26/22
DATE

APPLICANT'S SIGNATURE
Sworn to before me this 26
day of May, 2022

Notary Public



Property Owner's Consent:
I, Daniel Sosa am (are) the owner(s) of the subject property and consent to the filing of this application.

PROPERTY OWNER'S SIGNATURE
Sworn to before me this 26
day of May, 2022

Notary Public



5-26-22
DATE



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF
BUILDINGS

June 14, 2022
Updated Site Plan Letter

Daniel Sosa
552 N. Brookside Avenue
Freeport, NY 11520

RE: 552 N. Brookside Avenue, Freeport, NY
Zoning District- Residence AA Sec. 36 Blk. K Lot 148
Building Permit Application #20212059

Description: Maintain 20'x13' shed, 21x19' pavilion,
19'x44' raised terrace, replace driveway, 4' solid PVC fence in
front yard, wood burning fireplace and a 34" Cmu retaining wall

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
Jonathan Smith, Buildings

/cd

Encl.

c: Village Clerk

Norman C. Lok P.E.

ZBA Approval Needed:

Yes: X No

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. #20212059

Location: 552 N. Brookside Avenue, Freeport, NY

Applicant: Daniel Sosa

Description: Maintain 20'x13' shed, 21x19' pavillion, 19'x44' raised terrace, replace driveway, 4' solid PVC fence in front yard, wood burning fireplace and a 34 in. cmu retaining wall

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: June 14, 2022

Updated

Sergio A. Mauras

Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
 Appendix B
 Short Environmental Assessment Form

2027 2059
 3/16/21

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Daniel Sosa			
Project Location (describe, and attach a location map): 552 Brookside Avenue, Freeport, NY 11520			
Brief Description of Proposed Action: To be maintained pavilion and fireplace.			
Name of Applicant or Sponsor: John Lagoudes		Telephone: 631-843-1949	
Address: 707 Route 110		E-Mail: JL4CAD@aol.com	
City/PO: Farmingdale		State: NY	Zip Code: 11735
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

INFO: WITH NOE OF FREEPORT NY
 PLANNING DEPT 3-BUILDINGS

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>John Lagoules</u>	Date: <u>3-3-21</u>	
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____ Name of Lead Agency	_____ Date
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from Responsible Officer)

APR 25 10 55 AM '05

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**INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION**

DATE: March 24, 2022

APPROVAL with Modification

Building Department Permit Application# 2021059

Chairman, regarding Application #2022-1 for the premises located at 552 North Brookside Avenue, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-171d1, 210-35A2, 210-35A3, 210-35C2, 210-171B seeking approval to maintain a 20x13 foot shed, 21x19 foot pavilion, raised terrace, replace driveway, 4' solid PVC fence in front yard, wood burning fireplace, and a 34" CMU retaining wall.

I, Ben Jackson, move that this Board make the following findings of fact:

A hearing was held on February 17, 2022 wherein applicant was represented by John Teufel, Professional Engineer. He explained that the owners wish to retain a 4 foot high solid PVC fence on the north side of the property, where a 4 foot open fence is permitted. He said that it does not interfere with pulling in or out of the driveway.

He explained that they also wish to retain a brick paver patio in the rear, which is 23 inches above grade and has no side yard setback where ten feet is required. The house itself only has a six foot side yard setback. The patio also has a zero foot rear setback, when twenty feet is required. The 20x13 shed replaced an existing shed that had a three foot rear setback when 5 feet is required. The pavilion was constructed a year ago and is used to enjoy family time together outside. It has a four foot setback when five feet is required. The masonry fireplace has a zero foot rear setback when five are required. Finally, they are seeking to retain a 34 inch high concrete block retaining wall located at the head of the driveway, when concrete blocks are not an acceptable material under the code to use for fencing or enclosures. The engineer said the fence is 6 to 10 feet set back from the street, but to the Board, it appears to be no more than 2 or 3 feet from the sidewalk.

Mr. Sosa, the homeowner spoke. He said that he put in the retaining wall because his neighbor's property is really high compared to his property. He put in the cement blocks and sat the fence on top of that.

The Board does not have issues with the items in the rear of the property, however the solid PVC fence on top of the retaining wall is an issue. The requirement of an open fence in a front yard is for safety purposes. The Board is inclined to approve all variances requested except for the PVC fence atop the retaining wall. For safety reasons, the Board will approve the maintenance of the retaining wall and fence to the extent that from the sidewalk going back no less than 15 feet, the total height of any retaining wall plus fence must be less than or equal to the four feet permitted under the code. Any fence sections must be open. The maximum height of four feet must be measured from Mr. Sosa's property, not from his neighbor's higher property. This may mean that if Mr. Sosa wishes to maintain the retaining wall, he will not be able to have any fence sections on that 15 foot fence, however, the safety concern trumps Mr. Sosa's desire for a fence.

Otherwise for the remaining variances requested:

1. On balance, the benefit to the applicant by the granting of these variances is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:

- a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance;
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;
 - c. that the requested area variance is insubstantial;
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty was self-created but this factor is not dispositive.
2. The Board, as lead agency has determined that this action is a Type II action and under SEQRA and no further review is required.

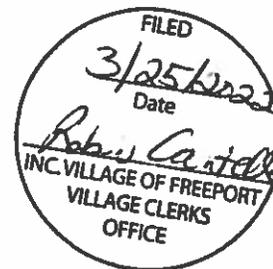
I further move that this application be granted subject to the following conditions:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.
3. The Board will approve the maintenance of the retaining wall and fence to the extent that from the sidewalk going back no less than 15 feet, the total height of any retaining wall plus fence must be less than or equal to the four feet permitted under the code. Any fence sections in those 15 feet must be open. The maximum height of four feet must be measured from Mr. Sosa's property, not from his neighbor's higher property.

Second by: Jennifer Carey

The Clerk polled the Board:

Deputy Carey	In Favor
Member Mineo	Excused
Member Jackson	In Favor
Member Hawkins	Excused
Alternate Scopelitis	In Favor
Chairperson Rhoden	In Favor



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VILLAGE CLERKS OFFICE

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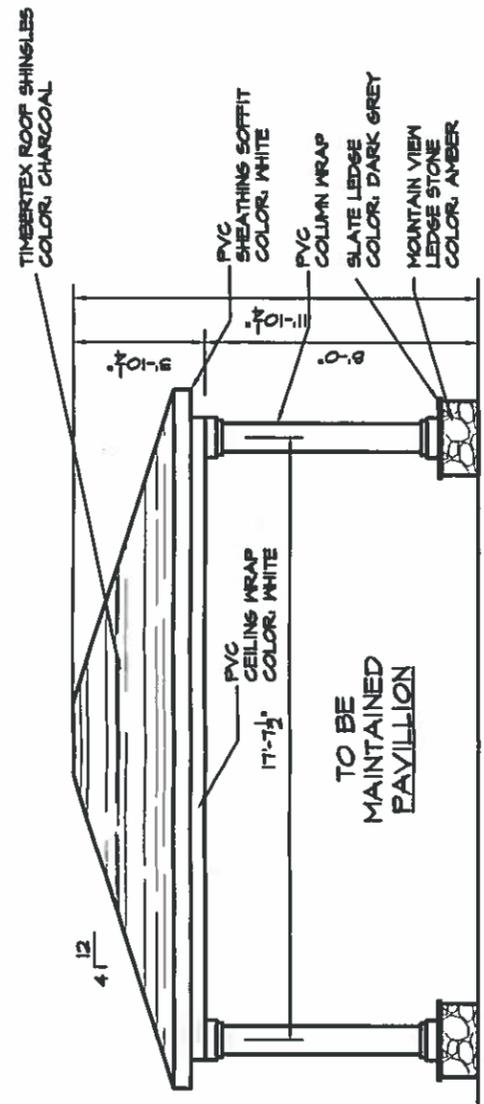


4/29/22

PROJECT TITLE:
SOSA
RESIDENCE
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 FREEPORT, N.Y. 11520

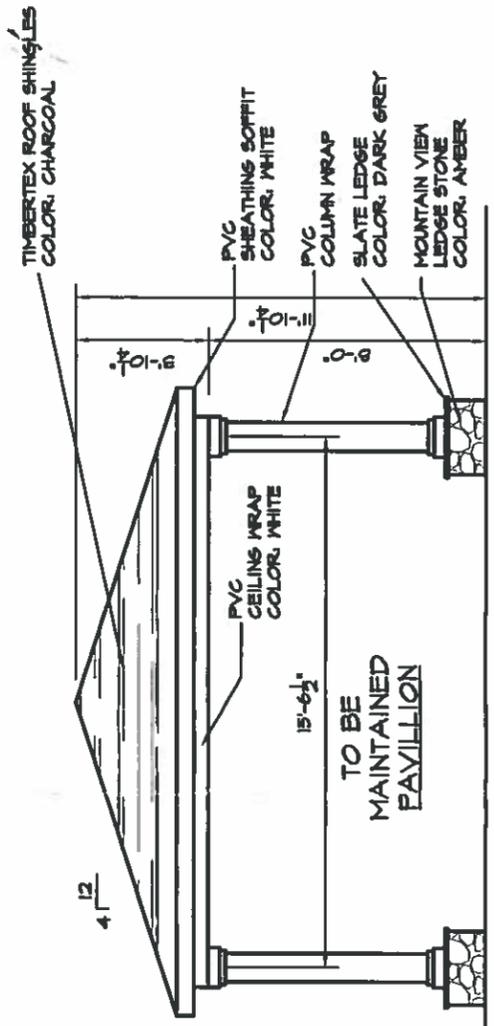
DRAWING TITLE:
TO BE MAINTAINED
PAVILION ELEVATIONS

DRAWN BY: N.F.	DRAWING NO.
CHECKED BY: N.C.L.	A-1
SCALE: AS SHOWN	PROJ. NO. 21-105
DATE: 4/29/22	



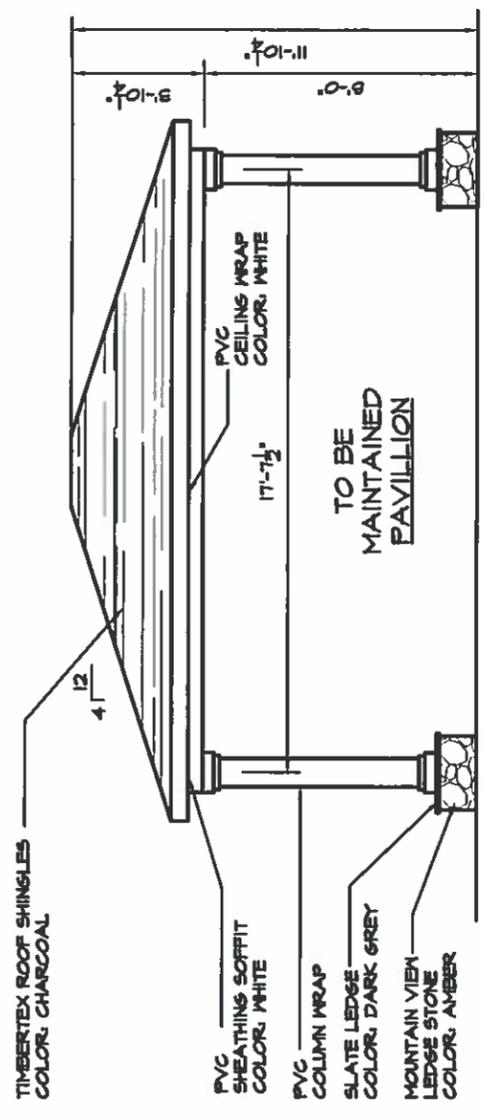
SIDE ELEVATION

SCALE 3/16" = 1'-0"



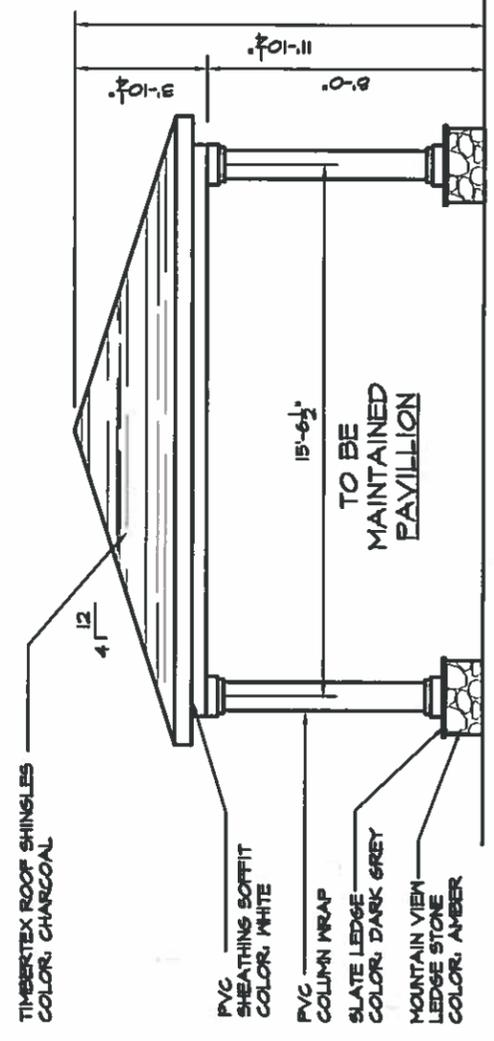
FRONT ELEVATION

SCALE 3/16" = 1'-0"



SIDE ELEVATION

SCALE 3/16" = 1'-0"



REAR ELEVATION

SCALE 3/16" = 1'-0"

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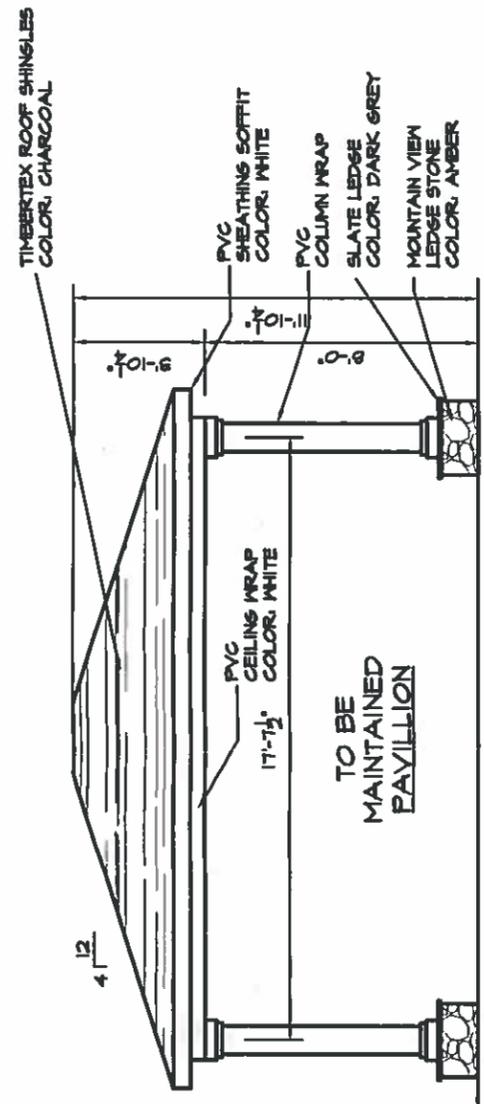


4/29/22

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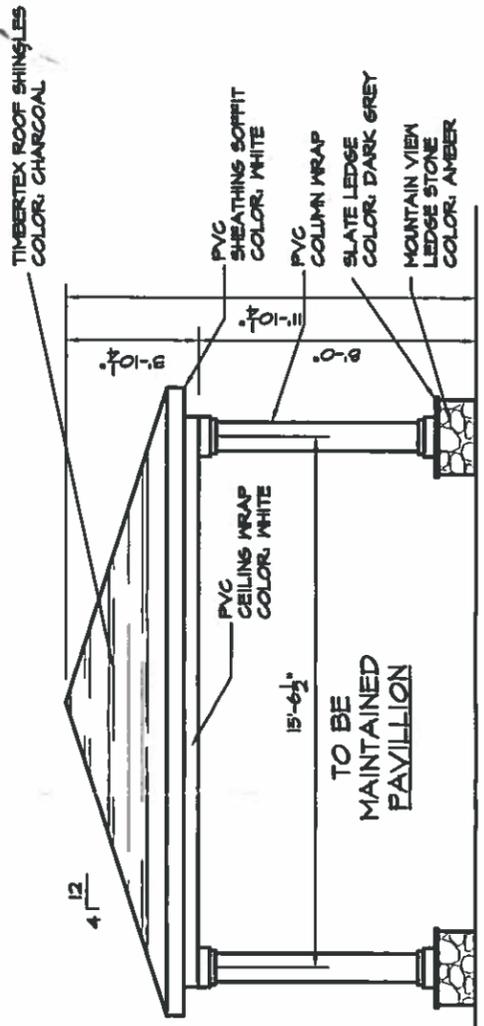
DRAWING TITLE:
TO BE MAINTAINED PAVILION ELEVATIONS

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CHECKED BY: N.C.L.	A-1
SCALE: AS SHOWN	
DATE: 4/29/22	PROJ. NO. 21-105



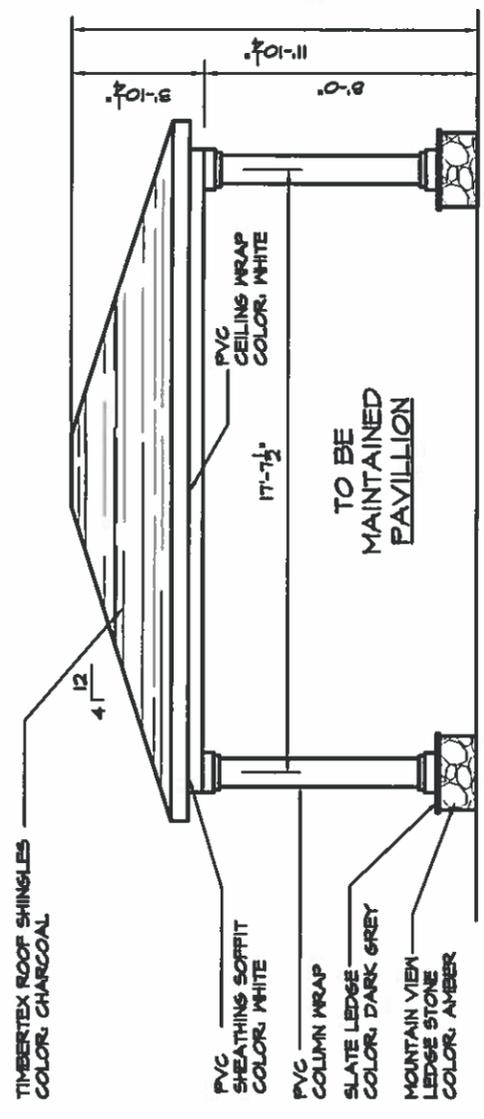
SIDE ELEVATION

SCALE 3/16" = 1'-0"



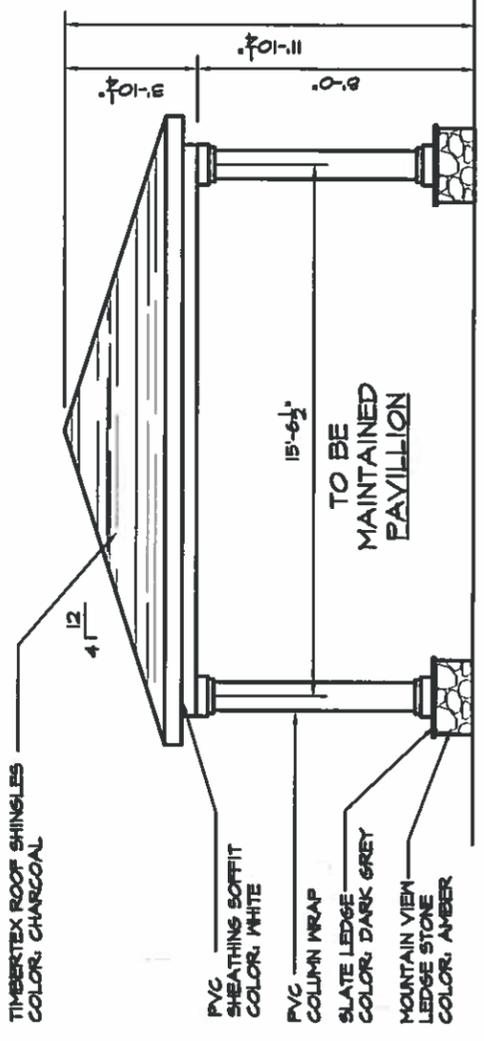
FRONT ELEVATION

SCALE 3/16" = 1'-0"



SIDE ELEVATION

SCALE 3/16" = 1'-0"



REAR ELEVATION

SCALE 3/16" = 1'-0"

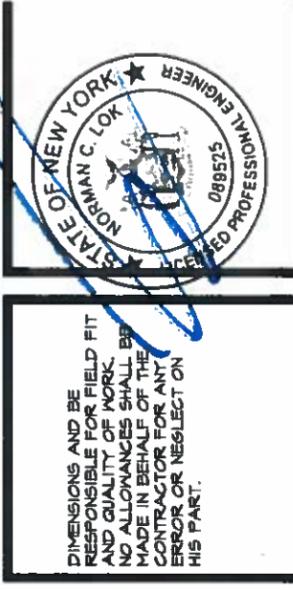


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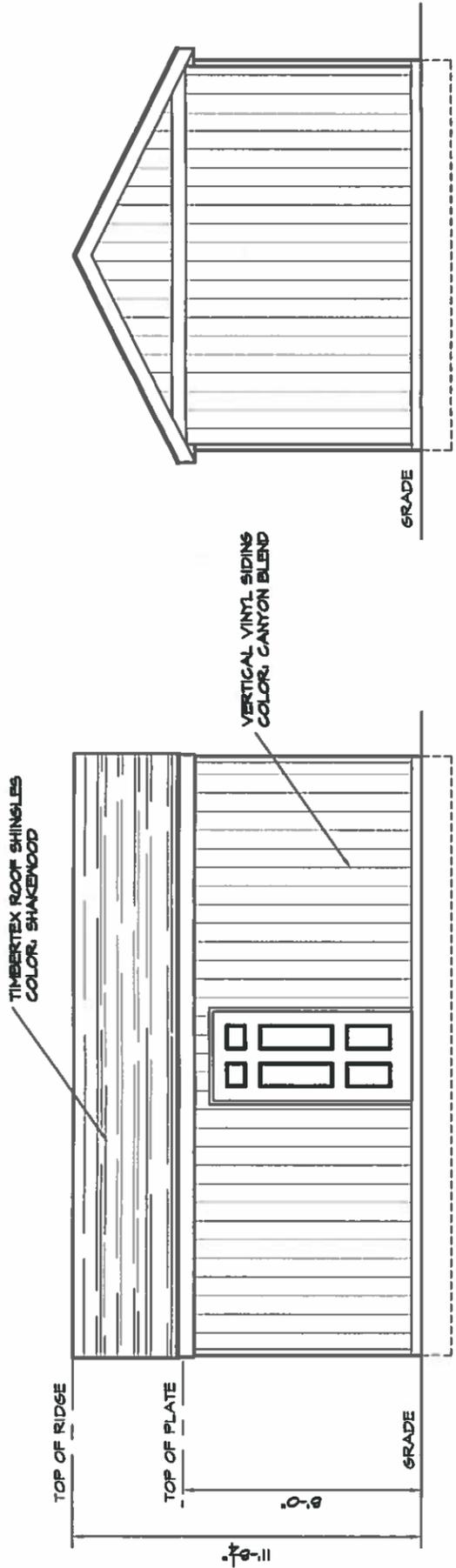


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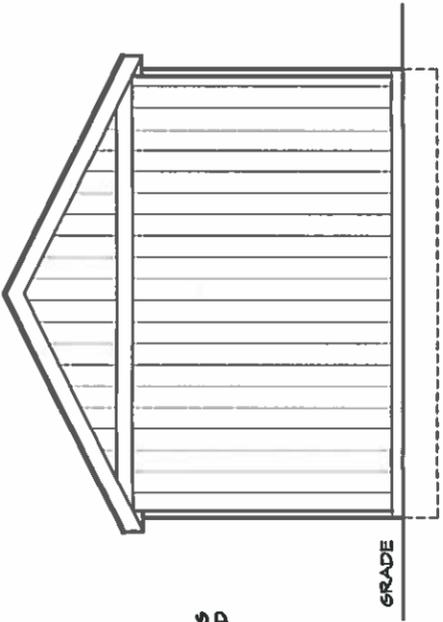
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TO BE MAINTAINED SHED ELEVATIONS

