



**6. VILLAGE CLERK – Pamela Walsh Boening**

- a) Request approval of the miscellaneous sidewalk resolution in the amount of \$14,911.20 as follows:

320 Bedell Street	\$212.00
208 E. Dean Street	\$948.75
14 Hansome Place	\$662.40
321 Lena Ave	\$1,836.80
268 Miller Ave	\$1,186.80
43 Robert Street	\$424.00
253 W. Seaman Ave	\$682.40
336 W. Seaman Ave	\$1,959.00
178 Wallace Street	\$2,791.40
133 Washburn Ave	\$849.20
44 Westend Ave	\$868.60
91 Woodside Ave	\$1,493.45
145 Woodside Ave	\$657.20
173 Woodside Ave	\$339.20

**7. VILLAGE COMPTROLLER – Anthony N. Dalessio**

- a) Pursuant to Section 5-520 of the New York State Village Law, authorization is requested for the Village Comptroller to execute the following transfer to the 2022/2023 fiscal year operating budget:

FROM: A200 120000 General Fund Operating Account \$60,105.07

TO: CM 120161 CM Class Account  
Police Department Asset Forfeiture \$60,105.07

**8. VILLAGE TREASURER – Ismaela M. Hernandez**

- a) Request approval of the agreement between the Village of Freeport and Cashline ATM Inc., 41 Gold Street, Valley Stream, New York 11580, for the placement and maintenance of ATM services, for a period of ten years.

**NO PUBLIC COMMENT**

**INTERDEPARTMENTAL CORRESPONDENCE ONLY  
INCORPORATED VILLAGE OF FREEPORT  
VILLAGE MAYOR'S OFFICE**

To: Board of Trustees

From: Mayor Robert Kennedy

Date: August 30, 2022

Re: Notification of Appointment – Joy Fernandez

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This memo will serve to notify all concerned of the appointment of Joy Fernandez, as an Alternate Member of the Planning Board, to fill the unexpired term of Annelga Weaver (resigned); said term to expire April 3, 2023.

Thank you,



\_\_\_\_\_/pl  
Robert T. Kennedy  
Mayor

pl

**INTER-DEPARTMENT CORRESPONDENCE  
INCORPORATED VILLAGE OF FREEPORT**

**TO:** Mayor Robert T. Kennedy  
**FROM:** Pamela Walsh Boening, Village Clerk  
**DATE:** September 1, 2022

**RE:** Public Assembly

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Applicant:	Shamel Allen
Date:	Various Dates 9/11, 9/18, 9/25,
Location:	LIRR Parking Lot
Time:	8:00 A.M. – 4:00 P.M.
Assembly Time:	8:00 A.M.

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Attached please find a copy of the request for a Public Assembly Permit Application submitted by Shamel Allen, on behalf of Leviticus Marketing to hold flea markets on various Sundays in the month of September 11, 18, and 25, 2022 (per Police Department no Saturday rain dates), between the hours of 8:00 A.M. to 4:00 P.M. in the Freeport Long Island Railroad Station Parking Lot. There will be approximately 250 - 400 individuals that will visit the flea market throughout the day.

Also included are the recommendations from the Police Department, Department of Public Works, Fire Department, and Claims Examiner.

  
Pamela Walsh Boening  
Village Clerk

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Attachments



To process your Carnival/Festival/Bazaar ~ Public Assemblies Permit Application requesting the use of municipal property the Village of Freeport will need the information listed below. A confirmation of this information must be provided in writing, executed by someone in authority from the organization. (Attach additional sheets as necessary)

A) Will the Carnival/Festival/Bazaar occupy all or only a portion of the width of the property requested?

Yes

B) List each ride or inflatable (i.e. bouncy houses).

Indicate type of ride or inflatable, dimensions of same and space or square footage required for setup.

N/A

C) List the number and type of food vendor kiosks, booths or trailers. Include space needed for setup.

Booths / tables and or small tents will be used by vendors.