DRAWN BY: N.F.	DRAWING NO. A-2
CHECKED BY: N.C.L.	
SCALE: AS SHOWN	
DATE: 4/29/22	PROJ. NO. 21-105



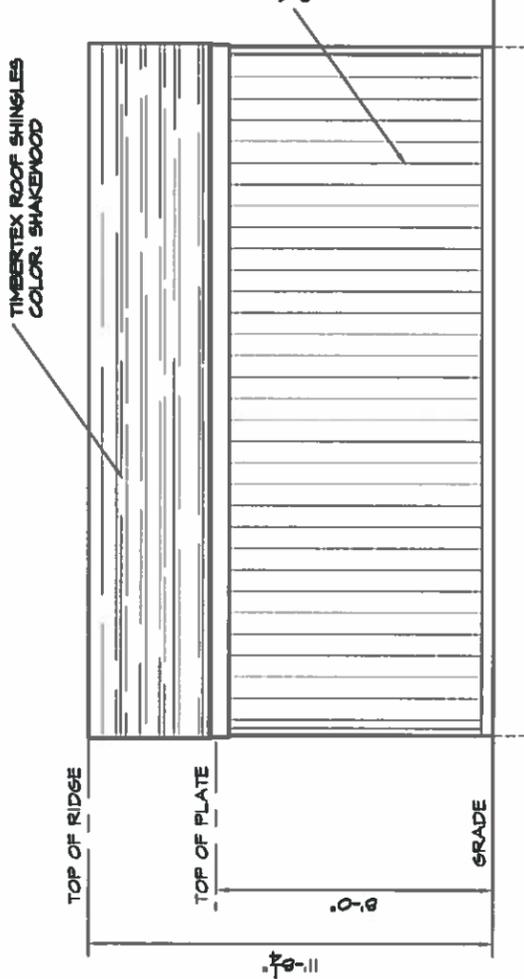
FRONT ELEVATION

SCALE 3/16" = 1'-0"



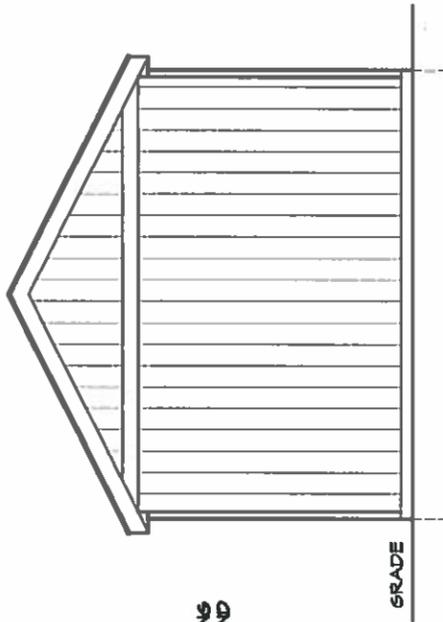
SIDE ELEVATION

SCALE 3/16" = 1'-0"



REAR ELEVATION

SCALE 3/16" = 1'-0"



SIDE ELEVATION

SCALE 3/16" = 1'-0"

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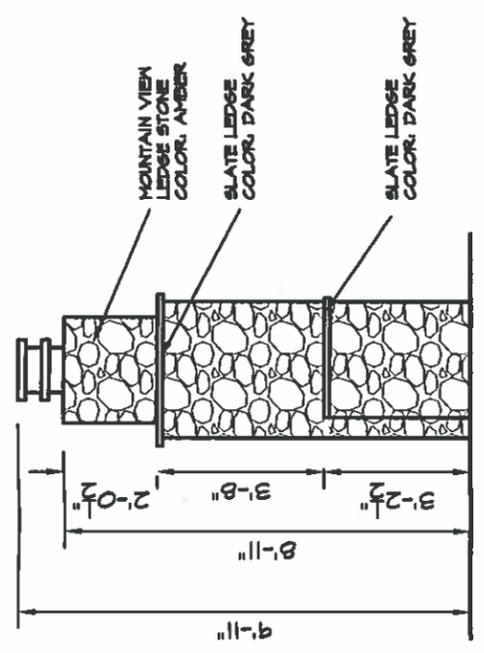


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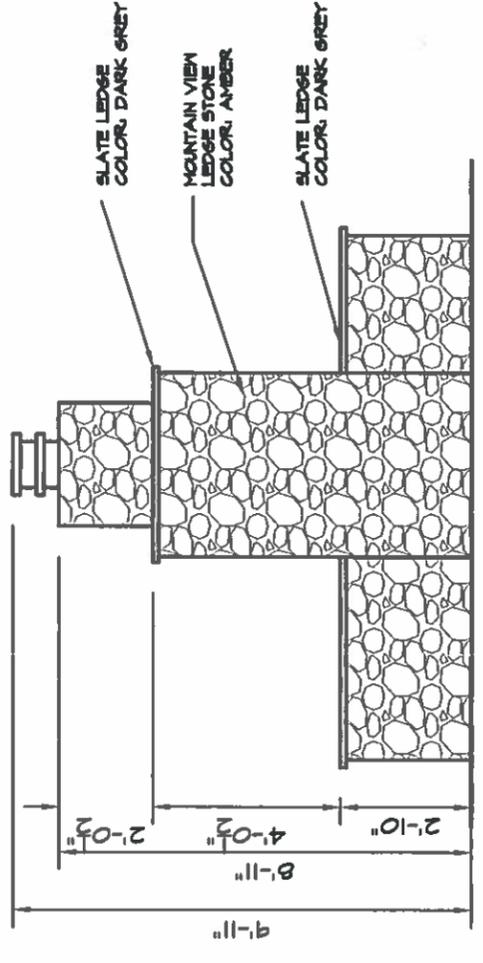
DRAWING TITLE:
TO BE MAINTAINED
FIRE PLACE ELEVATIONS

DRAWN BY: N.F.	DRAWING NO. A-3
CHECKED BY: N.C.L.	
SCALE: AS SHOWN	
DATE: 4/29/22	PROJ. NO. 21-105



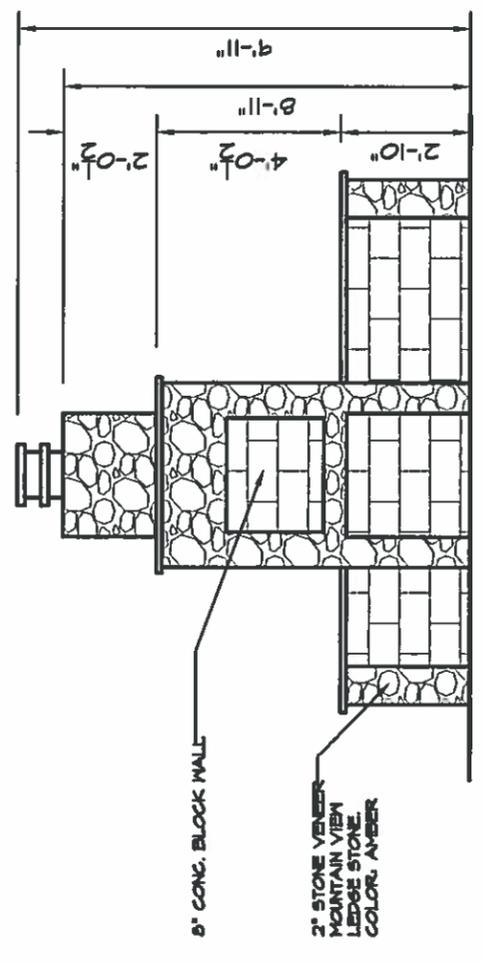
SIDE ELEVATION

SCALE 1/4" = 1'-0"



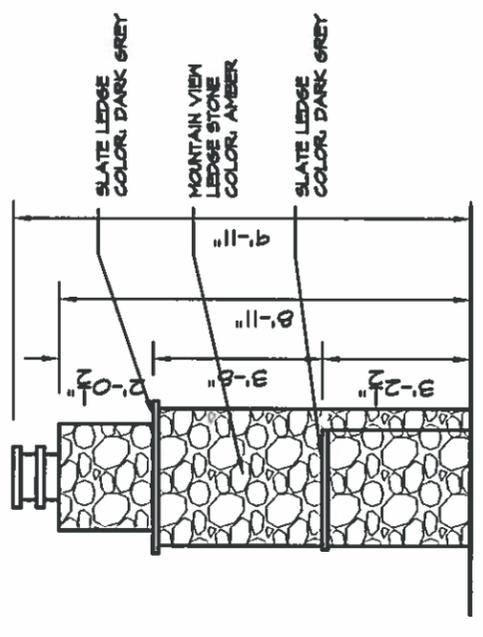
REAR ELEVATION

SCALE 1/4" = 1'-0"



FRONT ELEVATION

SCALE 1/4" = 1'-0"



SIDE ELEVATION

SCALE 1/4" = 1'-0"



3A



4

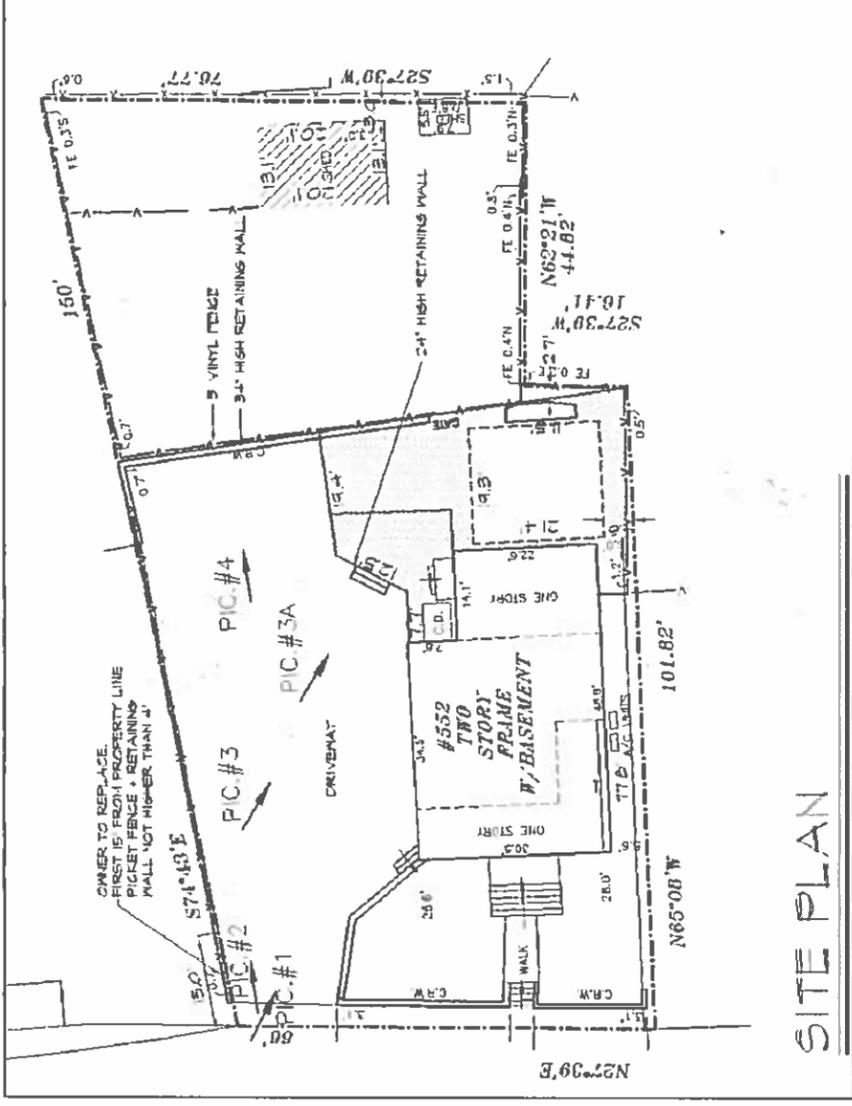


3



2

OWNER TO REPLACE.
FIRST 15' FROM PROPERTY LINE
PICKET FENCE + RETAINING
WALL NOT HIGHER THAN 4'



SITE PLAN

5' P.V.C
FENCE BEYOND



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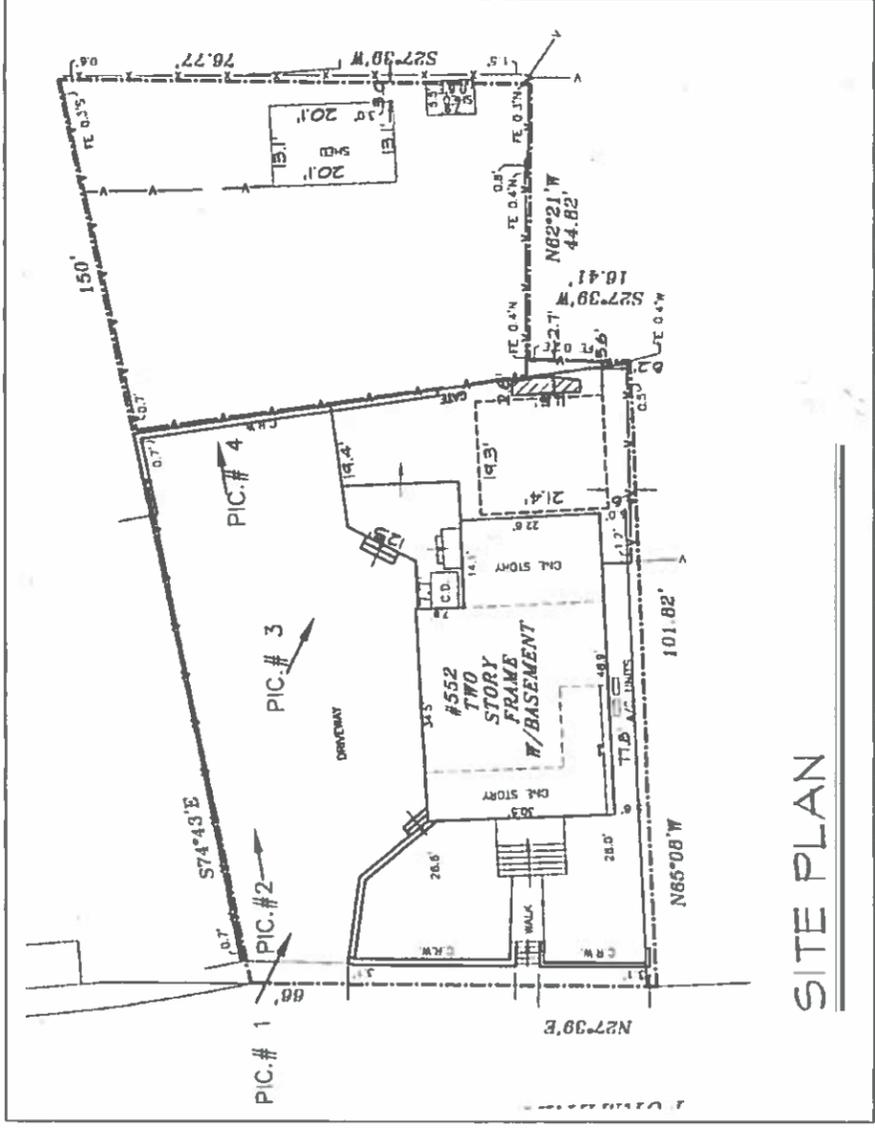
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SITE PLAN



3



4

2



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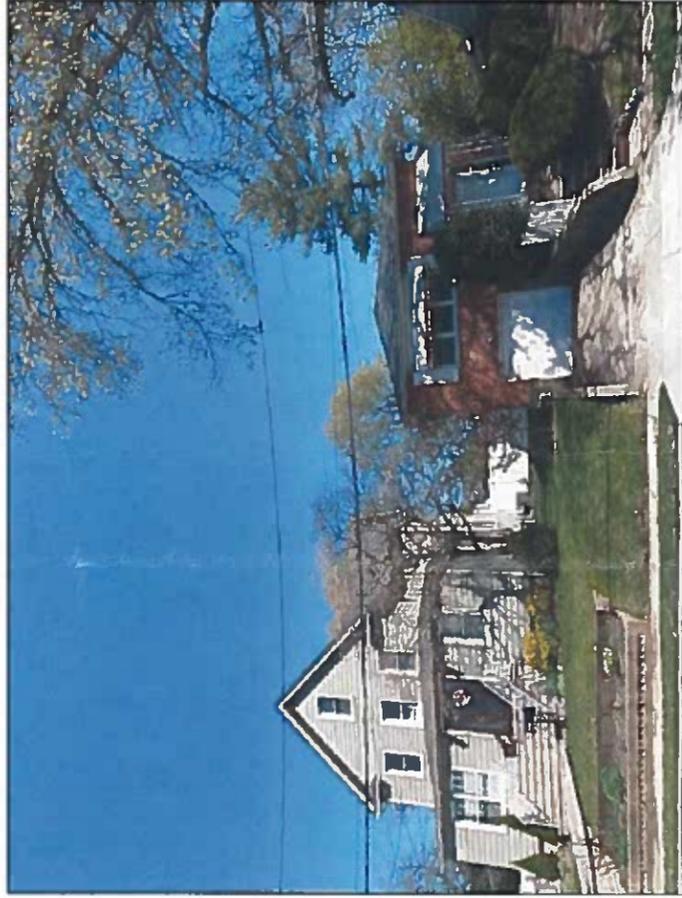
**TO BE MAINTAINED
PAVILION, FIREPLACE, DRIVEWAY,
FENCE, REAR TERRACE, SHED
AND RETAINING WALL**



ACROSS THE STREET OF SUBJECT PROPERTY



LEFT OF SUBJECT PROPERTY



RIGHT OF SUBJECT PROPERTY



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DRAWING TITLE:

NEIGHBORS PICTURES



FRONT



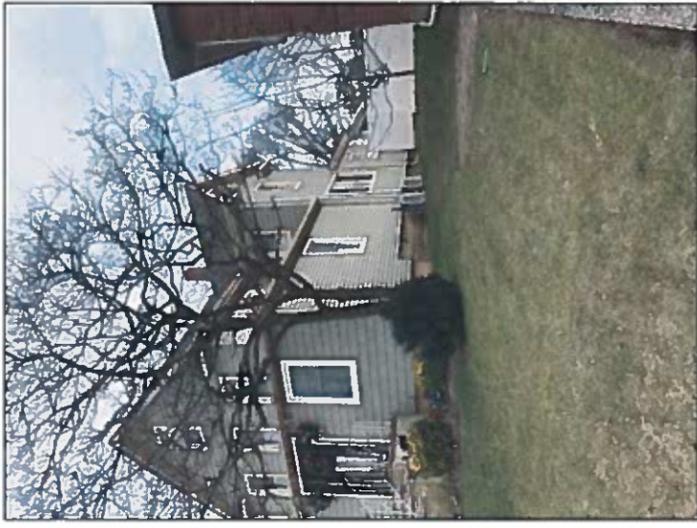
LEFT / RIGHT



REAR



FRONT/ LEFT



FRONT/RIGHT



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DRAWING TITLE:

SUBJECT PROPERTY

3035 111th St. (4083)

111th St. (4083)



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(631) 843-1949 • (718) 224-0001 • Fax (631) 843-819

4/29/22	1	ZBA
DATE:	ISSUE NO.	DESCRIPTION

NORMAN C. LOK, P.E.

NYS LICENSE NUMBER 089525
707 ROUTE 110 Suite A-1
FARMINGDALE, NY 11735

TEL: (631)755-7120
FAX: (631)843-8190

DIMENSIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

4/29/22

PROJECT TITLE:

**SOSA
RESIDENCE**
552 NORTH BROOKSIDE AVENUE
FREEPORT, N.Y. 11520

DRAWING TITLE:

TO BE MAINTAINED
PAVILLION, FIREPLACE, SHEC
& RETAINING WALL

DRAWN BY:
N.F.

CHECKED BY:
N.C.L.

SCALE:
AS SHOWN

DATE:
4/29/22

DRAWING NO.

SP

PROJ. NO. 21-105

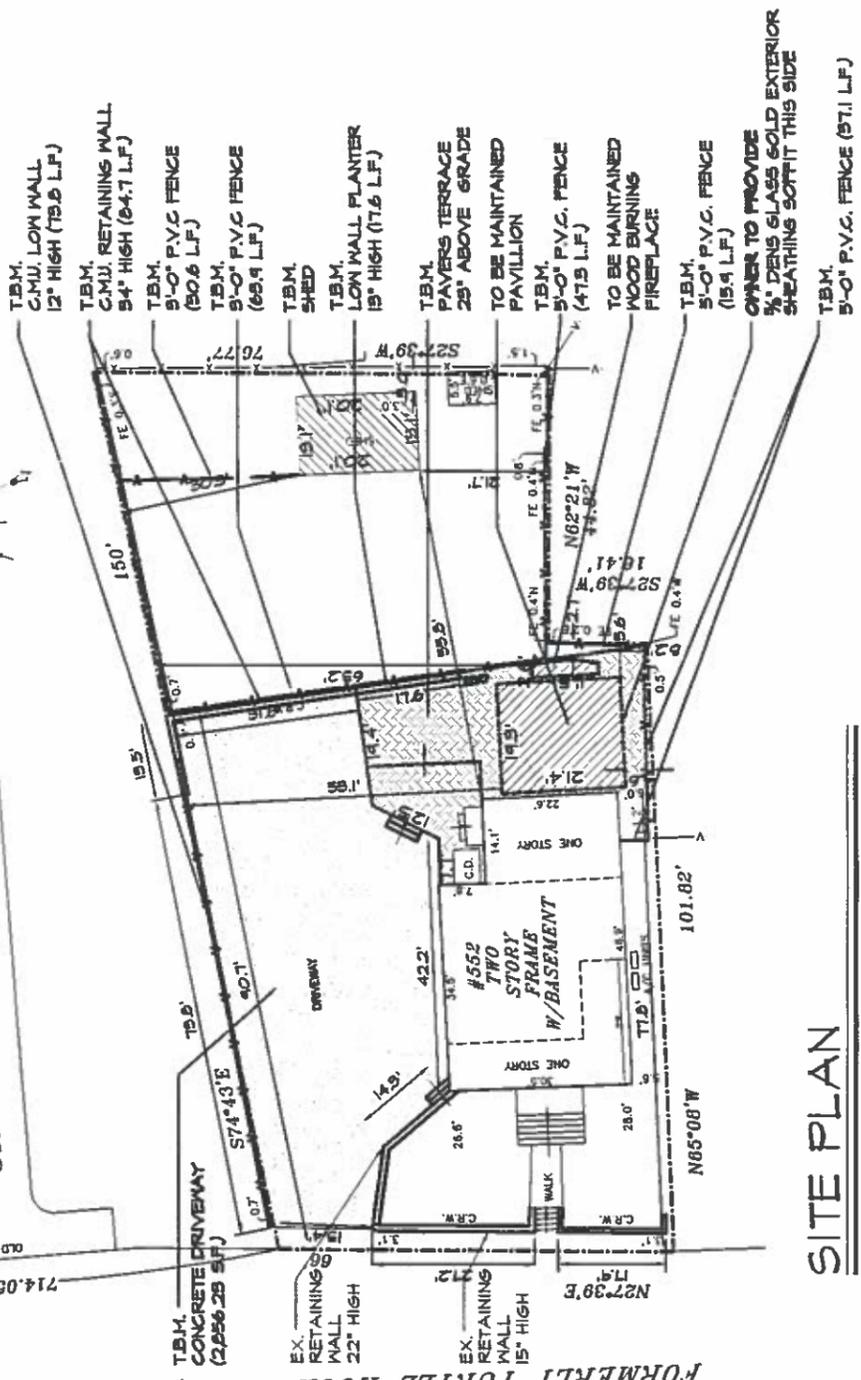
5

PAVILLION SITE INFORMATION: SECTION: 36 BLOCK: K LOT: 14B ZONE: VILLAGE OF FREEPORT RESIDENTIAL AA REQUIRED: 7500 s.f. PROVIDED: 10795.5 s.f. LOT AREA OCCUPIED: 2,698.88 s.f. % OCCUPIED: 25% FRONT WIDTH: 75' SIDE YARD: 10.0' SIDE YARDS AGGREGATE: 20.3' REAR YARD (1 STORY): 5.0' HEIGHT: 15' FRONT YARD SETBACK: 20' VARIANCE: YES	
FENCING & RETAINING WALL SITE INFORMATION: 3'-0" P.V.C. FENCE: 945 L.F. 5'-0" P.V.C. FENCE: 2456 L.F. TOTAL FENCE: 3401 L.F. 34" TO 24" H. REAR RETAINING WALL: 83 L.F. 15" H. REAR LOW WALL: 1833 L.F. 12" H. SIDE LOW WALL: 7380 L.F.	
SHED SITE INFORMATION: SECTION: 36 BLOCK: K LOT: 14B ZONE: VILLAGE OF FREEPORT RESIDENTIAL AA REQUIRED: 2155.6 s.f. PROVIDED: 5389.26 s.f. REAR LOT AREA: 5389.26 s.f. REAR AREA OCCUPIED: 686.22 s.f. % OCCUPIED: 12.7% SIDE YARD: 10.0' SIDE YARDS AGGREGATE: 20.3' REAR YARD: 5.0' HEIGHT: 12' DIS. BETWEEN BUILDINGS: 20' VARIANCE: YES	
FIRE PLACE SITE INFORMATION: REQUIRED: 7500 s.f. PROVIDED: 10795.5 s.f. LOT AREA: 10795.5 s.f. LOT AREA OCCUPIED: 2,698.88 s.f. % OCCUPIED: 25% SIDE YARD: 10.0' SIDE YARDS AGGREGATE: 20.3' REAR YARD (1 STORY): 5.0' HEIGHT: 15' VARIANCE: YES	

HUDSON AVENUE

CATLIN AVENUE

NORTH BROOKSIDE AVENUE
FORMERLY TURTLE HOOK ROAD / BROOKSIDE AVENUE



SITE PLAN

SCALE 1" = 30'-0"
FROM A SURVEY

APPROVED BY: [Signature]
DATE: 4/29/22

DATE: 4/29/22

**INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD**

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: <u>121 S. Main Street</u>		ZONING DISTRICT <u>Ind</u>
SECTION <u>02</u>	BLOCK <u>198</u>	LOT <u>323</u> LOT SIZE: <u>71x203 - 10,565sf</u>

<input type="checkbox"/> TENANT APPLICANT <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Ulises Campos</u>	Name: <u>Ulises Campos</u>
Address: <u>121 S. Main St.</u> <u>Freeport NY 11520</u>	Address: <u>121 S. Main St.</u> <u>Freeport NY 11520</u>
Telephone #: <u>516-526-9261</u>	Telephone #: <u>516-526-9261</u>

Expeditor Attorney Name: April Madigan Address: 8 W. Merrick Rd. Suite 215
Phone #: 516-324-6742 Freeport NY 11520

Present Land Use: Commercial/Residential Proposed Land Use: Commercial/Residential

Description of Proposed Work: Construct a new 1,544 sf second floor commercial addition

I request a concept plan conference: YES NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

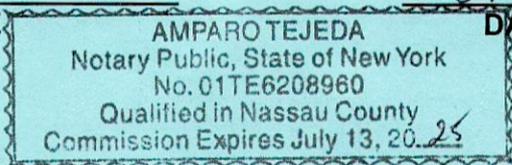
YES NO

X [Signature] _____ DATE 07/05/2022

APPLICANT'S SIGNATURE

Sworn to before me this 5 day of July, 2022.

[Signature]
Notary Public



Property Owner's Consent:

I, Ulises Campos am (are) the owner(s) of the subject property and consent to the filing of this application.

X [Signature] _____ DATE 07/05/22

PROPERTY OWNER'S SIGNATURE

Sworn to before me this 5th day of July, 2022.

[Signature]
Notary Public



FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved <input type="checkbox"/> Denied <input type="checkbox"/>
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242

FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

June 23, 2022

AMENDED SITE PLAN LETTER

Ulises Campos
119-123 S. Main Street
Freeport, NY 11520

RE: 119-123 S. Main Street, Freeport, NY aka 121 S. Main Street, Freeport, NY
Zoning District- Business B Sec. 62 Blk. 198 Lot 323
Building Permit Application #20212322
Description: Construct a new 1,544 sq. ft. second floor commercial addition

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
/cd

c: Village Clerk
Robert Bennett, PE

ZBA Approval Needed:

Yes: No

Encl.

2VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

_____ Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

_____ The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

_____ **Building Permit App. #20212322**

Location: 119-123 S. Main Street, Freeport, NY aka 121 S. Main Street, Freeport, NY

Applicant: Ulises Campos

Description: Construct a new 1,544 sq. ft. second floor commercial addition

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: June 23, 2022 - Amended

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

2021 JUN 30 PM 4:30
 INC. VILLAGE OF FREEPORT NY
 DEPARTMENT OF BUILDINGS

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: 121 S. Main Street, Freeport, NY			
Project Location (describe, and attach a location map): East Side of S. Main Street, 64.92' South of Merrick Road			
Brief Description of Proposed Action: Proposed 2nd Story Addition at Rear of Existing 1st Story			
Name of Applicant or Sponsor: April Madigan		Telephone: 516-324-6742	
		E-Mail: Amexpediter@gmail.com	
Address: 8 W. Merrick Rd., Suite 215			
City/PO: Freeport		State: NY	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO X YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO X YES
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		X	
b. Consistent with the adopted comprehensive plan?			X
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO		YES X
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO		YES X
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO		YES X
b. Are public transportation service(s) available at or near the site of the proposed action?			X
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			X
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO		YES X
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO		YES X
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO		YES X
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO		YES X
b. Is the proposed action located in an archeological sensitive area?			X
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO		YES X
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			X
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO		YES X
16. Is the project site located in the 100 year flood plain?	NO		YES X
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES	NO		YES X X

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	X	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>April Madigan</u>		Date: <u>9-15-21</u>
Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	X	
2. Will the proposed action result in a change in the use or intensity of use of land?	X	
3. Will the proposed action impair the character or quality of the existing community?	X	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	X	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	X	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	X	
7. Will the proposed action impact existing:	X	
a. public / private water supplies?	X	
b. public / private wastewater treatment utilities?	X	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	X	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	X	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	X	
11. Will the proposed action create a hazard to environmental resources or human health?	X	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
AM Expediting	6.21.21
Name of Lead Agency	Date
April Madigan	President
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
	
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



**VILLAGE OF FREEPORT
MUNICIPAL BUILDING**

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2300
(516) 771-4127 Fax

ROBERT T. KENNEDY
MAYOR

PAMELA WALSH BOENING
VILLAGE CLERK

February 22, 2022

Ulises Campos
119-123 S. Main St.
Freeport, NY 11520

Application #2021-24 – 119-123 S. Main St. AKA 121 S. Main St., Business B - Section 62/Block 198/Lot 323 – Ulises Campos - Construct a new 1,544 sq. ft. second floor commercial addition.

Dear Mr. Campos,

The above application was before the Zoning Board of Appeals at its meeting held on February 17, 2022 at which time the application was approved. Please see the attached decision from the Zoning Board of Appeals.

If you have any questions or need further information, please call my office at 516-377-2202.

Sincerely,

Robin Cantelli
Secretary to the Zoning Board of Appeals

Cc: April Madigan ✓
Robert Bennett

**INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION**

DATE: February 17, 2022

APPROVAL

Building Department Permit Application #**20212322**

Chairman, regarding Application #2021-24 for the premises located at 119-123 S Main Street, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-172A seeking approval for the construction of a new 1,544 sq. ft. second floor commercial addition.

I, **Ben Jackson**, move that this Board make the following findings of fact:

A public hearing was held on November 18, 2021 wherein applicant was represented by attorney Dennis Kelly. He explained that the applicant is a businessman who lives in Freeport whose office is currently located in Baldwin where he rents space. He acquired the subject property about a year and a half ago. It is three storefronts. One is vacant, but used to be a furniture store and before that, a 99 cent store. The second storefront is a shoe store that primarily does its business online. The third is a hair salon with six chairs. The applicant proposes to add a second story onto the currently vacant space, to be used as executive office space for his business. He runs a commercial cleaning business. The storefront will be used as a reception area in the front and store supplies in the back. He plans for two employees working on-site, himself, plus an executive assistant. He is hoping to grow to four employees on-site. There are no other employees on-site, as the business model is that employees go straight from their homes to the cleaning sites. Five supervisors have vans that will occasionally need to be re-stocked with cleaning supplies approximately once a week or once every other week. The supervisors take the vans home with them. The business hours are 9 to 5, Monday through Friday.

There are also six apartments on site. As such, the proposed combined parking requirement under the Village Code is 24 parking spaces, with 7 spaces provided on-site. 20 spaces are required without the proposed addition. Mr. Kelly opined that the proposed use of this storefront is probably one of the better proposals for use of the space, given the location and off-street parking requirements.

A representative from VHB Engineering spoke about the parking situation. He explained that there was considerable parking available on South Main Street, as well as the municipal lot across the street (Note: the Board does not consider municipal parking availability due to the New York State Constitution's prohibition against the gift of public funds). The residential tenants tend to use the spaces on evenings and weekends, with the spaces available for retail customers during the day, including use by the applicant and his employees.

Mr. Campos, the applicant, also spoke on his own behalf. He reiterated much of what had been said before, that besides the two (maybe four in the future) on-site employees, employees only come to the site to pick up materials occasionally or for interviews or to fill out paperwork.

The Board notes that much of the need for the extra parking demand is ameliorated specifically by the proposed use of the third storefront and proposed expansion. Applicant proposes a storefront and executive office to be used by one business, and more importantly, one business that does not have a retail component associated with it. The current parking demand is 20 spaces for the property; with the expansion it is 24 spaces. However, this increase in space will not increase physical traffic to the location. As such, the variance will be granted conditional on the use of the space as proposed, i.e. without an on-site retail component associated with it. Applicant provided sufficient testimony that the increase in space with the proposed two (and possibly four)

employees will not increase the parking demand beyond the current parking demand. However the same cannot be said of what this expansion would mean to parking demand in the context of a traditional retail space.

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance;
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance. As this property is pre-existing with limited parking, options are limited.
 - c. that the requested area variance is insubstantial;
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty was not self-created. This is a pre-existing lot without parking. Applicant obviously knew of this when he purchased the property, but the intended use and proposed expansion keeps the parking demand in check.

2. The Board, as lead agency, has determined that this action is an unlisted action under SEQRA. A short environmental assessment form has been completed by the applicant and this Board. The Board finds no environmental impact under SEQRA, issues a negative declaration, and no further review is required.

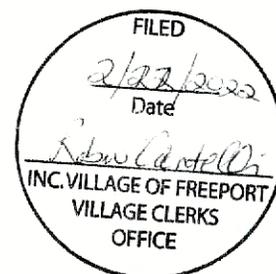
I further move that this application be granted subject to the following conditions:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.
3. This approval is conditioned on the specific use of the property proposed in the application, specifically, a non-retail use of this storefront and upstairs addition. The testimony shows that the storefront and addition as proposed will not increase the parking demand beyond that which would be required for this storefront without the addition. However, should this storefront and addition ever return to a more traditional retail use, the standards for the variance have not been met and applicant will need to return to the Board for further review of the parking situation.

Second by: Anthony Mineo

The Clerk polled the Board:

Deputy Carey	In Favor
Member Mineo	In Favor
Member Jackson	In Favor
Member Hawkins	In Favor
Alternate Member Scopelitis	Excused
Chairperson Rhoden	Excused





EAST FACE ELEVATION

RECEIVED

2022 JUL 29 P 3:14

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



FRONT WEST FACE ELEVATION



SOUTH FACE ELEVATION

MATERIAL LIST

EXISTING SIDING TO BUILDING: (PREVIOUSLY APPROVED)

Riveral Beach PPU7-07
Dutchlap
(See Sample)

Existing Trim Around Windows and Doors

Polar Bear 75 (White)
(See Sample)

New Stucco Portion of Building:

Natural Almond (to match existing siding)
(See Sample)

New Trim Around Windows and Doors:

Polar Bear 75 (White) to match existing
(See Sample)

Guard Rail and Handrail

Wrought Iron Handrail (Black)
(See Sample)

New Windows:

Dumal Series Aluminum Window with White Trim and Blue Tint Glass
(See Sample)

Lighting:

PLT Solutions
6250 Lumens - LED Wall Pack-50 Watt-4000 Kelvin
120-277 Volt - PLT-11713

Rear Entry/Exit Door

Dumal Series Aluminum Storefront Door with White Trim and Blue Tint Glass
(See Sample)

5055 07 30 B 3-12

PLT B/REC

RECEIVED

2022 JUL 29 P 3:14

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

MATERIAL LIST FOR THE FRONT OF THE BUILDING:

New Windows:

Dumal Series Aluminum Window with White Trim and Blue Tint Glass
(See Sample)

Front Storefront Doors:

Dumal Series Aluminum Storefront Door with Bronze Trim and Blue Tint Glass
(See Sample)

Front Storefront Siding:

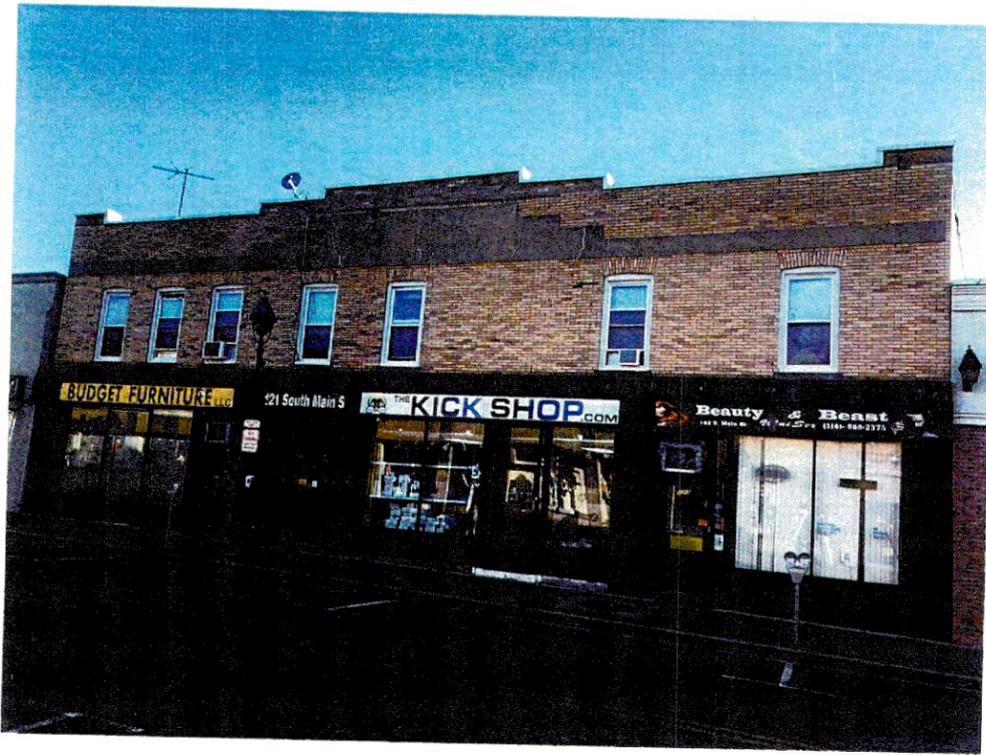
Stucco Navajo White (lighter than the side and rear of the store)

Trim:

Bronze Finish

Bottom of Storefront:

Bronze Smooth Finish to Match New Trim



121 South Main Street; Freeport, New York; March 8, 2021; Front west facade; Looking east



125 South Main Street; Neighboring property south of 121 South Main Street; Freeport, New York; March 8, 2021; Front west facade; Looking east



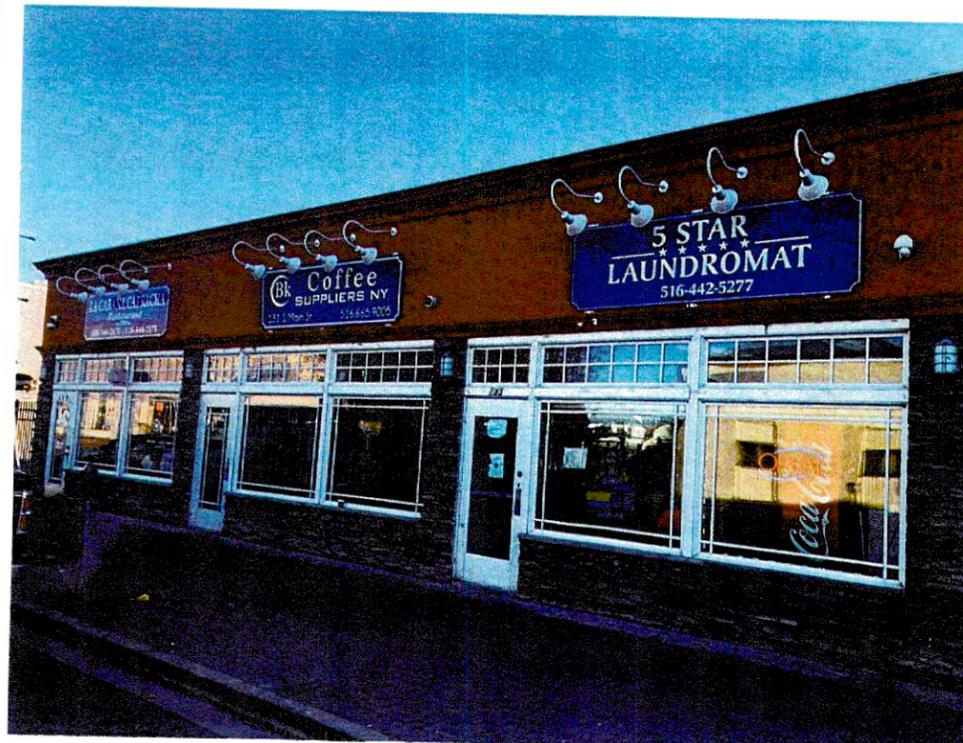
122-124-126 South Main Street; Neighboring properties across the street of 121 South Main Street; Freeport, New York; March 8, 2021; Front east facade; Looking west



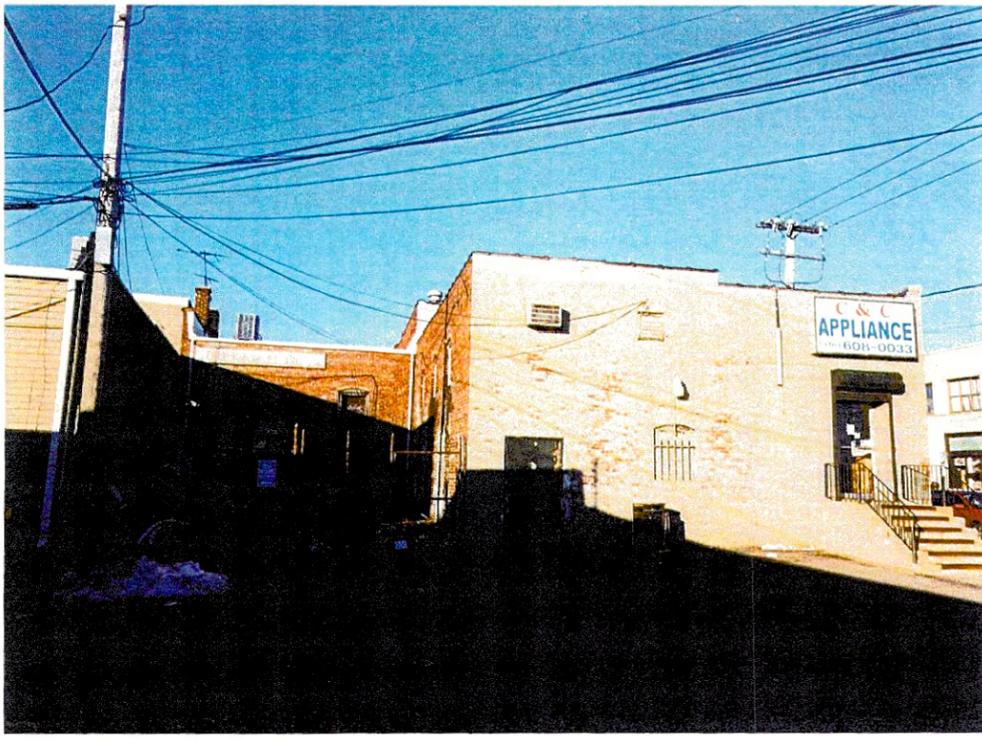
120 South Main Street; Neighboring property across the street of 121 South Main Street; Freeport, New York; March 8, 2021; Front east facade; Looking west



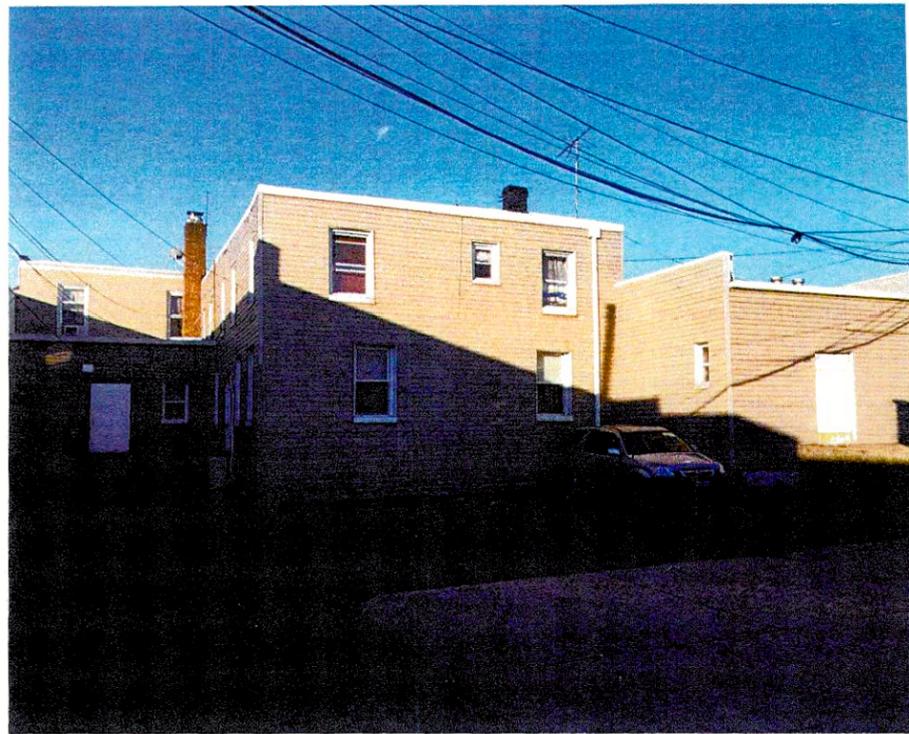
36 South Main Street; Neighboring property across the street of 121 South Main Street; Freeport, New York; March 8, 2021; Front east facade; Looking west



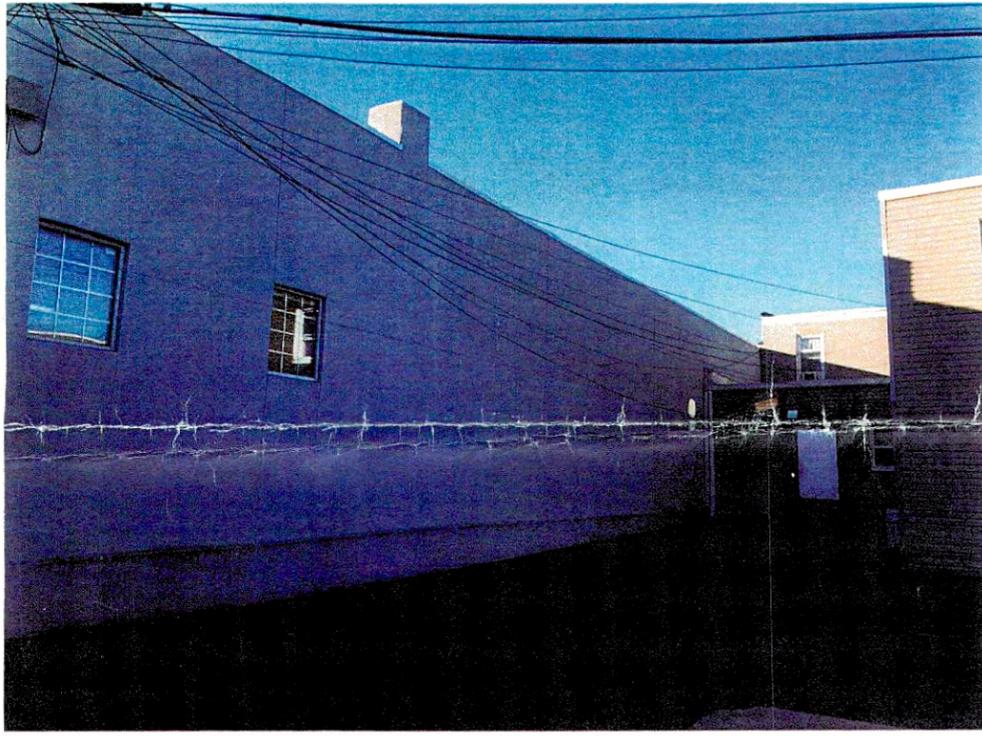
129-133 South Main Street; Neighboring property south of 121 South Main Street; Freeport, New York; March 8, 2021; Front west facade; Looking east



115-117 South Main Street; Neighboring property north of 121 South Main Street; Freeport, New York; March 8, 2021; Rear east facade; Looking west



121 South Main Street; Freeport, New York; March 8, 2021; Rear east facade; Looking west



125 South Main Street; Neighboring property south of 121 South Main Street; Freeport, New York; March 8, 2021; Side north facade; Looking south



121 South Main Street; Freeport, New York; March 8, 2021; Rear south facade; Looking north



21 South Main Street; Freeport, New York; March 8, 2021; Rear east facade; Looking west



121 South Main Street; Freeport, New York; March 8, 2021; Rear north east facades along with rear of neighboring C&C Appliance to the north; Looking southwest

RECEIVED

2022 JUL 29 P 3:14

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Application Date: 8/17/22
Fees Paid: _____

SP# 3579

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 164 ARCHER STREET ZONING DISTRICT RES."A"
SECTION 02 BLOCK 77 LOT 10 LOT SIZE: 10,949 S.F.