D) List the number of support vehicles to remain on site such as transport trucks, employee housing trailers and generator units. Indicate the space or square footage required to park/stage such vehicles or units.

E) Total estimated dimension of space required to contain the full Carnival/Festival/Bazaar operation.

Approximately 6000 square feet.

F) Are any animals included as part of the show/Carnival/Festival/Bazaar? If so indicate what type.

No.

G) What is the estimated number of customers you expect daily? 250 - 400

H) Sanitation ~ list the number of trash receptacles, portable toilets and type of site cleanup that you are providing.

We will provide trash receptacles and Site Cleanup will be done immediately after the event.

I) List on site security that you intend to use. Include the number of security guards and the name and address of the agency you will employ if security is subcontracted.

Security will not be needed.

J) List where pedestrian and vehicle traffic control such as barricades and blocked streets will need to be employed. Advise if you need or are requesting public works assistance for this.

Cones will be used to minimize congestion and hazards at the entrance and exit and allow free movement of traffic on adjacent streets. Blocked streets will not need to be employed.

K) Are any other public facilities or equipment to be utilized:                      Yes  No  
If yes, please describe and attach all related correspondence or permits that authorize their use.

N/A.

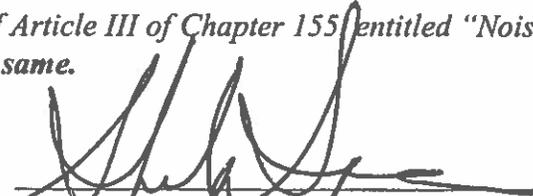
L) Please describe any advertisement, banners, signs, or other attention getting devices or methods to be used in connection with this event: Flyers will be distributed and also the

Freeport Herald will be used.

M) Advise if the Carnival/Festival/Bazaar ride/show operator subcontracts any portion of their operation.

Local Vendors will be utilized to sell local goods.

*I hereby state that I have received a copy of Article III of Chapter 155 entitled "Noise Control", and I understand that I am required to comply with the same.*

  
Signature

Sworn to before me this 16 day of August, 2022

  
NOTARY PUBLIC

ANDREW M SOTO  
NOTARY PUBLIC, State of New York  
No. 01SO6382684  
Qualified in Nassau County  
Commission Expires, June 3, 2023  
State of New York County of Nassau

**Chapter 155-39: Any person violating any of the provisions of this chapter shall be deemed guilty of a violation and, upon conviction thereof, shall be fined in an amount not exceeding \$750 for the first offense, \$1,000 for the second offense and \$2,000 for each offense thereafter or be imprisoned in the Nassau County Correctional Facility for a period not exceeding 15 days, or be subject to both such fine and imprisonment. Each day (twenty-four-hour period) such violation is committed or permitted to continue shall constitute a separate offense and shall be punishable as such. Any person under the age of 16 years who shall violate any of the provisions of this article shall be deemed to be a juvenile offender.**

**Insurance Requirement Notice:**

**You are informed that you must meet the following insurance requirements for this event:**

Comprehensive General Liability Insurance (Broad Form), with the Inc. Village of Freeport named as additional insured for the entire policy period. Required Minimum Limits: \$1,000,000 Combined Single Limit per occurrence and \$2,000,000 aggregate. A copy of the policy endorsement showing that the Inc. Village of Freeport is named as additional insured for this event is to be attached to the original certificate of insurance evidencing this coverage and must be in a form acceptable to the Inc. Village of Freeport.

All policies and certificates must provide that a minimum of ten (10) days prior notice will be given to the Village by registered mail for any cancellation or modification of the insurance.

Insurance companies providing the required insurance policies must be New York State admitted carriers, have a policy holders rating of A or better and a financial rating of at least "10" or better according to the current Best Insurance Rating Guide.

Contractual Liability coverage- All vendors providing amusements (ie: rides, inflatables, live animals) for this event must also comply with all of the above mentioned insurance requirements.

The hold harmless cited below, is to be copied onto the applicant group's letterhead and signed by a representative of the festival sponsor/ride concessionaire, notarized and must be attached to application.