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> <u>APPLICANT</u>	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>OWNER</u>		Name: <u>ELVIS BAEZ</u>	
Address: _____		Address: <u>5 MOORE CIRCLE</u>	
Telephone #: _____		Telephone #: <u>(56) 242-6956</u>	

Attorney Name: MIGUEL RAMIREZ Address: 33 LAMONT PLACE
(optional) Phone #: (631) 704-6101 WEST BABYLON, N.Y. 11704

Present Land Use: 1-FAMILY RESIDENCE Proposed Land Use: NO CHANGE

Description of Proposed Work: CONSTRUCT (185 S.F.) 1-STORY WOOD FRAME WITH VINYL SIDING REAR ADDITION IN CONJUNCTION WITH MAINTAIN EXISTING FINISH CELLAR FOR STORAGE WITH 3PL BATHROOM.

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

_____ YES _____ NO

[Signature]
APPLICANT'S SIGNATURE
Sworn to before me this 8th
day of August of 2022
[Signature]
Notary Public

8/12/2022
DATE
DORIS ALEXANDRA RAMIREZ
NOTARY PUBLIC STATE OF NEW YORK
SUFFOLK COUNTY
LIC. #01RA8359376
COMM. EXP. May 20 of 2025

Property Owner's Consent:
I, ELVIS BAEZ am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 8
day of August of 2022
[Signature]
Notary Public

8/12/2022
DATE
DORIS ALEXANDRA RAMIREZ
NOTARY PUBLIC STATE OF NEW YORK
SUFFOLK COUNTY
LIC. #01RA8359376
COMM. EXP. May 20 of 2025

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

SUBMISSION CHECKLIST

YES	NO	N/A		
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1.	The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2.	The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3.	A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	a.	Title of drawing, including name and address of applicant.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	b.	North point, scale, and date.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	c.	Boundaries of the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	d.	Existing natural features, such as watercourse, waterbodies, wellands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	e.	Floodplain boundaries as determined by the Federal Emergency Management Agency.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	f.	Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	g.	Location of outdoor storage and description of materials to be stored.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	h.	Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	i.	Location and description of all proposed waterfront public access/recreation provisions.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	j.	Description of sewage disposal and water supply systems and locations of such facilities.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	k.	Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	l.	Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	m.	Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	n.	Location, design and size of all signs and lighting facilities.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	o.	Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	p.	Building orientation and site design for energy efficiency and visual quality.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	q.	Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	r.	Description and location of erosion control measures including proposed location of sediment sink/settling pond and interceptor swales, etc.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	s.	Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	t.	Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	u.	Estimated project construction schedule.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	v.	Record of application for approval status of all necessary permits from federal, state and county officials.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	w.	Identification of any federal, state or county permits required for project execution.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	x.	The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

June 24, 2022
AMENDED SITE PLAN LETTER

Elvis Baez
5 Moore Circle
Freeport, NY 11520

RE: 164 Archer Street, Freeport, NY
Zoning District - Residence A Sec. 62 Blk. 077 Lot. 10
Building Permit Application #20222573
Description- Construct a new one-story, 185 sq. ft. rear addition

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
Jonathan Smith, Building Inspector

/cd
Encl.

c: Village Clerk
Vladimir Constant P.E.

ZBA Approval Needed:
Yes: _____ No X _____

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20222573

Location: 164 Archer Street, Freeport, NY

Applicant: Elvis Baez

Description: Construct a new one-story, 185 sq. ft. rear addition

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: June 24, 2022 - Amended


Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

20222573

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: 1-Story Wood frame with vinyl Addition and maintain existing finished cellar to 1-Family 2-Story Residence			
Project Location (describe, and attach a location map): No. 164 on North side of Archer Street and East side of South Grove Street in the Inc. Village of Freeport, N.Y. 11520.			
Brief Description of Proposed Action: Construct (185 s.f.) 1-story wood frame addition with vinyl siding in conjunction to maintain existing finished cellar (for storage)with 3-pc bathroom.			
Name of Applicant or Sponsor: Elvis Baez		Telephone: (516)242-6956	
		E-Mail: elvisbaez13@gmail.com	
Address: 5 Moore Circle			
City/PO: Freeport		State: New York	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO
			YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO
			YES
3.a. Total acreage of the site of the proposed action?		<u>0.25</u> acres	
b. Total acreage to be physically disturbed?		<u>0.25</u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>0.25</u> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

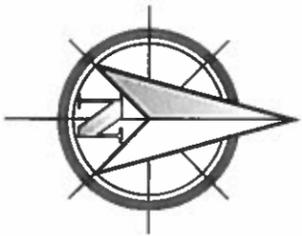
18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	✓	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Elvis Baez</u>		Date: <u>December 03/2020</u>
Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

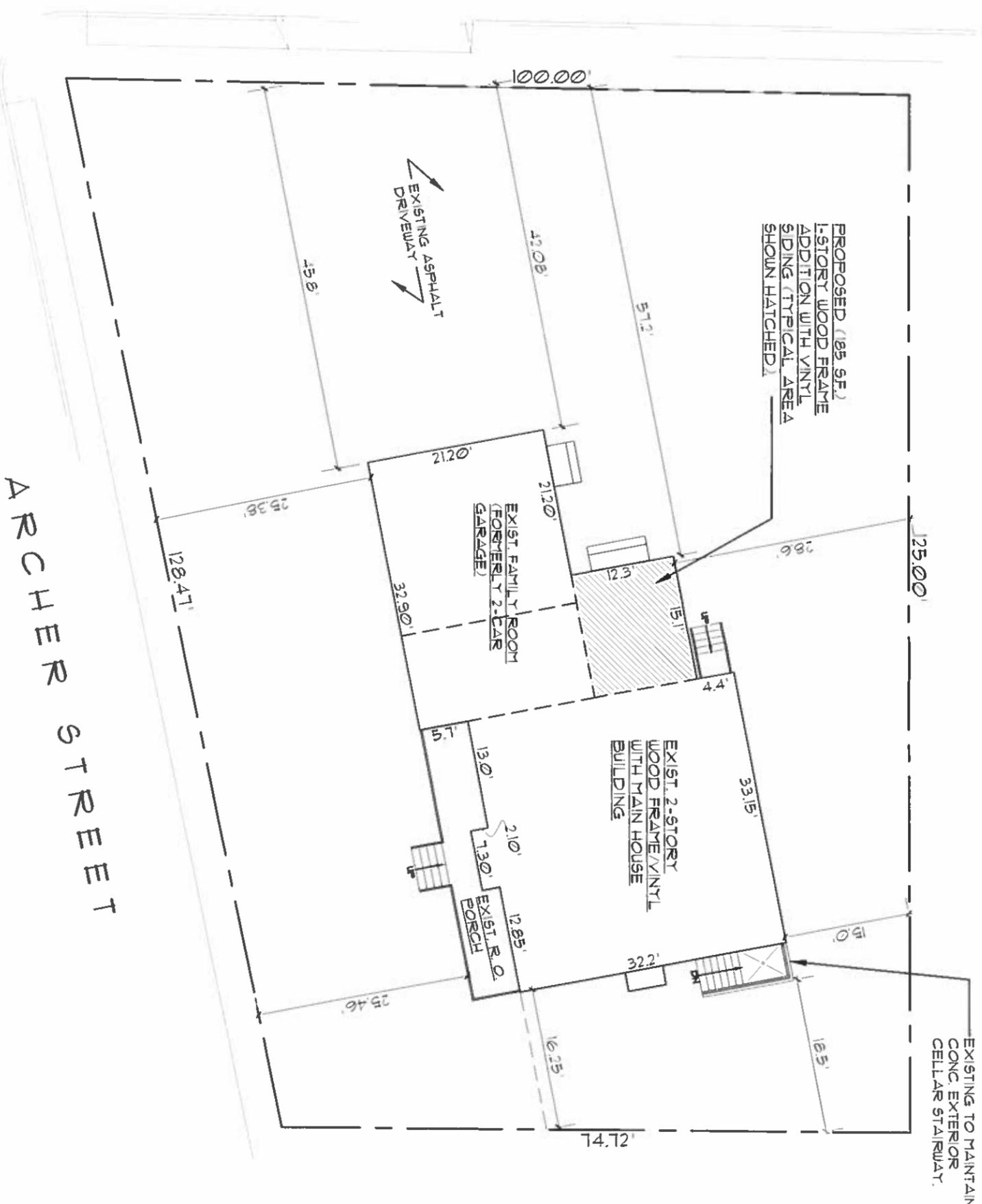
	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	✓	
2. Will the proposed action result in a change in the use or intensity of use of land?	✓	
3. Will the proposed action impair the character or quality of the existing community?	✓	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	✓	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	✓	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	✓	
7. Will the proposed action impact existing: a. public / private water supplies?	✓	
b. public / private wastewater treatment utilities?	✓	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	✓	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	✓	

10





SOUTH GROVE STREET



A
SP

PROPOSED SITE PLAN

SCALE: 1" = 15' FT.

ARCHER STREET

VLADIMIR CONSTANT P.E.

7 Melick Court
Westbury, New York 11590
Phone: (516) 779-2343
E-MAIL: v.constant@yahoo.com



MAR
DRAFTING
RESIDENTIAL & COMMERCIAL
DESIGN

33 LAMONT PLACE
WEST BABYLON, NY 11704
OFF: (631) 920-2445
MOBILE: (631) 704-6601

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		

APPLICANT/OWNER
ELVIS BAEZ

ADDRESS:
6 MOORE CIRCLE
FREEPORT, N.Y. 11520
PHONE: (516) 434-6000
E-mail: elvbaez@gmail.com
EMERGENCY CONTACT
MARLEE BAUREZ
PHONE: (631) 704-6601

PROJECT TITLE

1-STORY FRAME WITH
VINYL ADDITION TO
2-STORY 1-FAMILY
RESIDENCE

164 ARCHER STREET
FREEPORT, NY, 11520
SEC. 02 BLK. 077 LOT. 03

DRAWING TITLE
PROPOSED SITE PLAN

DRAWING NO.
SP

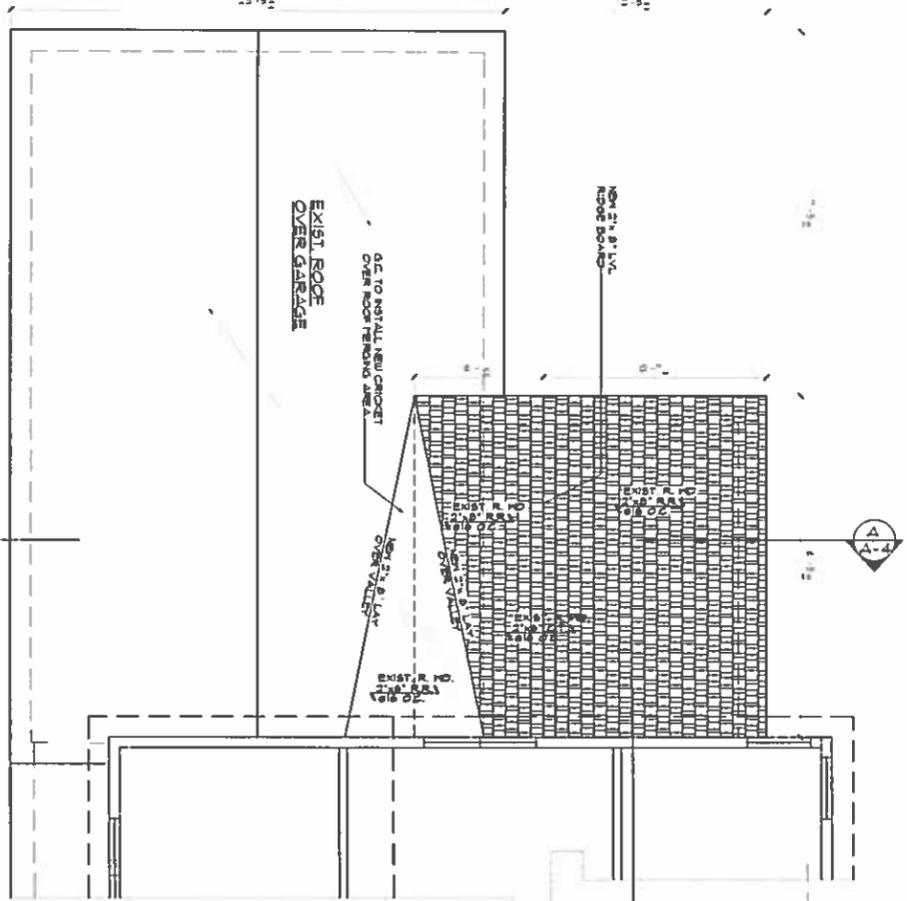
DRAWN BY: MICHAEL RAMIREZ	CHECKED BY: VC	DATE 08/27/2010	SCALE AS SHOWN	PROJECT NO. 201002	1/1
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WALL TYPE LEGEND

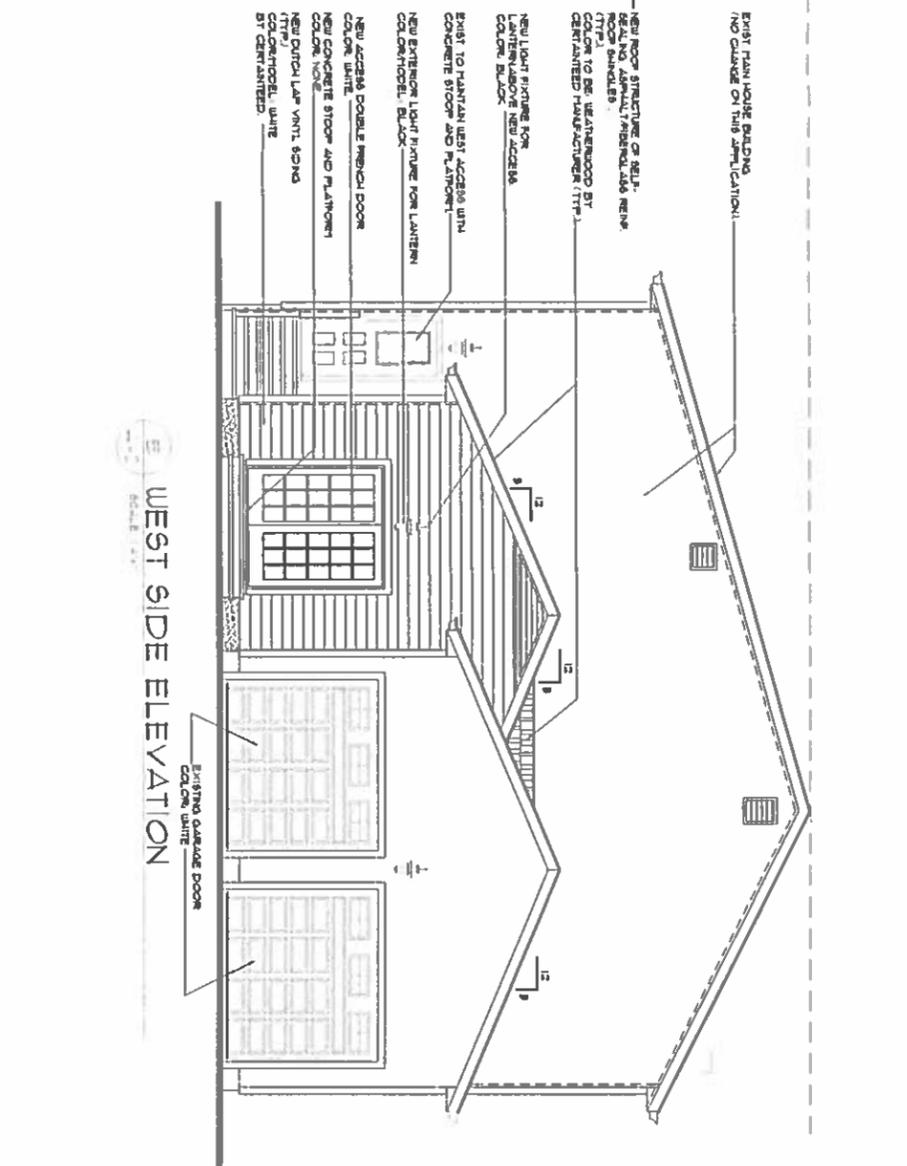
	EXISTING EXT. 8' LOAD BEARING CONC. BLOCK FOUNDATION WALL TO REMAIN
	NEW 8' REINFORCED POURED CONCRETE FOUNDATION FOOTING ON (TYP. BLOCK HATCHED TABS)
	EXISTING 10' MASONRY EXT. 8' LOAD BEARING CGL. FOUNDATION WALL WITH INTERIOR FRAMED CGL. CONSTRUCTION TO 2' X 4' STUDS & 4' X 6' CGL. WITH 3/4" BATT INSUL. (R-13) IN BETWEEN
	EXISTING INTERIOR 1' EXTERIOR WOOD FRAME WALL TO REMAIN
	NEW EXTERIOR WALL CONSTRUCTION OF VINYL SIDING OVER TYVEK VAPOR BARRIER OVER 2' X 4' STUDS & 4' X 6' CGL. OVER 1/2" REINFORCED BATT INSUL. (R-13) WITH 1/2" GYP. BD. (TYP.) INTERIOR
	NEW NON-BEARING INTERIOR WALL PARTITION CONSISTING OF (1) LAYER OF 1/2" GYP. BD. EACH SIDE OF 2' X 4' UD AND TIED TO THE UNDERSIDE OF STRUCTURE ABOVE
	EXISTING WALL CONSTRUCTION TO BE REMOVED

SYMBOL LIST

	ELECTRIC INTERCOM SMOKE DETECTOR (ITP)
	ELECT. CARBON MONOXIDE DETCT. (ITP)
	EXIST. NO CFM EXHAUST FAN TO EXTERIOR



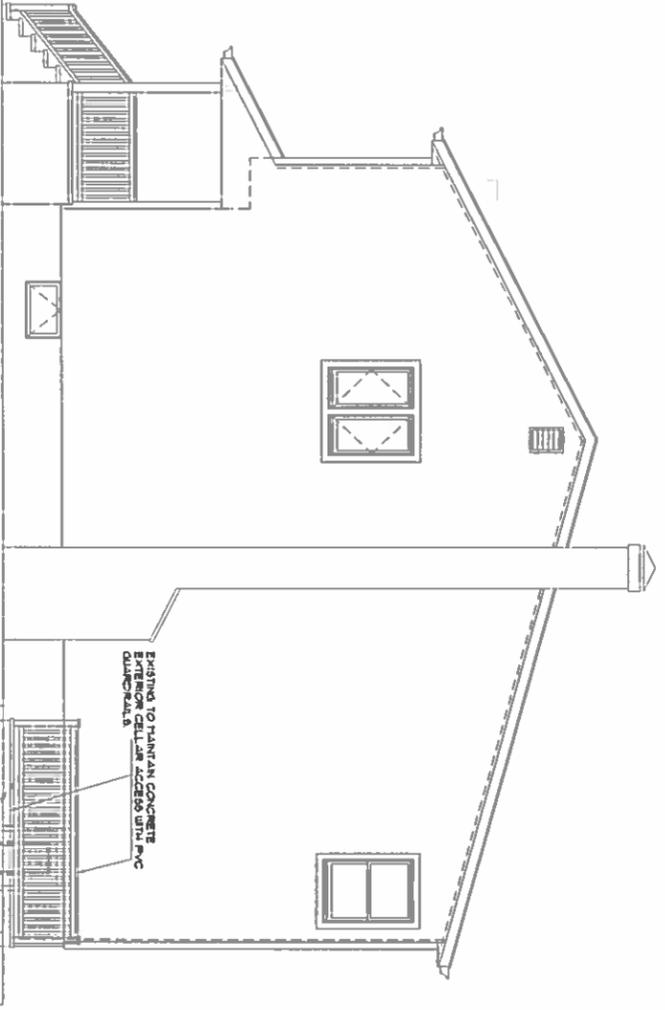
ROOF FRAMING PLAN



WEST SIDE ELEVATION



EXISTING FRONT ELEVATION



EXISTING RIGHT SIDE ELEVATION

VLADIMIR CONSTANTIN P.E.

7 Metchett Court
Westbury, New York 11590
Phone: (516) 779-2143
E-MAIL: v.constantin@vsho.com



CONSULTANT
MATR DRAFTING
RESIDENTIAL & COMMERCIAL

25 LAMONT PLACE 704
WESTBURY, NY 11591
PHONE: (516) 331-5443
MOBILE: (631) 724-0001

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		

NO. DATE

APPLICATION NO.

APPLICANT/OWNER

ELVIS BAEZ
ADDRESS:
5 MOORE ORCLE
FREEPORT, N.Y. 11520
PHONE: (516) 245-0666
E-mail: elvisbaez@gmail.com
BAGDENBY CONTACT
MIGUEL RAMIREZ
PHONE: (516) 704-8001

PROJECT TITLE

1-STORY FRAME WITH
VINYL ADDITION TO
2-STORY 1-FAMILY
RESIDENCE

104 ARCKER STREET
FREEPORT, NY 11520
BLK 077 LOT. 10

PROP. ADDITION ROOF
FRAMING PLAN EXTERIOR
ELEVATION AND BUILDING
SECTION

DRAWING NO.

CHECKED BY: VC
DATE: SEP 2010
SCALE: AS SHOWN

A-3
PROJECT NO. 3
DATE: 2010
SCALE: AS SHOWN 4

VLADIMIR CONSTANT P.E.
 7 Melick Court
 Westbury, New York 11590
 Phone: (516) 776-2343
 E-MAIL: v.constant@vshon.com



MAR
DRAFTING
 RESIDENTIAL DESIGN

33 LAWSON PLACE
 WEST BURGESS AVE #41704
 MOBILE: 631-704-0001

NO.	DATE	DESCRIPTION

NO.	DATE

APPLICATION NO. _____
 APPLICANT/TOWNER
ELVIS BAEZ
 ADDRESS
6 MOORE CIRCLE
FREEPORT, NY 11520
 PHONE: (516)242-8888
 E-mail: vbaez@mar.com
 EMERGENCY CONTACT
MIGUEL RAMIREZ
 PHONE: (516)704-0001

PROJECT TITLE
1-STORY FRAME WITH VINYL ADDITION TO 2-STORY 1-FAMILY RESIDENCE

164 APODIP STREET
 FREEPORT, NY 11520
 SEC 02 BLK 077 LOT 10

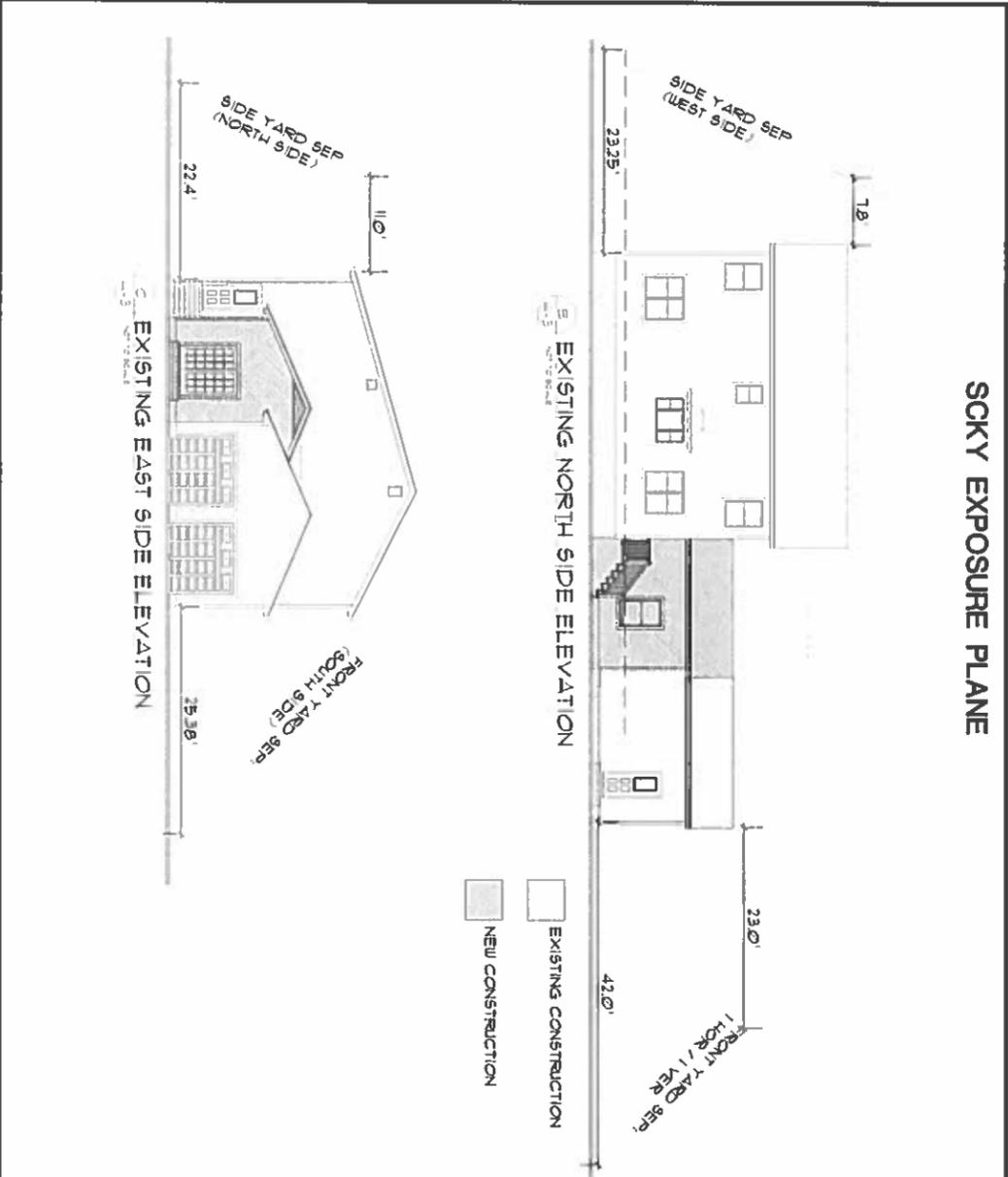
NORTH SIDE ELEVATION WITH PROP. ADDITION AND BUILDING SECTION

CHECKED BY: **A-3**
 DATE: SEP 16/10
 SCALE: 1/8"=1'-0"

DRAWING NO. **A-3**
 PROJECT NO. 4
 SHEET NO. 4



SKY EXPOSURE PLANE

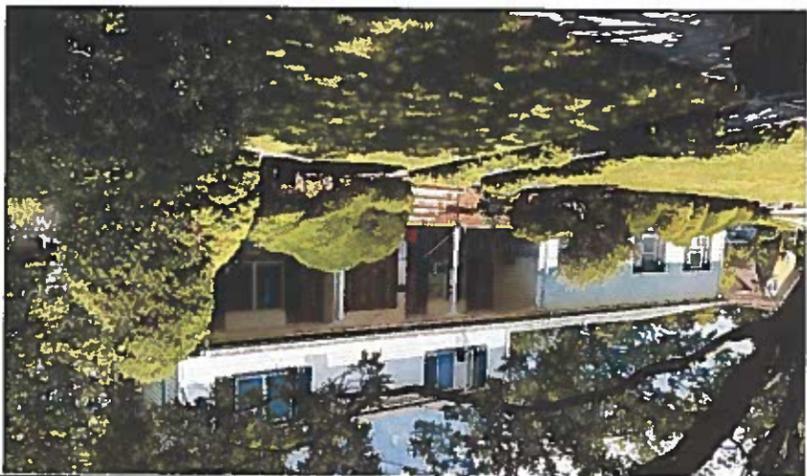


BUILDING SECTION

3-RIGHT (EAST) SIDE



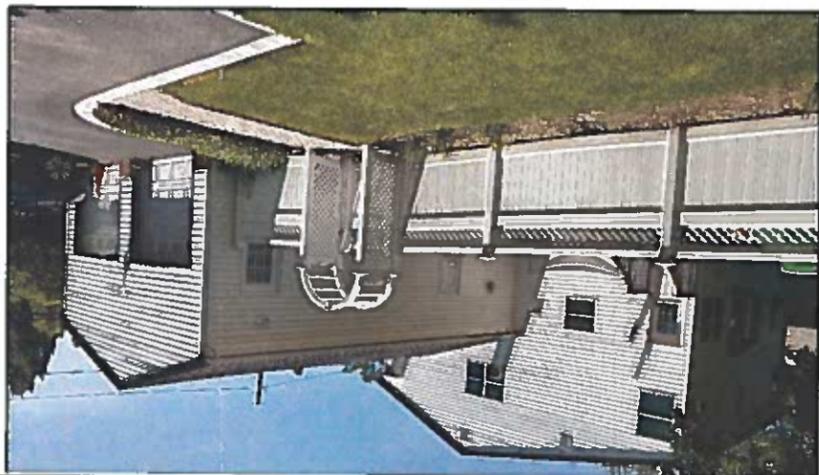
1-FRONT FACADE



4-LEFT (WEST)SIDE

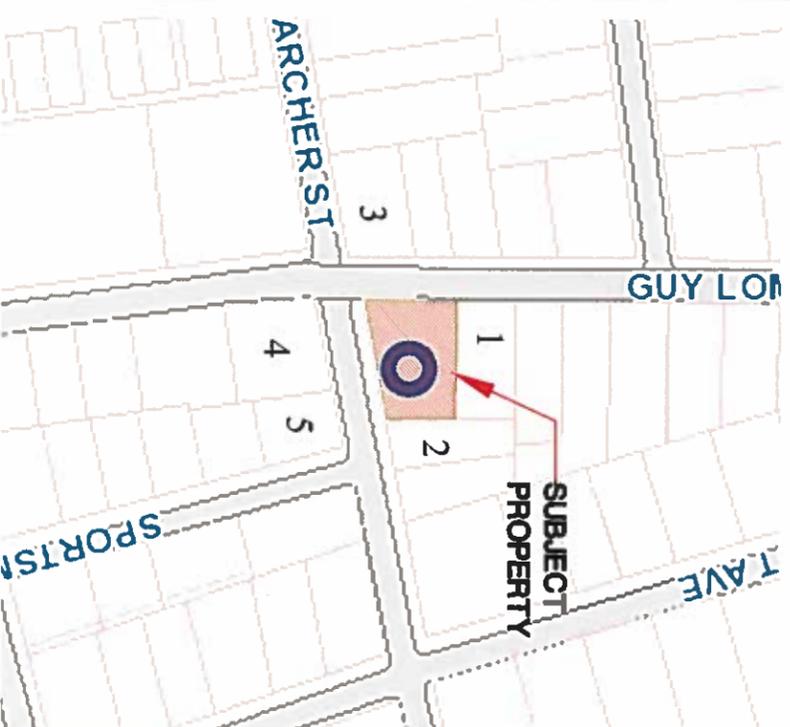


2-REAR (NORTH) SIDE



SUBJECT PROPERTY PICTURES

NEIGHBOR PROPERTIES PICTURE



1-243 GUY LOMBARDO



2-154 ARCHER STREET



3-248 GUY LOMBARDO



4-261 GUY LOMBARDO



5-2 SPORTSMAN AVENUE

Application Date: _____
Fees Paid: _____

SP# 3580

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 130 DEHNOFF AVENUE ZONING DISTRICT: R-1
SECTION 55 BLOCK 245 LOT 35 LOT SIZE: _____

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Same as Owner</u>			Name: <u>MARY BRYANT</u>
Address: _____			Address: <u>130 Dehnoff Avenue</u> <u>Freeport, New York 11520</u>
Telephone #: _____			Telephone #: <u>(516) 826-8135</u>

Attorney Name: Michael G. Zapson Address: 90 Merrick Ave., 9th Floor
(optional) Phone #: (516) 296-7053 East Meadow, NY 11554

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: Maintaining existing garage 625 Sq. Ft

I request a preliminary meeting: NO YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

Mary Bryant YES NO
APPLICANT'S SIGNATURE DATE August 10, 2022

Sworn to before me this 10th day of August, 2022.
Lauren Kowalewski
Notary Public, State of New York
No. 01K06410015
Qualified in Nassau County
Commission Expires October 13, 2024

Property Owner's Consent:
I, Mary Bryant am (are) the owner(s) of the subject property and consent to the filing of this application.
Mary Bryant August 10, 2022
PROPERTY OWNER'S SIGNATURE DATE

Sworn to before me this 10th day of August, 2022.
Lauren Kowalewski
Notary Public, State of New York
No. 01K06410015
Qualified in Nassau County
Commission Expires October 13, 2024

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved <input type="checkbox"/> Denied <input type="checkbox"/> Date: _____
Planning Board Signature: _____	Date: _____

SUBMISSION CHECKLIST

YES	NO	N/A	
_____	_____	<u>X</u>	1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only).
<u>X</u>	_____	_____	2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.
_____	_____	_____	3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:
_____	_____	_____	a. Title of drawing, including name and address of applicant.
_____	_____	_____	b. North point, scale, and date.
_____	_____	_____	c. Boundaries of the project.
_____	_____	_____	d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
_____	_____	_____	e. Floodplain boundaries as determined by the Federal Emergency Management Agency.
_____	_____	_____	f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.
_____	_____	_____	g. Location of outdoor storage and description of materials to be stored.
_____	_____	_____	h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
_____	_____	_____	i. Location and description of all proposed waterfront public access/recreation provisions.
_____	_____	_____	j. Description of sewage disposal and water supply systems and locations of such facilities.
_____	_____	_____	k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
_____	_____	_____	l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
_____	_____	_____	m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
_____	_____	_____	n. Location, design and size of all signs and lighting facilities.
_____	_____	_____	o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
_____	_____	_____	p. Building orientation and site design for energy efficiency and visual quality.
_____	_____	_____	q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
_____	_____	_____	r. Description and location of erosion control measures including proposed location of sediment sink/settling pond and interceptor swales, etc..
_____	_____	_____	s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
_____	_____	_____	t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.
_____	_____	_____	u. Estimated project construction schedule.
_____	_____	_____	v. Record of application for approval status of all necessary permits from federal, state and county officials.
_____	_____	_____	w. Identification of any federal, state or county permits required for project execution.
_____	_____	_____	x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

August 15, 2022
UPDATED SITE PLAN LETTER

Mary Bryant
130 Dehnhoff Avenue
Freeport, NY 11520

RE: 130 Dehnhoff Avenue, Freeport, NY
Zoning District – Residence A Sec. 55 Blk. 245 Lot 35
Building Permit Application #20201426
Description– Maintain a 625 sq. ft. detached garage

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,



Sergio A. Mauras
Superintendent of Buildings

/cd

Encl.

c: Village Clerk
Tortorella Architect PLLC
Michael Zapson, Attorney

ZBA Approval Needed:

Yes: X No:

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. # 20201426

Location: 130 Dehnhoff Avenue, Freeport, NY

Applicant : Mary Bryant

Description: Maintain a 625 sq. ft. detached garage

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

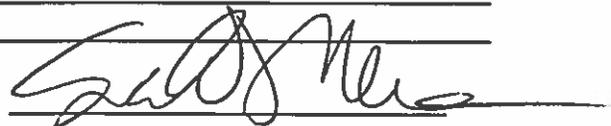
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

DATED: August 15, 2022 - Updated



Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

2020 1426

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: Mary Bryant Residence							
Project Location (describe, and attach a location map): 130 Dehnhoff Ave., Freeport, NY 11520							
Brief Description of Proposed Action: Maintain a 625 sq. ft. detached garage							
Name of Applicant or Sponsor: Mary Elizabeth Tortorella		Telephone: 516 998 6649					
Address: 44 Dock Lane		E-Mail: mtortorella7@gmail.com					
City/PO: Wantagh		State: NY	Zip Code: 11793				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;">X</td> <td></td> </tr> </table>	NO	YES	X	
NO	YES						
X							
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;">X</td> <td></td> </tr> </table>	NO	YES	X	
NO	YES						
X							
3.a. Total acreage of the site of the proposed action?		5000 SF acres					
b. Total acreage to be physically disturbed?		9.24% acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		5000 SF acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<div style="text-align: center; font-weight: bold; font-size: 1.2em; border: 1px solid black; padding: 2px;">RECEIVED</div> <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

Freeport Building Dept.
Freeport, NY

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	X		
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	X		
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
		X	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	X		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	X		
b. Are public transportation service(s) available at or near the site of the proposed action?	NO	YES	
	X		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	X		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
		X	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	X		
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: <u>natural grade</u>	NO	YES	
	X		
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	X		
b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	X		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	X		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	X		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	X		
16. Is the project site located in the 100 year flood plain?	NO	YES	
	X		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	X		

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FEB 25 2020

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	X	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Mary Elizabeth Tortorella</u> Date: <u>2-20-2020</u>		
Signature: <u>Mary Elizabeth Tortorella</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	X	
2. Will the proposed action result in a change in the use or intensity of use of land?	X	
3. Will the proposed action impair the character or quality of the existing community?	X	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	X	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	X	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	X	
7. Will the proposed action impact existing: a. public / private water supplies?	X	
b. public / private wastewater treatment utilities?	X	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

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FEB 25 2020

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	X	
11. Will the proposed action create a hazard to environmental resources or human health?	X	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency _____ Date _____

Print or Type Name of Responsible Officer in Lead Agency _____ Title of Responsible Officer _____

Signature of Responsible Officer in Lead Agency _____
Mary Elizabeth Tamborella
 Signature of Preparer (if different from Responsible Officer)

RECEIVED
 SEP 25 2020
 Freeport, NY Dept.

**INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION**

DATE: July 21, 2022

APPROVAL

Building Department Permit Application# 20201426

Chairman, regarding Application #2022-26 for the premises located at 130 Dehnhoff Avenue, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-41, and 210-43C3 seeking approval to maintain a 625 square foot detached garage.

I, Ben Jackson, move that this Board make the following findings of fact:

A public hearing was held on June 16, 2022 wherein applicant was represented by attorney Michael Zapon. He explained that the family who owns the property has lived in the house for over 50 years. In 2019 they decided to expand the existing garage but did not obtain a permit. The garage does not meet the required 5 foot rear and side yard setbacks. There has been a garage in that general location since 1949, and even then, it encroached into the side yard setback. To remove 3.75 feet and 3.08 feet from the rear and side yards would cost over \$20,000. Expanding the garage allows the homeowner to be able to park their car inside, whereas previously, they couldn't. The maximum size of a garage permitted under code is 500 sq. ft. and the garage is 625 sq. ft.

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance;
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance. It is not feasible for applicant to spend \$20,000 to move the entire garage's footprint or to decrease the size of the garage.
 - c. that the requested area variance is insubstantial;
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty may be considered to be self-created, but this factor alone is not dispositive.
2. The Board, as lead agency has determined that this action is a Type II action and under SEQRA and no further review is required.

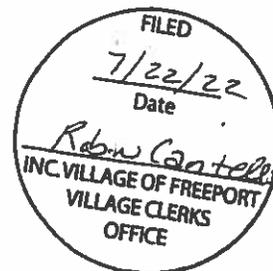
I further move that this application be granted subject to the following conditions:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.

Second by: Anthony Mineo

The Clerk polled the Board:

Deputy Carey	In Favor
Member Mineo	In Favor
Member Jackson	In Favor
Member Hawkins	Excused
Alternate Scopelitis	Excused
Alternate Pinzon	Excused
Chairperson Rhoden	Excused



Application Date: 8/25/22
Fees Paid: 225

SP# 3581

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: +215 Church Street ZONING DISTRICT Residence A
Freeport N.Y 11520
SECTION 62 BLOCK 65 LOT 41 LOT SIZE: _____

<input type="checkbox"/> TENANT	<u>APPLICANT</u>	<input type="checkbox"/> LESSEE	<u>PROPERTY OWNER</u>
Name:	<u>Same as owner</u>	Name:	<u>+ Omarjee Sahadeo</u>
Address:		Address:	<u>+215 Church Street</u> <u>Freeport N.Y 11520</u>
Telephone #:		Telephone #:	<u>+ 347-666-5399</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: Construct ^{Rear} screened patio 23' x 26.5'

I request a preliminary meeting: NO YES NO NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
✓ YES _____ NO

Omarjee Sahadeo
APPLICANT'S SIGNATURE

Sworn to before me this 24
day of AUGUST, 2022

FAIZA KIANI 08/24/2022
Notary Public State of New York
No. 01KI6279091
Qualified in Nassau County
My Commission Expires: 04/02/26

RECEIVED
2022 AUG 25 P 2:08
CLERK'S OFFICE
VILLAGE OF FREEPORT
NY

Notary Public [Signature]

Property Owner's Consent:
I, Omarjee Sahadeo am (are) the owner(s) of the subject property and consent to the filing of this application.

Omarjee Sahadeo
PROPERTY OWNER'S SIGNATURE

Sworn to before me this 24
day of AUG, 2022

Lee Biddison
Notary Public

08/24/2022
DATE
LEE BIDDISON
Notary Public, State of New York
No. 01BI6071305
Qualified in Nassau County
Commission Expires March 18, 2026



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE

FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

July 28, 2022
SITE PLAN LETTER

Omattee Sahadeo
215 Church Street
Freeport, NY 11520

RE: 215 Church Street, Freeport, NY
Zoning District – Residence A
Sec. 62 Blk. 55 Lot 41
Building Permit Application #20222773
Description– Construct a covered patio

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings

/cd
Encl.

c: Village Clerk

ZBA Approval Needed: Yes ___ No X ___

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20222773

Location: 215 Church Street, Freeport, NY

Applicant: Omattee Sahadeo

Description: Construct a covered patio

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

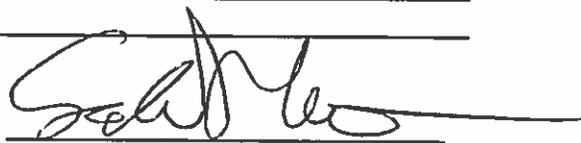
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: July 28, 2022


Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

80000773

Short Environmental Assessment Form

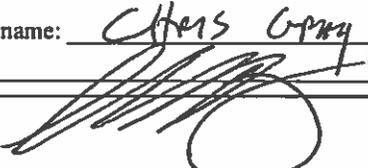
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: SANDEO RESIDENCE			
Project Location (describe, and attach a location map): 215 CHURCH ST FREEPORT, NY 11520			
Brief Description of Proposed Action: PROPOSED COVERED PATIO			
Name of Applicant or Sponsor: CHRIS GRAY ARCHITECT		Telephone: 679 4722	
		E-Mail: GRAY.AND.S@VERIZON.NET	
Address: 2401 CAROL PL			
City/PO: N BRANTFORD		State: NY	Zip Code: 11710
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		.189 acres	
b. Total acreage to be physically disturbed?		.014 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.189 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
		✓	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
			✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
		✓	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
		✓	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
		NA	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
		NA	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
		NA	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
		✓	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
		✓	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
		✓	
16. Is the project site located in the 100 year flood plain?	NO	YES	
		✓	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
		✓	
		✓	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Chris Gray</u>	Date: <u>4-29-22</u>	
Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

VILLAGE OF FREEPORT ZONING

SECTION 62
BLOCK 55
LOT 41
DISTRICT RESIDENCE A
FLOOD ZONE X
PERMITTED USE

DWELLINGS FOR NOT MORE THAN 1 FAMILY
EIGHT- ESTABLISHED GRADE TO HIGHEST
POINT

35' MAXIMUM/ 3 STORIES
14'-0" PROPOSED
21 AREA AND WIDTH
5,000 SQ FT MINIMUM
8,242 SQ FT EXISTING
50 FT MINIMUM WIDTH
40 FT EXISTING

EXISTING LOT IS NONCONFORMING

21 COVERAGE-
PRINCIPAL BUILDING 30% MAXIMUM
EXISTING DWELLING 924 SQ FT
EXISTING COVERED PORCH 136 SQ FT
EXISTING 2 STORY ADDITION 334 SQ FT
EXISTING COVERED PORTICO 40 SQ FT
PROPOSED COVERED PATIO 609 SQ FT

TOTAL 2,043 SQ FT
PROPERTY AREA 8,242 SQ FT
PROPOSED BUILDING COVERAGE= 24.8%
< 30% MAXIMUM ALLOWABLE

LOT COVERAGE EXCLUSIVE OF CHIMNEYS,
CORNICES, OPEN STEPS, DECKS < 18" ABOVE
ESTABLISHED GRADE, BASEMENT ENTRIES

LOT COVERAGE-
PRINCIPAL BUILDING & ACCESSORY BUILDINGS
40% MAXIMUM- GARAGES 500 SQ FT MAX
EXISTING DWELLING 924 SQ FT
EXISTING COVERED PORCH 136 SQ FT
EXISTING DETACHED GARAGE 387 SQ FT
EXISTING 2 STORY ADDITION 334 SQ FT
EXISTING COVERED PORTICO 40 SQ FT
PROPOSED COVERED PATIO 609 SQ FT
TOTAL 2,430 SQ FT

PROPERTY AREA 8,242 SQ FT
PROPOSED BUILDING COVERAGE= 29.8%
< 40% MAXIMUM ALLOWABLE

FRONT YARD
20' MINIMUM OR AVERAGE FRONT YARD
SETBACK WITHIN 200' ON EACH SIDE OF
PROPERTY IS 24.8, WHICH EVER IS GREATER
WITH A MAXIMUM OF 40'

REAR YARD
20' MINIMUM, NOT LESS THAN 20% OF DEPTH
OF LOT WHICH EVER IS GREATER
20% OF 206.58' = 41.3'

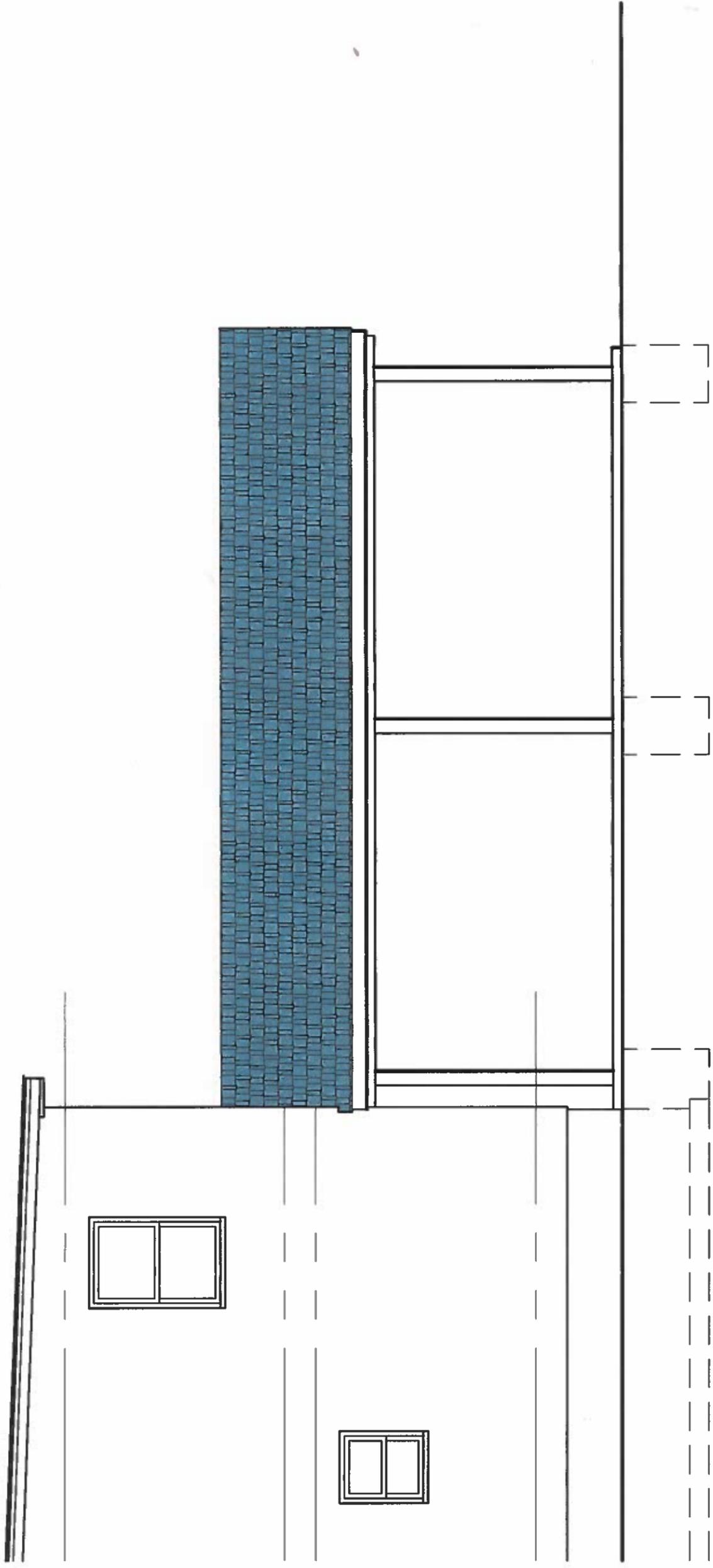
SIDE YARDS
5' MINIMUM, 25% OF LOT WIDTH TOTAL
25% OF 40' = 10' TOTAL
5.0' & 11.9' PROPOSED
PERMITTED ENCROACHMENTS

WINDOW SILLS 6', CORNICES 2', CHIMNEYS 2'
FOR A MAXIMUM LENGTH OF 10'
OFF STREET PARKING REQUIREMENTS

ONE FAMILY DWELLING 2 MINIMUM
PARKING WITHIN SIDE YARD PERMITTED
2 CARS PROVIDED

RESIDENTIAL CODE OF NYS
OCCUPANCY CLASSIFICATION
R3- ONE FAMILY DWELLING
CONSTRUCTION CLASSIFICATION
Vb- WOOD FRAME

SITE PLAN REVIEW BOARD
PUBLIC HEARING FOR NEW CONSTRUCTION,
INFORMAL HEARING FOR ADDITIONS/
ALTERATIONS



RIGHT SIDE ELEVATION

1/4"=1'-0"

EXTERIOR FINISHES

ROOF SHINGLES

FASCIA TRIM

GUTTERS & LEADERS

ARCHITECTURAL ASPHALT

WOOD

ALUMINUM

BISCAYNE BLUE

WHITE

WHITE



GRAY ARCHITECTURAL SERVICES, P.C.