**Insurance Requirement Notice (continued):**

(Fill in Name of applicant or contracted operator) , agrees to defend and indemnify and save harmless the Inc. Village of Freeport, its employees and elected and appointed officials against loss or expense by reason of the liability imposed by laws upon the Village for damage because of bodily injuries, including death at any time resulting there from, sustained by any person or persons including employees or on account of damage to property, including loss of use thereof, arising out of or in consequence of the use of (Name of municipal property/location) in Freeport, by (Name of applicant or contracted operator) , whether or not such injury to persons or damage to property are due or claim to be due to any negligence (Name of applicant or contracted operator) of (Name of applicant or contracted operator) their employees or agents.

Sign: (Name of representative and company name)

Date: 8/16/22

The above-mentioned insurance must be provided by all sponsors and ride concessionaires involved in this event.

Signature [Handwritten Signature]  
Applicant

ANDREW M SOTO  
NOTARY PUBLIC, State of New York  
No. 01SO6392684  
Qualified in Nassau County  
Commission Expires, June 3, 2023  
State of New York County of Nassau

Sworn to before me this 16  
day of August 20 22  
[Handwritten Signature]  
Notary

Application Approved: \_\_\_\_\_ Application Denied: \_\_\_\_\_

By: \_\_\_\_\_



# LEVITICUS MARKETING INC.

64 Prospect Street  
Freeport, N.Y.11520  
Phone: 516-476-7369

Leviticuslovinghands@gmail.com

August 15, 2022

## Insurance Notice

Leviticus Marketing Inc., agrees to defend and indemnify and save harmless the Inc. Village of Freeport, its employees and elected and appointed officials against loss or expense by reason of the liability imposed by laws upon the Village for damage because of bodily injuries, including death at any time resulting there from, sustained by any person or persons including employees or on account of damage to property, including loss of use thereof, arising out of or in consequence of the use of the Incorporated Village of Freeport train station parking lot located adjacent to Dunkin Donuts and Sunrise Hwy in Freeport, by Leviticus Marketing Inc, whether or not such injury to persons or damage to property are due or claim to be due to any negligence Leviticus Marketing Inc of Leviticus Marketing Inc their employees or agents.

Sign: Sheila Spencer Administrative Assistant Leviticus Marketing Inc.

Date: 8/16/22

The above-mentioned insurance must be provided by all sponsors and ride concessionaires involved in this event.