2401 CAPRI PL. N. BELLMORE, N.Y. 11710

516 679-4722 FAX 516 679-2698

grayarchserv@verizon.net

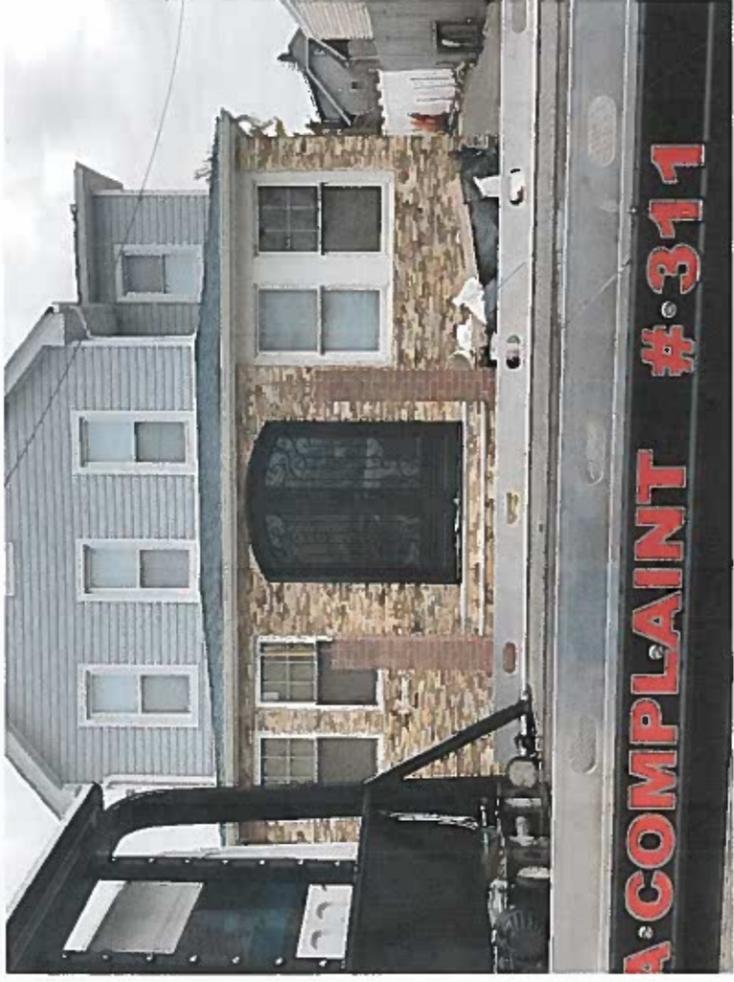
SAHADEO RESIDENCE
215 CHURCH ST
FREEPORT, NY 11520

RENDERING

8-18-22



LEFT SIDE/ FRONT



FRONT



RIGHT SIDE/ REAR



REAR/ LEFT SIDE



GRAY ARCHITECTURAL SERVICES, P.C.
2401 CAPRI PL. N. BELLMORE, N.Y. 11710
516 679-4722 FAX 516 679-2698
grayarchserv@verizon.net

SAHADEO RESIDENCE
215 CHURCH ST
FREEPORT, NY 11520

PHOTOS

1

8-18-22



213 CHURCH- NORTH SIDE



217 CHURCH- SOUTH SIDE



214 CHURCH- NORTH ACROSS



218 CHURCH- SOUTH ACROSS



GRAY ARCHITECTURAL
SERVICES, P.C.
2401 CAPRI PL. N. BELLMORE, N.Y. 11710
516 679-4722 FAX 516 679-2698
grayarchserv@verizon.net

SAHADEO RESIDENCE
215 CHURCH ST
FREEPORT, NY 11520

PHOTOS

2

8-18-22

Application Date: _____
Fees Paid: _____

SP# 3582

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 210 GORDON PI Freeport NY 11520 ZONING DISTRICT Residence A
SECTION 62 BLOCK 92 LOT 333 LOT SIZE: _____

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Same as ow-req.</u>	Name: <u>CROSS ROADS AXIS REALTY</u>
Address: _____	Address: <u>24 Prospect Av E Rockaway NY 11518</u>
Telephone #: _____	Telephone #: <u>347 589-3128</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: Maintain a 24.6' x 12' second story rear deck & a 24.6' x 12' third story rear deck.

I request a preliminary meeting: ___ YES NO

- I request a waiver of the public hearing and hereby certify the following:
- A. The subject property is zoned Residence A or Residence AA.
 - B. The proposed construction is not a new building or dwelling.
 - C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
- ___ YES NO

[Signature]
 APPLICANT'S SIGNATURE
 Sworn to before me this 29th
 day of August, 2022
[Signature]
 Notary Public
 My Commission Expires 04-17-2026

08/29/22
 DATE
 MARGARET LOMONACO
 NOTARY PUBLIC-STATE OF NEW YORK
 No. 01LO8143735
 Qualified in Nassau County

Property Owner's Consent: Branco Squa
1, Cross Roads Axis Realty (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
 PROPERTY OWNER'S SIGNATURE
 Sworn to before me this 29th
 day of August, 2022
[Signature]
 Notary Public
 My Commission Expires 04-17-2026

08/29/22
 DATE
 MARGARET LOMONACO
 NOTARY PUBLIC-STATE OF NEW YORK
 No. 01LO8143735
 Qualified in Nassau County

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: ___ YES ___ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

RECEIVED

AUG 29 2022

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

August 23, 2022
SITE PLAN LETTER

Crossroads Axis Realty
24 Prospect Avenue
East Rockaway, NY 11518

RE: 210 Gordon Place, Freeport, NY
Zoning District: Residence A Sec 62 Blk 92 Lot 333
Building Permit Application #202222931
Description: Maintain a 24.6'x12' second story rear deck & a 24.6'x12' third story rear deck

Dear Sir/Madam:

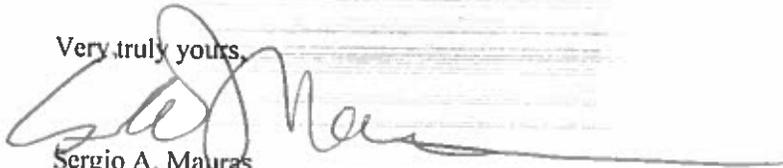
The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and ~~the Building Permit Application in conjunction with same will be cancelled.~~ Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,



Sergio A. Mauras
Superintendent of Buildings
/cd
Encl.

RECEIVED
AUG 29 2022
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

c: Village Clerk
Thomas Domanico, R.A.

ZBA Approval Needed: Yes No

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20222931

Location: 210 Gordon Place, Freeport, NY

Applicant: Crossroads Axis Realty

Description: Maintain a 24.6'x12' second story rear deck and a 24,6x12' third story rear deck

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

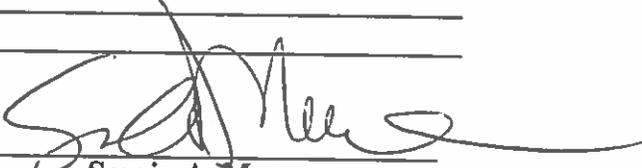
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: August 23, 2022


Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

20222931
K. Lee

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
CROSSROADS AXIS REALTY			
Name of Action or Project: 24 PROSPECT AV E. ROCKAWAY NY 11578			
Project Location (describe, and attach a location map): 210 GORDON PI FREEPORT NY 11520			
Brief Description of Proposed Action: maintain Rear DECKS.			
Name of Applicant or Sponsor: CROSSROADS AXIS REALTY		Telephone: 347 589-3128	
Address: 24 PROSPECT AV E ROCKAWAY		E-Mail: braulioSiguera@gmail.com	
City/PO: NY 11518	State: NY	Zip Code: 11518	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			✓
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES
3.a. Total acreage of the site of the proposed action?			295.92 acres
b. Total acreage to be physically disturbed?			_____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			_____ acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
			✓
b. Consistent with the adopted comprehensive plan?			
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	✓		
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	✓		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	✓		
b. Are public transportation service(s) available at or near the site of the proposed action?			
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
		✓	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	✓		
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	✓		
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	✓		
b. Is the proposed action located in an archeological sensitive area?			
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	✓		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	✓		
16. Is the project site located in the 100 year flood plain?	NO	YES	
	✓		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	✓		
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>CROSSROADS AXIS PARTY</u> Date: <u>07/29/22</u> Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

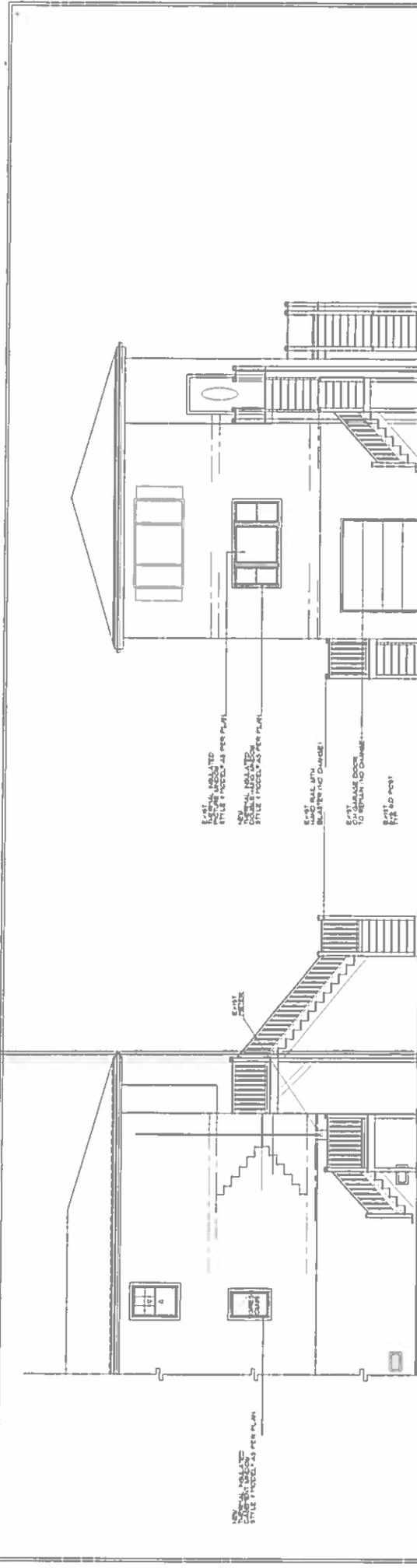
Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)



Rev	Date	Description

PROJECT

ALTERATION
 210 GORDON PLACE
 FREEPORT,
 NEW YORK 11520

CLIENT

210 GORDON PLACE
 FREEPORT,
 NEW YORK 11520

ELEVATION'S

Proj. Arch. TYP. QUANTITY TYP.
 Date: 08.13.12 Drawn By: TD
 Scale: AS NOTED
 Project: 11-0273-1-14
 Sheet No.

A-3

EAST ELEVATION (FRONT)
 SCALE 1/8" = 1'-0"

PARTIAL SOUTH ELEVATION (SIDE)
 SCALE 1/8" = 1'-0"

SECTION A-A
 SCALE 1/8" = 1'-0"

WEST ELEVATION (REAR)
 SCALE 1/8" = 1'-0"

PARTIAL NORTH ELEVATION (SIDE)
 SCALE 1/8" = 1'-0"



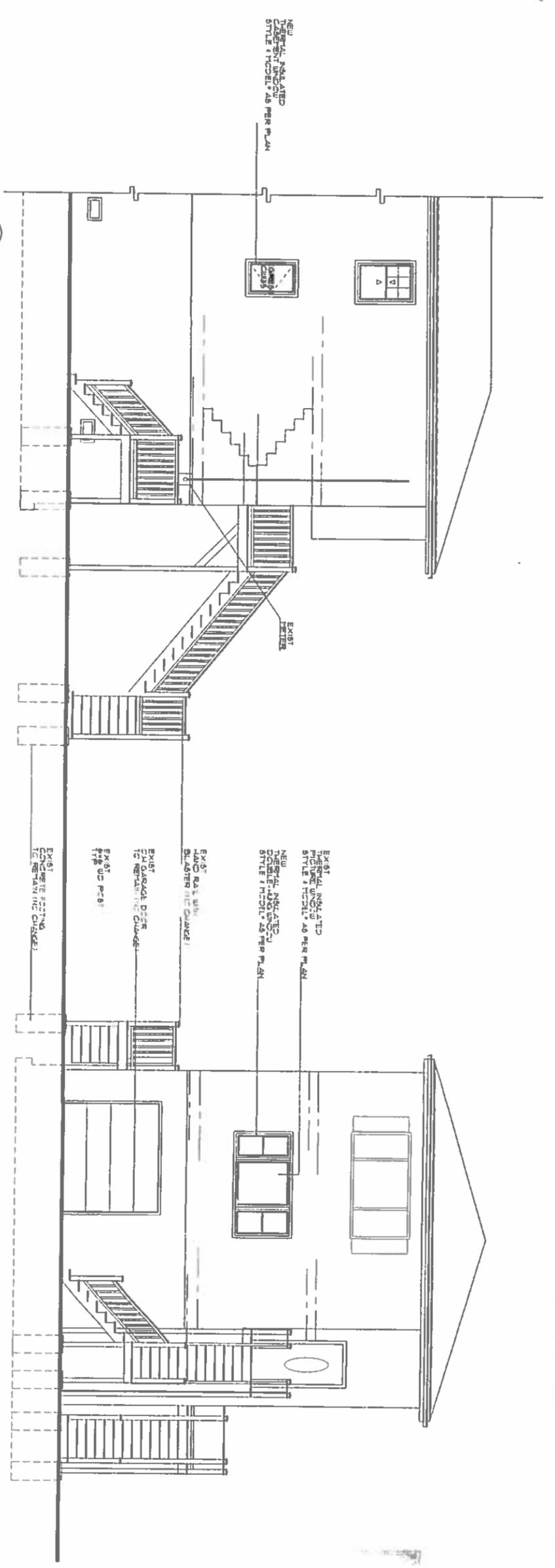




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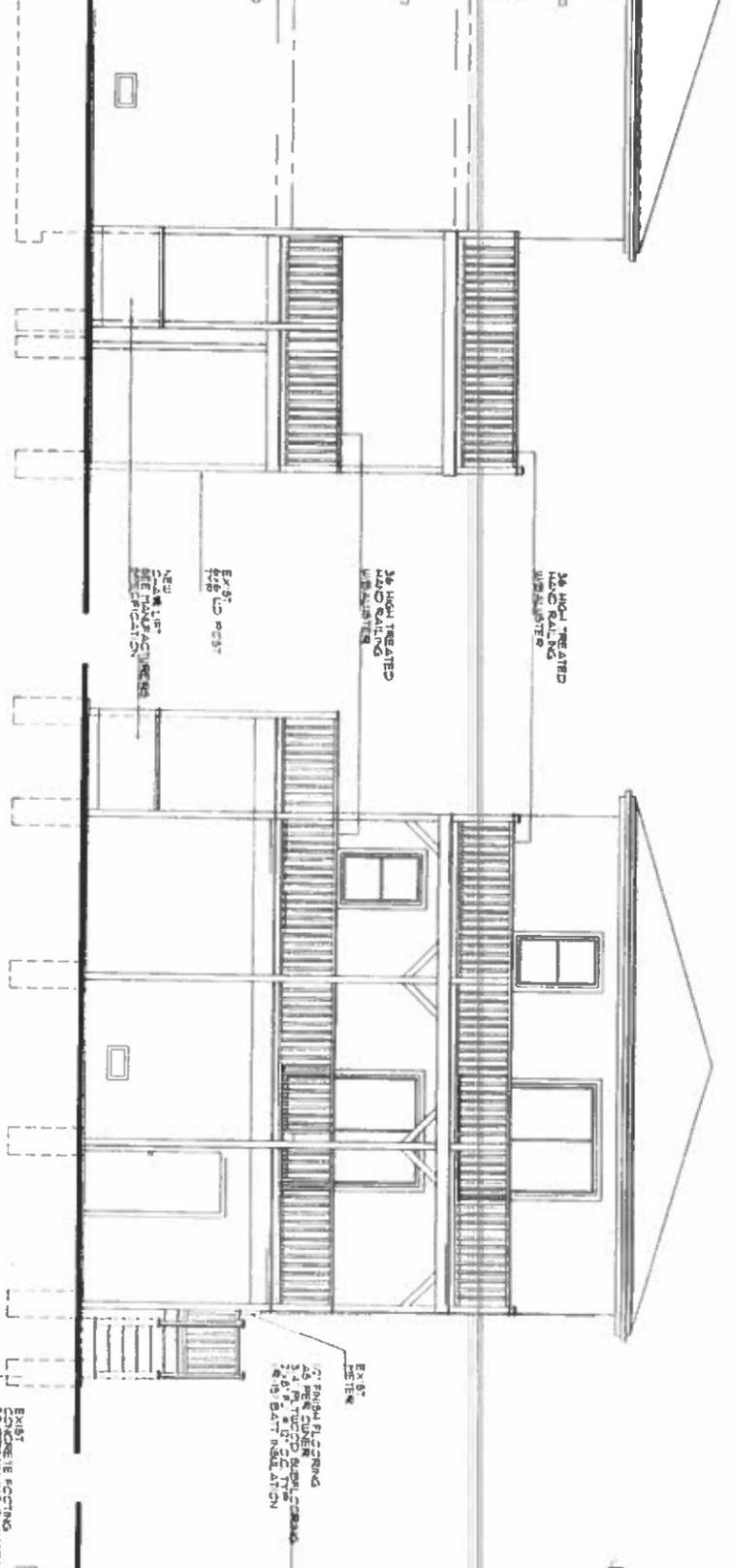
AUG 29 2022

CLERK S OFFICE
VILLAGE OF FREEPORT, NY

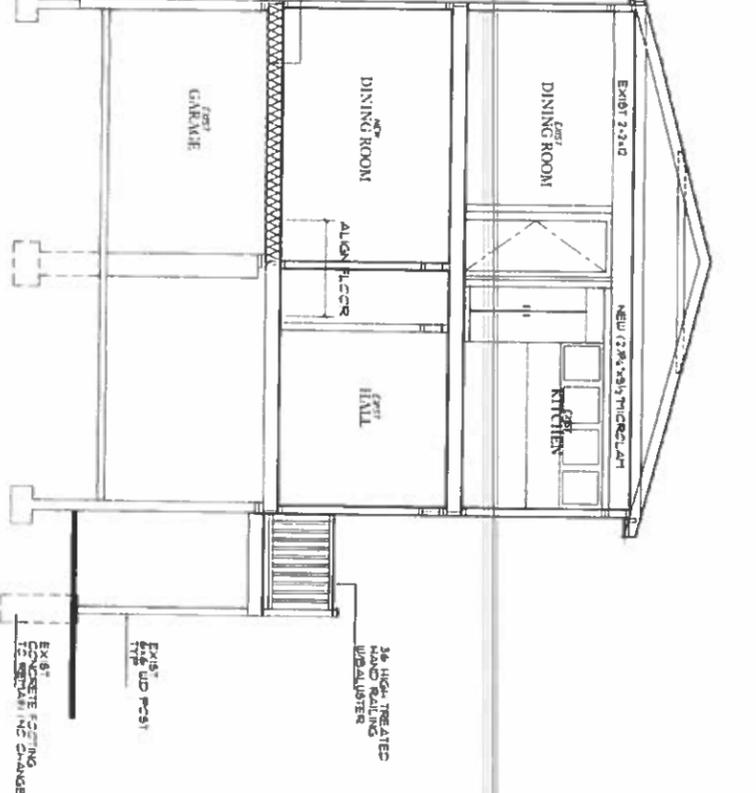


PARTIAL SOUTH ELEVATION
(SIDE)
SCALE 1/8" = 1'-0"

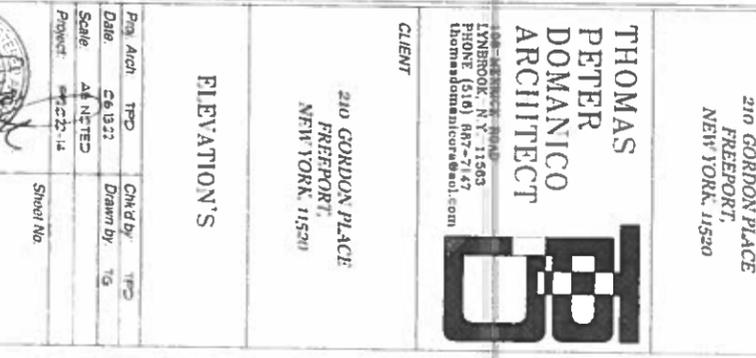
EAST ELEVATION
(FRONT)
SCALE 1/8" = 1'-0"



PARTIAL NORTH ELEVATION
(SIDE)
SCALE 1/8" = 1'-0"



WEST ELEVATION
(REAR)
SCALE 1/8" = 1'-0"



SECTION A-A
SCALE 1/8" = 1'-0"

Rev	Date	Description

PROJECT
ALTERATION
210 GORDON PLACE
FREEPORT,
NEW YORK, 11530

THOMAS
PETER
DOMANICO
ARCHITECT

100 WENDELL ROAD
LYNBROOK, N.Y. 11563
PHONE (516) 887-7147
thomasdomanico@aol.com

CLIENT
210 GORDON PLACE
FREEPORT,
NEW YORK, 11530

ELEVATION'S

Proj. Arch.	TRD	CHK'd by	TRD
Date	06.13.22	Drawn by	TG
Scale	AS NOTED		
Project	14-222-14	Sheet No.	

Professional seal and signature area for the architect, including the text 'A-3'.

Application Date: _____
Fees Paid: _____

SP# 3583

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 187 Westside Ave. ZONING DISTRICT RES A
SECTION 62 BLOCK 034 LOT 126 LOT SIZE: 50 X 155

<input type="checkbox"/> TENANT APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>OWNER</u>		Name: <u>Martin Bender</u>
Address: _____		Address: <u>187 Westside Ave</u> <u>Freeport, NY 11520</u>
Telephone #: _____		Telephone #: <u>(914) 557-6015</u>

ARCHITECT
Attorney Name: RUSSELL JORDAN Address: 44 CASINO ST
(optional) Phone #: 516 241 5969 FREEPORT, NY 11520

Present Land Use: SINGLE FAMILY Proposed Land Use: SINGLE FAMILY

Description of Proposed Work: Roof over existing deck in backyard

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied. YES NO

Mart Bender
APPLICANT'S SIGNATURE

8/25/22
DATE

Sworn to before me this 25
day of August, 2022
Marcia Carrasquillo
Notary Public

Marcia Carrasquillo
Notary Public State of New York
No. 01CA812864
Qualified in Nassau County
Commission Expires April, 2025

2022 AUG 31 A 10:59
RECEIVED
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Property Owner's Consent: I, _____ am (are) the owner(s) of the subject property and consent to the filing of this application.

Mart Bender
PROPERTY OWNER'S SIGNATURE

8-25-22
DATE

Sworn to before me this 25
day of August, 2022
Marcia Carrasquillo
Notary Public

Marcia Carrasquillo
Notary Public State of New York
No. 01CA812864
Qualified in Nassau County
Commission Expires April, 2025

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

SUBMISSION CHECKLIST

YES	NO	N/A	
_____	_____	_____	1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only).
_____	_____	_____	2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.
_____	_____	_____	3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:
_____	_____	_____	a. Title of drawing, including name and address of applicant.
_____	_____	_____	b. North point, scale, and date.
_____	_____	_____	c. Boundaries of the project.
_____	_____	_____	d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
_____	_____	_____	e. Floodplain boundaries as determined by the Federal Emergency Management Agency.
_____	_____	_____	f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.
_____	_____	_____	g. Location of outdoor storage and description of materials to be stored.
_____	_____	_____	h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
_____	_____	_____	i. Location and description of all proposed waterfront public access/recreation provisions.
_____	_____	_____	j. Description of sewage disposal and water supply systems and locations of such facilities.
_____	_____	_____	k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
_____	_____	_____	l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
_____	_____	_____	m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
_____	_____	_____	n. Location, design and size of all signs and lighting facilities.
_____	_____	_____	o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
_____	_____	_____	p. Building orientation and site design for energy efficiency and visual quality.
_____	_____	_____	q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
_____	_____	_____	r. Description and location of erosion control measures including proposed location of sediment sink/settling pond and interceptor swales, etc.
_____	_____	_____	s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
_____	_____	_____	t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.
_____	_____	_____	u. Estimated project construction schedule.
_____	_____	_____	v. Record of application for approval status of all necessary permits from federal, state and county officials.
_____	_____	_____	w. Identification of any federal, state or county permits required for project execution.
_____	_____	_____	x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

July 28, 2022
SITE PLAN LETTER

Martin Bender
187 Westside Avenue
Freeport, NY 11520

RE: 187 Westside Avenue Freeport, NY
Zoning District – Residence A
Sec. 62 Blk. 34 Lot 126
Building Permit Application #20222753
Description– Construct roof over existing 408 sq. ft. deck

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings

/cd
Encl.

c: Village Clerk
Russell Jordan, R.A.

ZBA Approval Needed: Yes ___ No X

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

 The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20222753

Location: 187 Westside Avenue, Freeport, NY

Applicant: Martin Bender

Description: Construct a covered patio

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: July 28, 2022



Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

2022 753

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: BENDER RESIDENCE			
Project Location (describe, and attach a location map): 187 WESTSIDE AVE, FREEPORT, NY 11520			
Brief Description of Proposed Action: BUILD ROOF OVER EXISTING AOB # DECK			
Name of Applicant or Sponsor: RUSSELL JORDAN		Telephone: 516-241-5969	
Address: 44 CASINO ST.		E-Mail:	
City/PO: FREEPORT		State: NY	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: FREEPORT BUILDING PERMIT			NO YES
3.a. Total acreage of the site of the proposed action?		0.176 acres	
b. Total acreage to be physically disturbed?		0.009 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.176 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		X	
b. Consistent with the adopted comprehensive plan?			X
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?			X
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____			X
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		X	
b. Are public transportation service(s) available at or near the site of the proposed action?		X	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			X
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____			X
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____			X
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____			X
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		X	
b. Is the proposed action located in an archeological sensitive area?		X	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?			X
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		X	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		X	
16. Is the project site located in the 100 year flood plain?			X
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES		X	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	X	

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: RUSSELL C. JORDAN

Date: 4/18/2022

Signature: 

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____ Name of Lead Agency	_____ Date
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from Responsible Officer)



FRONT 187 WESTSIDE (WEST SIDE)



SOUTH SIDE 187 WESTSIDE



NORTH SIDE 187 WESTSIDE



REAR (EAST SIDE) 187 WESTSIDE



NORTHSIDE 187 WESTSIDE



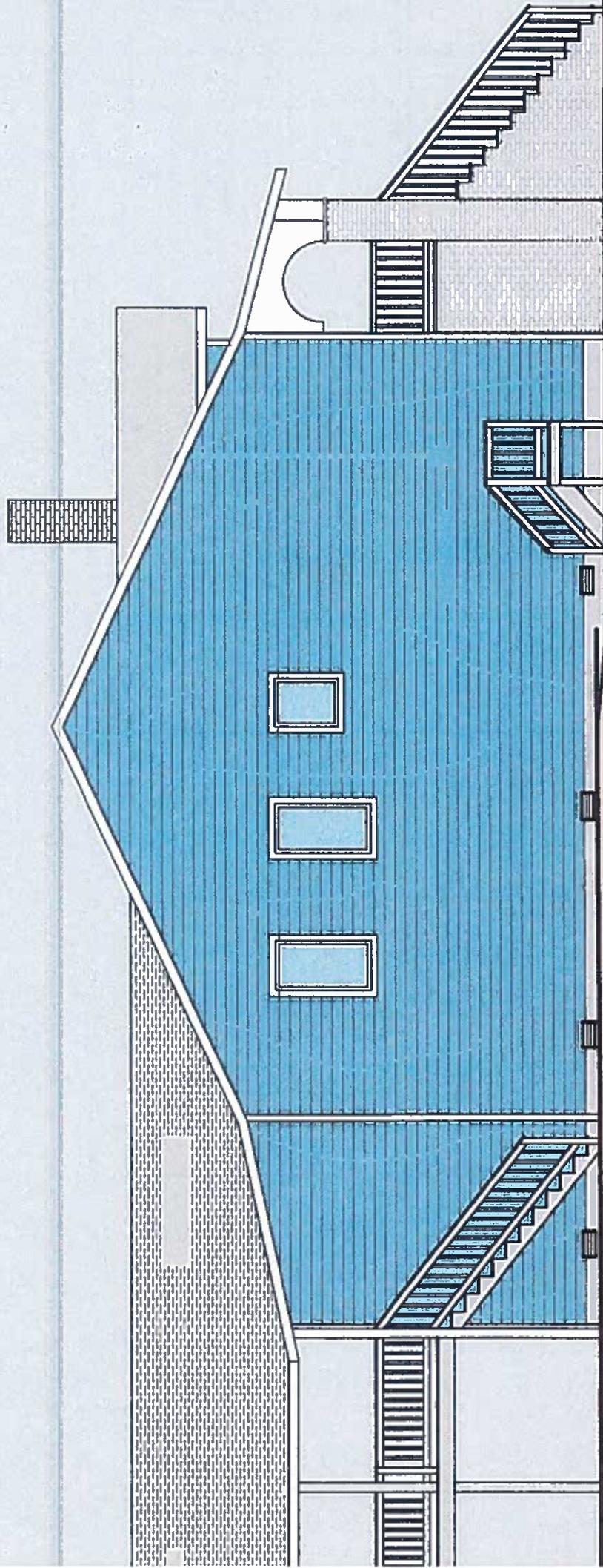
House to North of 187 Westside



House to South of 187 Westside

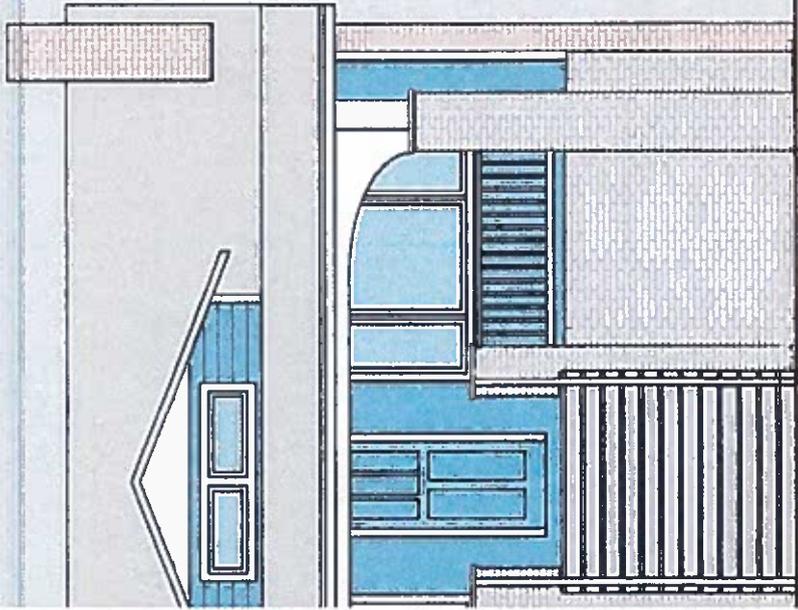


House across the street from 187 Westside

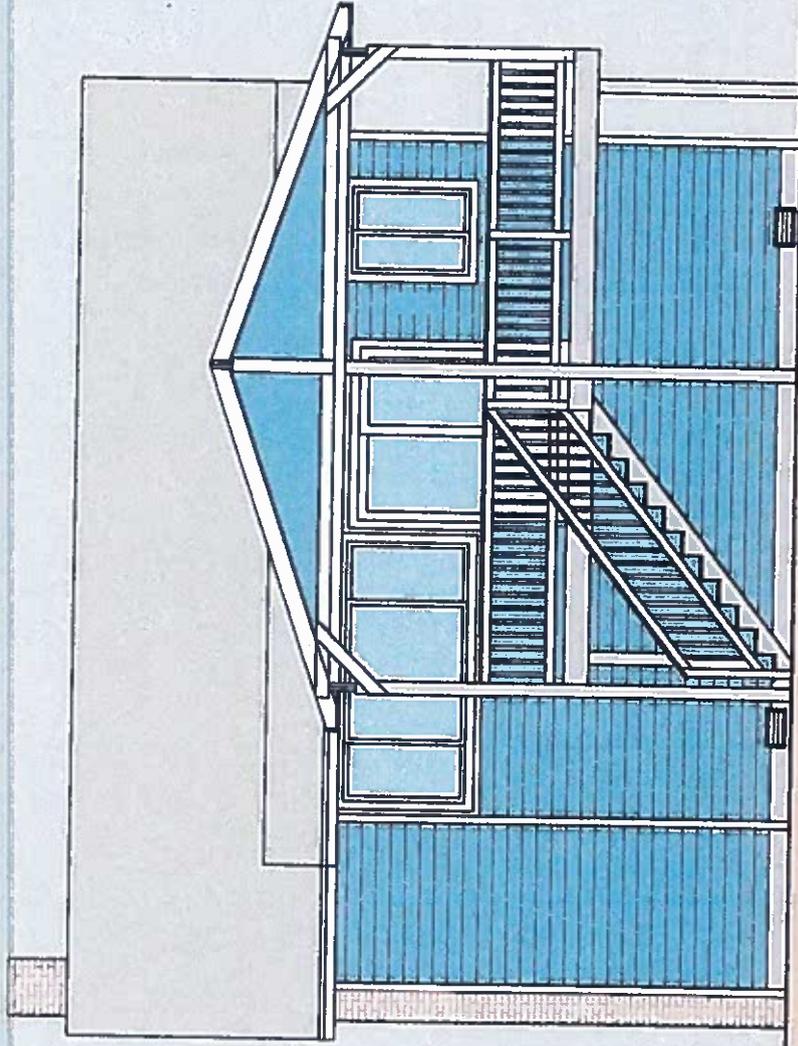


. North Elevation

Russell C. Jordan Architect
44 Casino Street
Freeport, NY 11520
8-29-2022

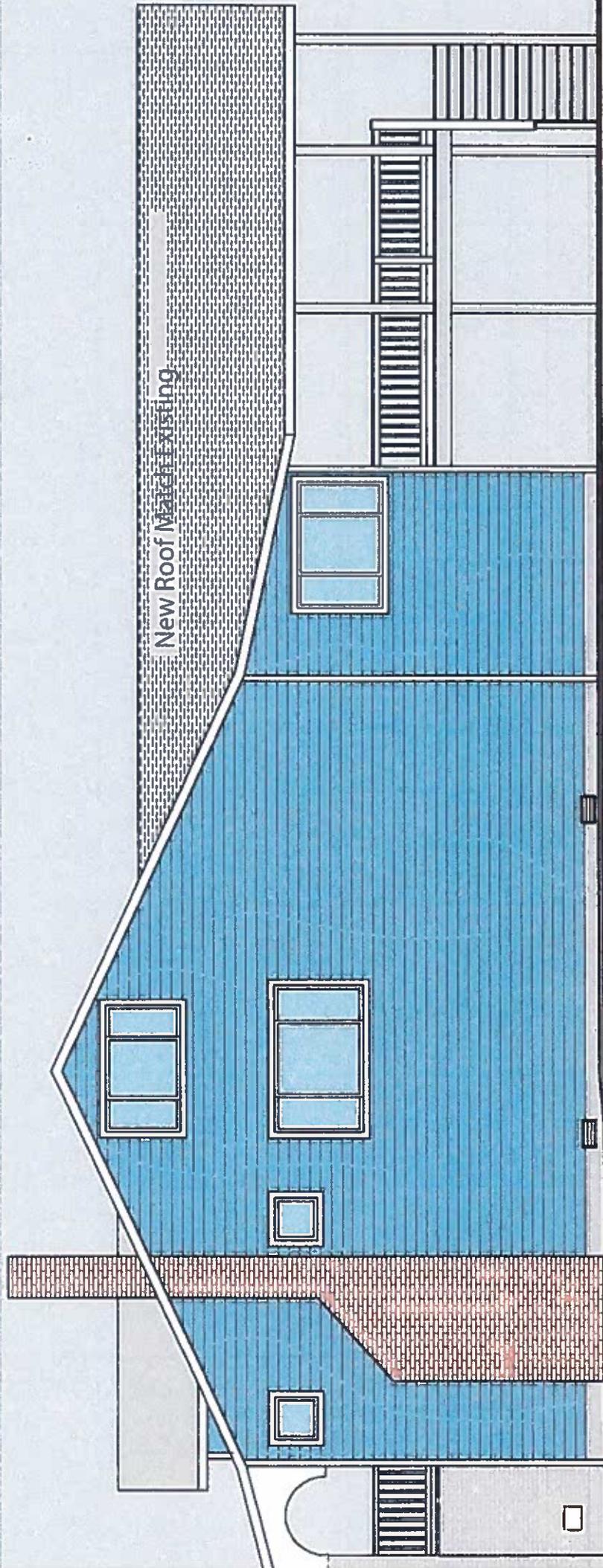


Front (West) Elevation



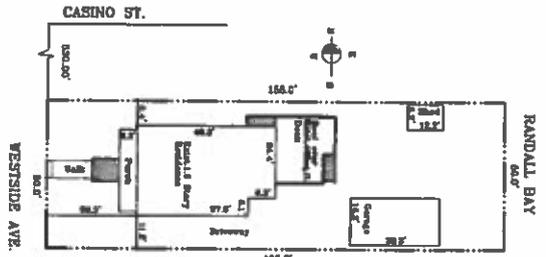
Rear (East) Elevation

Russell C. Jordan Architect
44 Casino Street
Freeport, NY 11520
8-29-2022



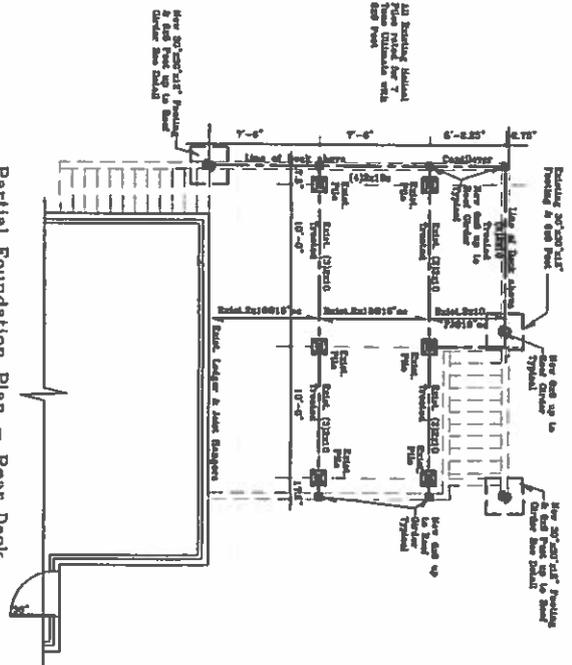
Russell C. Jordan Architect
44 Casino Street
Freeport, NY 11520
8-29-2022

South Elevation

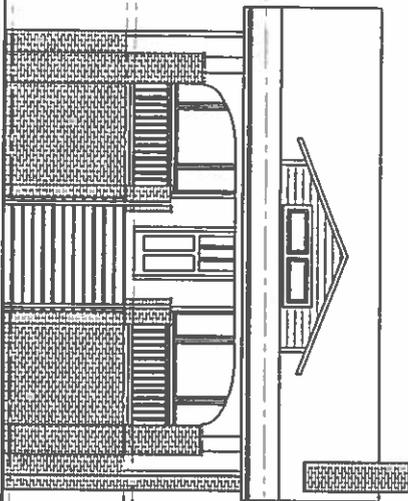
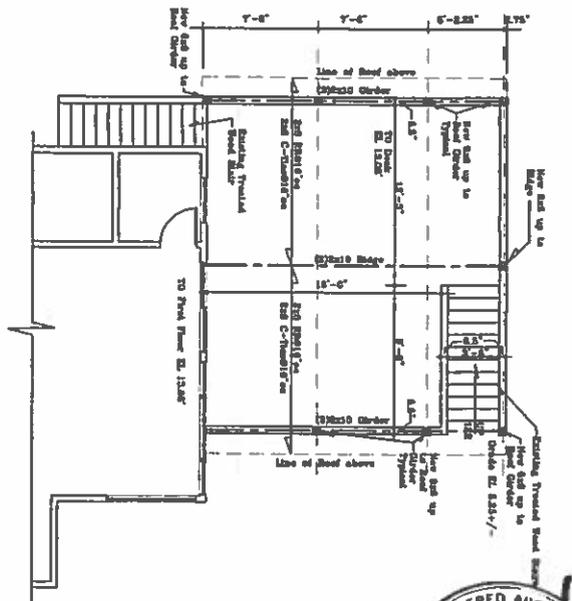


SITE PLAN
Scale: 1/4" = 1'-0"

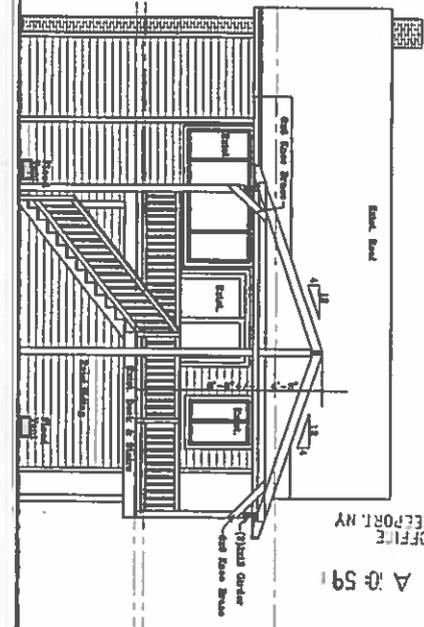
Partial Foundation Plan - Rear Deck
Scale: 1/4" = 1'-0"



Partial Plan - Rear Deck
Scale: 1/4" = 1'-0"



West Elevation
Scale: 1/4" = 1'-0"



East Elevation
Scale: 1/4" = 1'-0"

RECEIVED
2022 AUG 31 A 10:59
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Bender Residence
187 Westside Avenue, Freeport, NY 11520

Proposed Roof over Exist. Rear Deck
Proposed Floor Plans, Site Plan, East & West Elevations

Russell C. Jordan Architect
44 Casino Street, Freeport, New York 11520
Phone: 516-961-6000
E-mail: Russ@rcjarch.com



A-1.00

Application Date: _____
Fees Paid: _____

SP# 3584

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 26 Graffing Place, Freeport, NY ZONING DISTRICT Residence A
SECTION 55 BLOCK 233 LOT 125 LOT SIZE: _____

Make 11 Copies

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Same as owner</u>		Name: <u>Lucinda Akinya</u>	
Address: _____		Address: <u>26 Graffing Place, Freeport NY 11520</u>	
Telephone #: _____		Telephone #: <u>646-265-2716</u>	

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Residential - Single Family detached housing unit
Proposed Land Use: Residential - Single Family detached housing unit

Description of Proposed Work: 515 Sq. Ft One-Story addition, 11 Sq. Ft wood stair and deck, 288 Sq. Ft 2nd Floor addition and 175 Sq. Ft Second Floor roof deck.

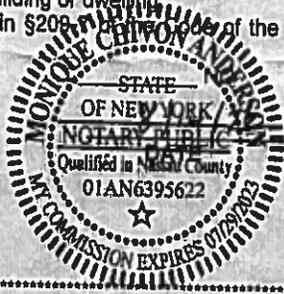
I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §208 of the Code of the Incorporated Village of Freeport are satisfied YES

Akinya
APPLICANT'S SIGNATURE

Sworn to before me this 14 day of August, 2022

Peggy M. Lester
Notary Public



Property Owner's Consent: Lucinda Akinya am (are) the owner(s) of the subject property and consent to the filing of this application.

L. Akinya
PROPERTY OWNER'S SIGNATURE
DATE 8/15/22

Sworn to before me this 15TH day of AUGUST, 2022
Peggy M. Lester
Notary Public
PEGGY M. LESTER
Notary Public, State of New York
No. 01LE6293122
Qualified in Nassau County
Commission Expires Nov. 25, 2025

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: <u>2022 AUG 31 12:45</u>
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE

FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

August 29, 2022
AMENDED SITE PLAN LETTER

Lucinda Seonghae
26 Graffing Place
Freeport, NY 11520

RE: 26 Graffing Place, Freeport, NY
Zoning District – Residence A
Sec. 55 Blk. 233 Lot 125
Building Permit Application #20222864
Description– Proposed 515 sq. ft. one-story addition, 11 sq. ft. wood stair & deck,
383 sq. ft. 2nd floor addition and 175 sq. ft. second floor roof deck

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,


Sergio A. Mauras
Superintendent of Buildings

/cd

Encl.

c: Village Clerk
Giovanni Sodano, R.A.

ZBA Approval Needed: Yes ___ No X

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20222864

Location: 26 Graffing Place, Freeport, NY

Applicant: Lucinda Seonghae

Description: Proposed 515 sq. ft. one-story addition, 11 sq. ft. wood stair & deck, a 383 sq. ft. second floor addition and a 175 sq. ft. second floor roof deck

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

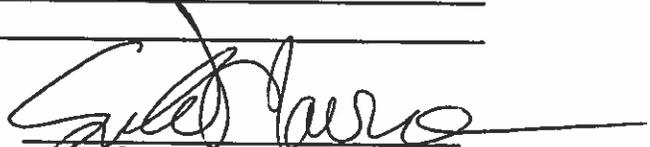
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: August 29, 2022


Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <u>AKinya residence</u>			
Project Location (describe, and attach a location map): <u>26 Graffing PL, Freeport, NY</u>			
Brief Description of Proposed Action: <u>Prop. 515 sq ft One-story addition, 11 sq ft wood stair and deck, 385 sq ft 2nd floor addition and 175 sq ft second floor roof deck.</u>			
Name of Applicant or Sponsor: <u>Lucinda AKinya & Giovanni Sodano, Jr, RA</u>		Telephone: <u>631-400-9173</u>	
		E-Mail: <u>Sodanora@optimum.net</u>	
Address: <u>356 Main St</u>			
City/PO: <u>Center Moriches, NY. 11934</u>		State: <u>NY</u>	Zip Code: <u>11520</u>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES
			X
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES
			X
3.a. Total acreage of the site of the proposed action?		<u>.15</u> acres	
b. Total acreage to be physically disturbed?		<u>.012</u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>0</u> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		X	
b. Consistent with the adopted comprehensive plan?		X	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?			X
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____			X
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		X	
b. Are public transportation service(s) available at or near the site of the proposed action?			X
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			X
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____			X
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____		X	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____			X
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		X	
b. Is the proposed action located in an archeological sensitive area?		X	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		X	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		X	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		X	
16. Is the project site located in the 100 year flood plain?		X	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES		X	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	X	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Lucinda Akinya</u>	Date: <u>8/15/22</u>	
Signature: <u>L. Akinya</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	X	
2. Will the proposed action result in a change in the use or intensity of use of land?	X	
3. Will the proposed action impair the character or quality of the existing community?	X	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	X	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	X	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	X	
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	X X	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	X	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	X	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	X	
11. Will the proposed action create a hazard to environmental resources or human health?	X	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

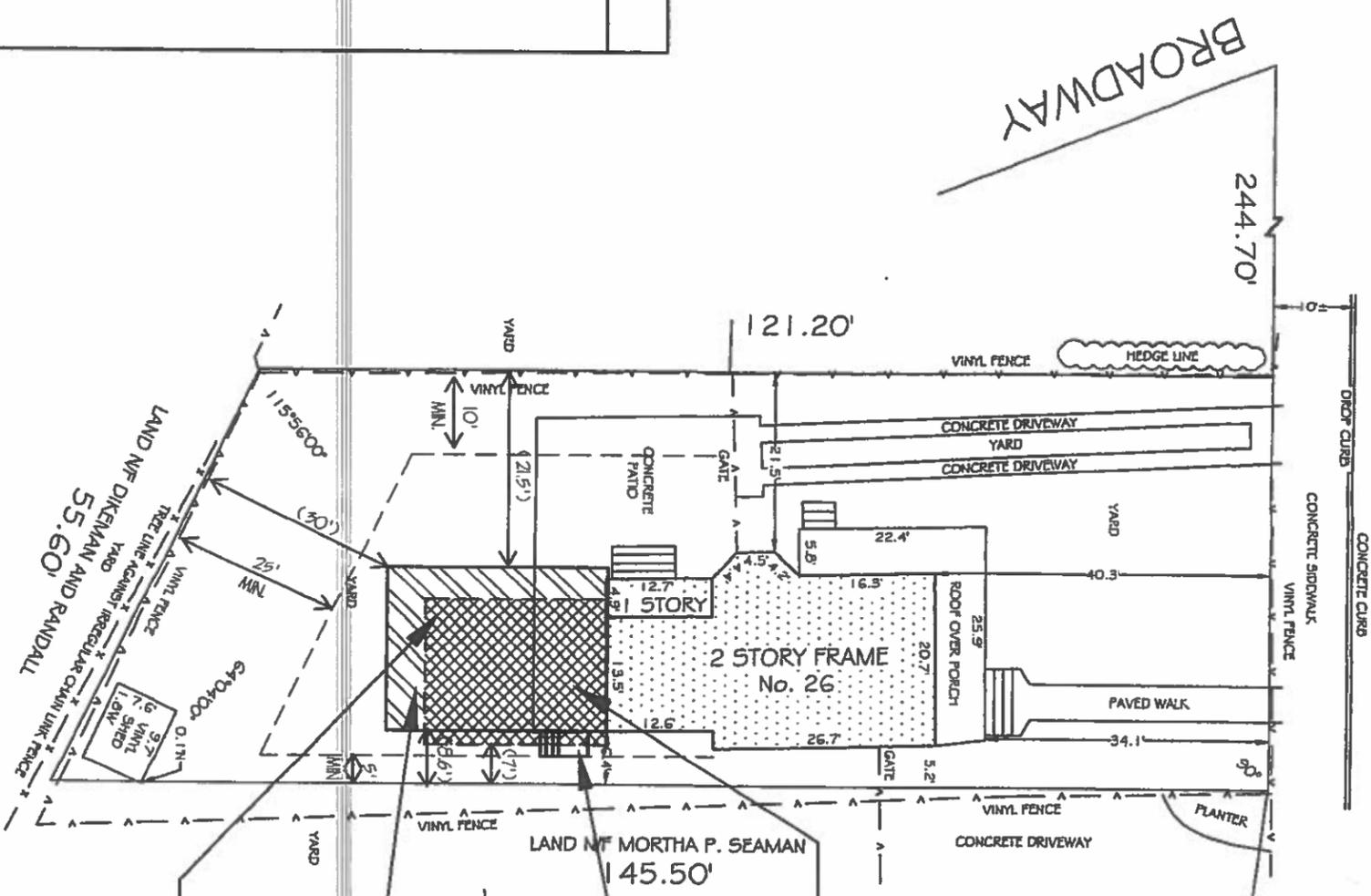
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



PhotoGrid



PERSHING (GRAFFING PLACE) PLACE
50.00'



- PROPOSED 2ND FLOOR ADDITION
- PROPOSED WOOD STAIR & DECK
- PROPOSED 2ND FLOOR ROOF DECK
- PROPOSED ONE STORY ADDITION

SQUARE FOOTAGES

LOT SIZE = 6,667.3 SF.

EXISTING BASEMENT = 810 SF

EXISTING 1ST FLOOR = 810 SF

EXISTING COVERED PORCH = 256 SF

EXISTING 2ND FLOOR = 747 SF

PROPOSED FIRST FLOOR = 515 SF

PROPOSED 1ST FLOOR STAIR/DECK = 11 SF

PROPOSED 2ND STORY = 383 SF

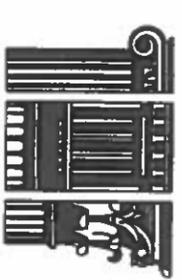
PROPOSED 2ND FLOOR ROOF DECK = 175 SF

FAR = 42.3% < 50%

LOT COVERAGE = 24% < 40%

PLOT PLAN

SCALE: 1" = 30'-0"



SODANO ARCHITECTURE, PLLC

366 Main Street
Center Moriches, N.Y. 11934
Phone: (631) 400-9173

THESE PLANS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED.

NO PORTION OF THIS PLAN MAY BE COPIED ASSIMILATED INTO OTHER DOCUMENTS WITHOUT THE EXPRESS PERMISSION OF THE PRINCIPALS OF SODANO ARCHITECTURE. VIOLATORS OF THIS ORDER WILL BE PROSECUTED TO THE FULL EXTENT OF THE COPYRIGHT LAWS HAVING JURISDICTION.

GENERAL CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT PREMISES. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK.

DRAWING DISTRIBUTION

NO.	DATE	DESCRIPTION
	8-8-22	

PROJECT:

PROPOSED ADDITION FOR:
SEONGBAE RESIDENCE
26 GRAFFING PLACE
FREEPORT, NY

DRAWING TITLE:

PLOT PLAN

SEAL & SIGNATURE

DRAWN BY: JSJ

CHECKED BY: GSJ

SCALE: AS SHOWN

DATE: 8-8-22

DRAWING NO:

C-100.00

PROJECT NO:

2146NY



Application Date: 8/19/22
Fees Paid: _____

SP# 3585

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 446 Southside Ave ZONING DISTRICT Residence A
SECTION 54 BLOCK 308 LOT 169 LOT SIZE: 5120 Sq.

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Same as owner.</u>	Name: <u>Julian A. Herrera</u>
Address: _____	Address: <u>446 Southside Ave</u> <u>Freeport NY 11520</u>
Telephone #: _____	Telephone #: <u>516-501-3632</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: Widen driveway and paved
walkway

I request a preliminary meeting: ___ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied. YES _____ NO

Julian A. Herrera
APPLICANT'S SIGNATURE
Sworn to before me this 18th
day of August, 2022.
Donna M. Barr
Notary Public

08/18/2022
DONNA M. BARR
NOTARY PUBLIC
STATE OF NEW YORK
NO. 02BA6051674
QUALIFIED IN NASSAU COUNTY
COMMISSION EXPIRES 12/31/2022

Property Owner's Consent:
I, Julian A. Herrera am (are) the owner(s) of the subject property and consent to the filing of this application.

Julian A. Herrera
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 18th
day of August, 2022.
Donna M. Barr
Notary Public

08/18/2022
DONNA M. BARR
NOTARY PUBLIC
STATE OF NEW YORK
NO. 02BA6051674
QUALIFIED IN NASSAU COUNTY
COMMISSION EXPIRES 12/31/2022

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: ___ YES ___ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

SUBMISSION CHECKLIST

YES NO N/A

- | | | | | |
|-------|-------|-------|----|---|
| _____ | _____ | _____ | 1. | The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only). |
| _____ | _____ | _____ | 2. | The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs. |
| _____ | _____ | _____ | 3. | A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch: |
| _____ | _____ | _____ | a. | Title of drawing, including name and address of applicant. |
| _____ | _____ | _____ | b. | North point, scale, and date. |
| _____ | _____ | _____ | c. | Boundaries of the project. |
| _____ | _____ | _____ | d. | Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted. |
| _____ | _____ | _____ | e. | Floodplain boundaries as determined by the Federal Emergency Management Agency. |
| _____ | _____ | _____ | f. | Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures. |
| _____ | _____ | _____ | g. | Location of outdoor storage and description of materials to be stored. |
| _____ | _____ | _____ | h. | Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private. |
| _____ | _____ | _____ | i. | Location and description of all proposed waterfront public access/recreation provisions. |
| _____ | _____ | _____ | j. | Description of sewage disposal and water supply systems and locations of such facilities. |
| _____ | _____ | _____ | k. | Location and proposed development of buffer areas and other landscaping, the general landscaping plan and planting schedule. |
| _____ | _____ | _____ | l. | Location of all parking and loading area, internal circulation pattern, and ingress and egress drives. |
| _____ | _____ | _____ | m. | Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks. |
| _____ | _____ | _____ | n. | Location, design and size of all signs and lighting facilities. |
| _____ | _____ | _____ | o. | Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space. |
| _____ | _____ | _____ | p. | Building orientation and site design for energy efficiency and visual quality. |
| _____ | _____ | _____ | q. | Location and design of all energy distribution facilities, including electrical, gas, and solar energy. |
| _____ | _____ | _____ | r. | Description and location of erosion control measures including proposed location of sediment sink/settling pond and interceptor swales, etc. |
| _____ | _____ | _____ | s. | Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities. |
| _____ | _____ | _____ | t. | Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development. |
| _____ | _____ | _____ | u. | Estimated project construction schedule. |
| _____ | _____ | _____ | v. | Record of application for approval status of all necessary permits from federal, state and county officials. |
| _____ | _____ | _____ | w. | Identification of any federal, state or county permits required for project execution. |
| _____ | _____ | _____ | x. | The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter. |



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

July 22, 2022
SITE PLAN LETTER

Julian A. Herrera
446 Southside Avenue
Freeport, NY 11520

RE: 446 Southside Avenue, Freeport, NY
Zoning District – Residence A
Sec. 54 Blk. 308 Lot 169
Building Permit Application #20222919
Description– Widen driveway 240 sq. ft. total and pave walkway

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and ~~the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.~~

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,


Sergio A. Mauras
Superintendent of Buildings

/cd
Encl.

c: Village Clerk

ZBA Approval Needed:

Yes: No

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20222919

Location: 446 Southsie Avenue, Freeport, NY

Applicant: Julian A. Herrera

Description: Widen driveway 240 sq. ft. total and pave walkway

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

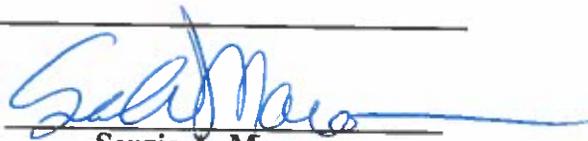
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: July 22, 2022


Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

RECEIVED

JUL 22 2022

FREEPORT BUILDING DEPT.

Instructions for Completing

617.20

Appendix B

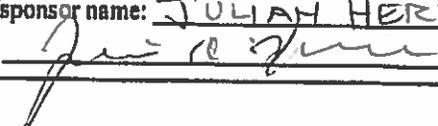
Short Environmental Assessment Form

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: WIDEN DRIVEWAY			
Project Location (describe, and attach a location map): 446 SOUTHSIDE AVE			
Brief Description of Proposed Action: WIDEN DRIVEWAY 240SOFT AND PAVE WALKWAY			
Name of Applicant or Sponsor: JULIAN HERRERA		Telephone: 516-504-5632	
Address: 446 SOUTHSIDE AVE		E-Mail:	
City/PO: FREEPORT		State: NY	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	N/A
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>JULIAN HERRERA</u>	Date: <u>07-22-2022</u>	
Signature: <u></u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

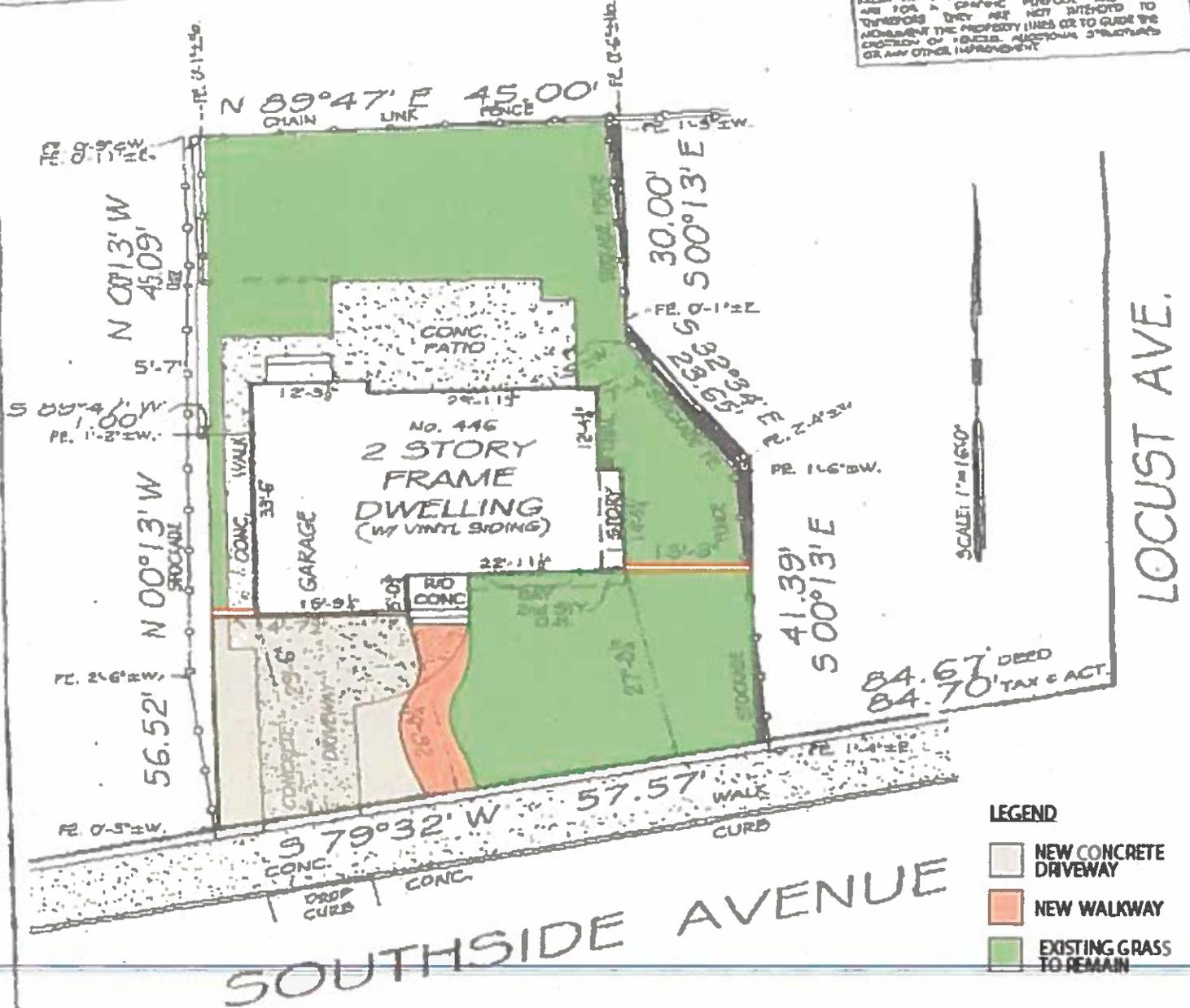
	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

SECTION: 54 BLOCK: 308 PLOT: 169

SURVEY NO. 08-0153
TITLE NO. C13-08-0610N
THE EFFECTS OF DISTURBANCE SHALL BE
ASBESTOS FROM THE PROPERTY UNLESS THE DISTURBANCE
IS FOR A CONCRETE DRIVEWAY AND USE
THEROFOR THEY ARE NOT INTENDED TO
MONITOR THE PROPERTY LINES OR TO GUIDE THE
CONSTRUCTION OF BUILT-UP STRUCTURES
OR ANY OTHER IMPROVEMENTS



- LEGEND**
- NEW CONCRETE DRIVEWAY
 - NEW WALKWAY
 - EXISTING GRASS TO REMAIN

MAP OF PROPERTY
INCORPORATED VILLAGE OF
FREEPORT
TOWN OF HEMPSTEAD
NASSAU COUNTY, N. Y.

ISLAND WIDE LAND SURVEYORS
PROFESSIONAL LAND & CITY SURVEYORS
189 LAFAYETTE DRIVE, SYOSSET, N.Y. 11791
PHONE: 1-866-808-5800 FAX: 516-496-1792

UNLAWFUL ATTENTION OR ABUSE
TO THIS SURVEY IS A VIOLATION OF
SECTION 200 OF THE NEW YORK STATE
RELATION LAW
COPIES OF THIS SURVEY MAY NOT BE MADE
THE LAND SURVEYORS HAVE SOLE OR
PROPOSED SOLE, SHALL NOT BE REPRODUCED
TO BE A LAND TRUST COMPANY
GUARANTEED OR CERTIFICATIONS UNRELATED
HEREON SHALL BE ONLY TO THE PURPOSES
FOR WHICH THE SURVEY IS PROVIDED, AND
ON THE BEHALF OF THE TITLE COMPANY,
COMMONWEALTH LAND TITLE INSURANCE COMPANY
AND ITS SUCCESSORS, AGENTS AND LICENSEE
INSURANCE COMPANY, AND TO BE
ASSURANCE OF THE INSURANCE DISTRICTS
THAT SHALL BE CERTIFICATIONS ARE NOT
OR BE SUBJECT TO ANY OTHER INSTITUTION
OR PERSONS OR ORGANIZATION.

DRAFTED BY D. G. JULY 13, 2008

SURVEYED JULY 14, 2008

GUARANTEED TO:
JULIAN & ADRIANA HERRERA
BETHPAGE FEDERAL CREDIT UNION
COMMONWEALTH LAND TITLE INSURANCE COMPANY
CIS ABSTRACT INC.

LOT NUMBERS:
770 LOT NO 3 51 & 55
"AMENDED MAP OF BAYVIEW AT FREEPORT"
FILED NOVEMBER 18, 1911 AS OLD MAP NO. 300, CASE NO. 2916

RECORDS OF WHITES & DADONA, DUSTAVE A. BOWLER
& SECRETARY A. HERRERA





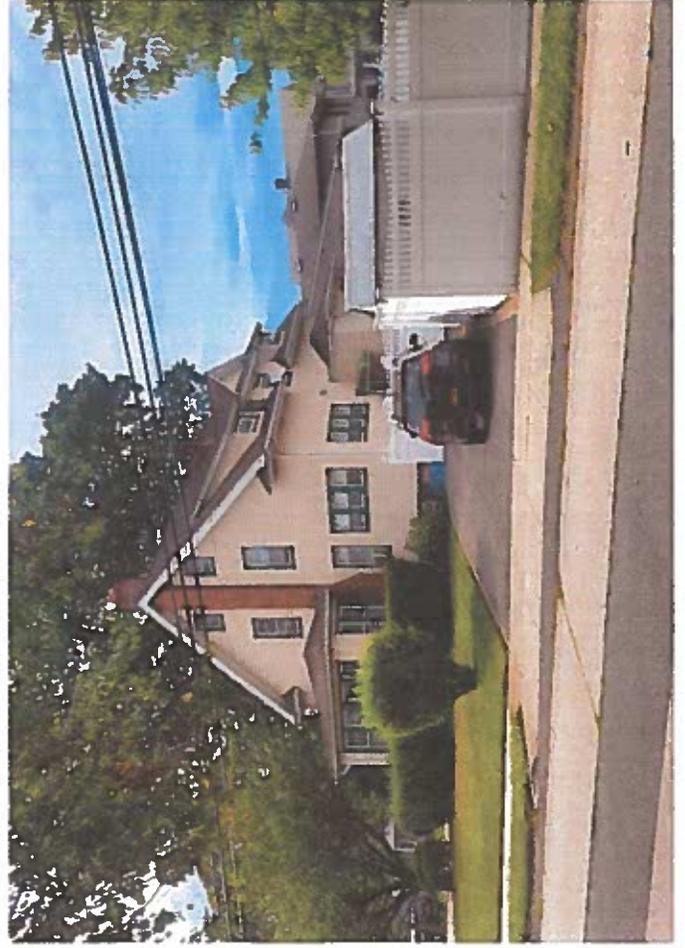
437 Southside Ave



447 Southside Ave.



322 Locust Ave



95 Elliot Pl.



245 Rose St.



431 Southside Ave

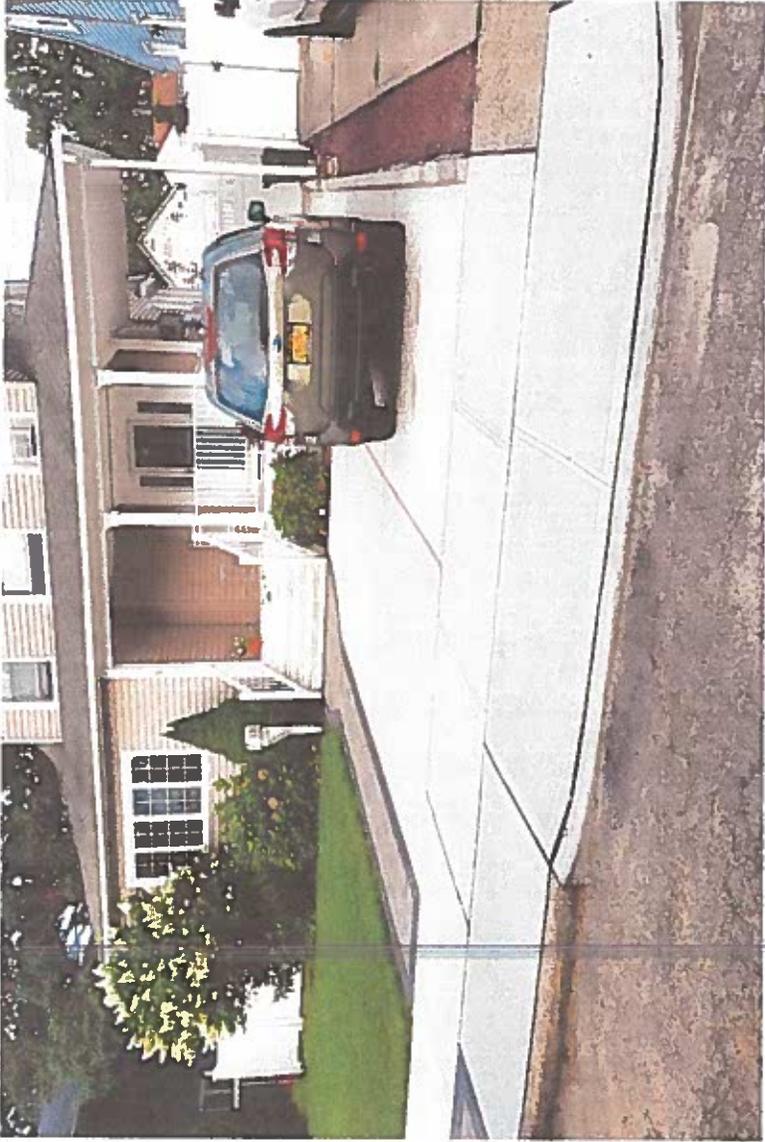


33 Elliot Pl.



428 Southside Ave

84 Elliot Pl.



86 Elliot Pl.