Signature



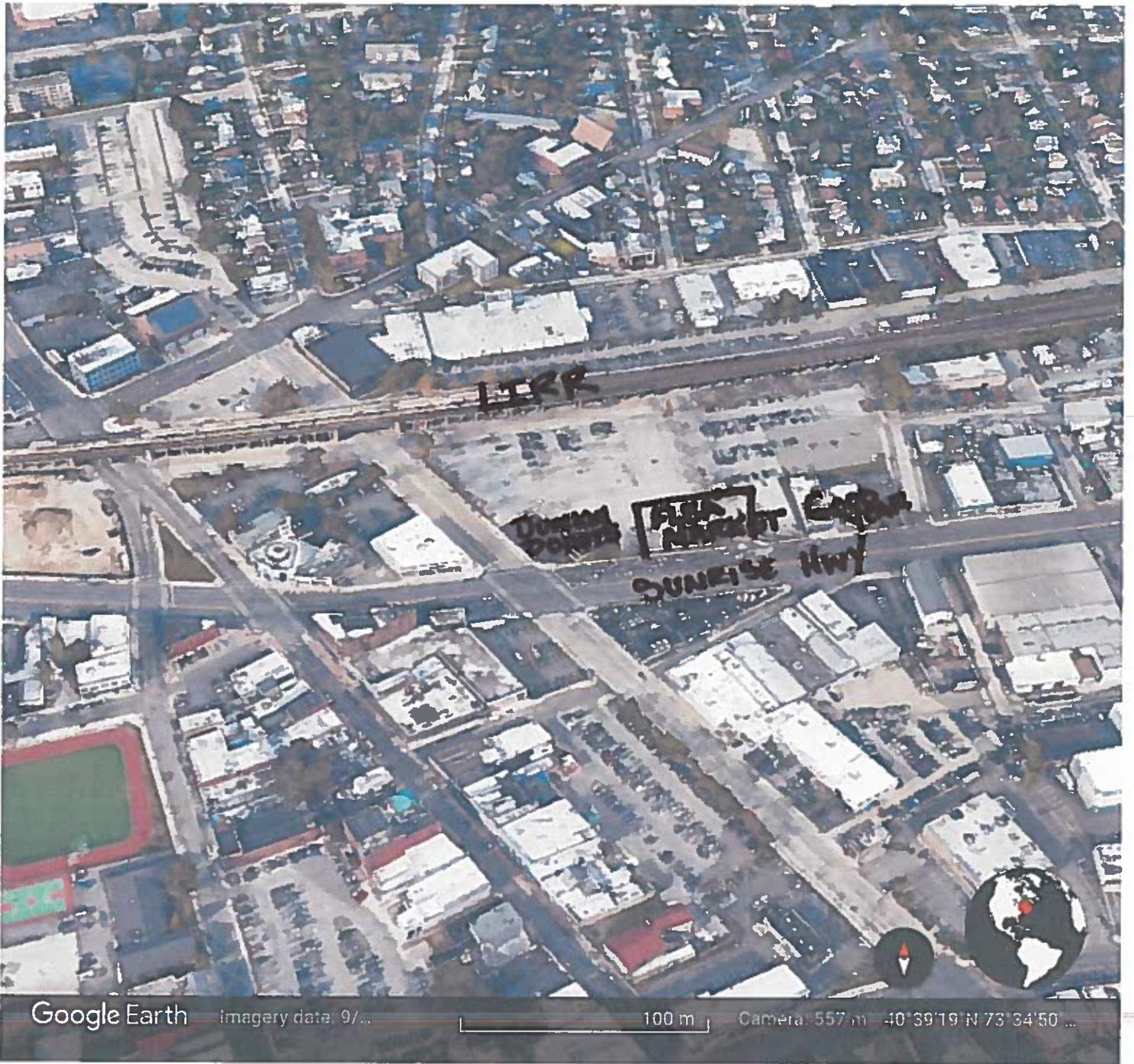
Applicant

Sworn to before me this 16 day of Aug 20 22  
Andrew M Soto

Notary

ANDREW M SOTO  
NOTARY PUBLIC, State of New York  
No. 01SO6392884  
Qualified in Nassau County  
Commission Expires, June 3, 20 23  
State of New York  
County of Nassau





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# Freeport Police Department Parade and Public Assemblies Permit

A parade/public assemblies permit has been issued to the named applicant and other named representatives on behalf of Leviticus Marketing 64 Prospect Street

	Organization Name	Address	
<u>Freeport</u>	<u>New York</u>	<u>11520</u>	<u>516- 476-7369</u>
City	State	Zip	Telephone #

as indicated on the Freeport Police Department Parade and Public Assemblies Permit Application which is annexed hereto and made a part thereof, with the stipulation that the conditions listed below, if any, are satisfied by the above named organization and its representatives.

The conditions are:

**Event: Flea Market AT THE FREEPORT TRAIN STATION IN THE PLAZA EAST PARKING LOT (SOUTH-WEST SIDE OF LIRR PLAZA EAST PARKING LOT ).**

**Dates & Times:**

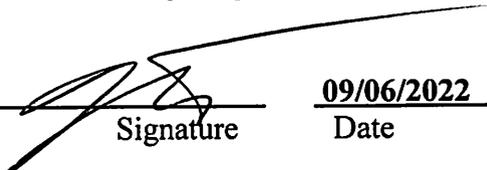
SUNDAY	SEPTEMBER 18, 2022 ~ 8AM – 4 PM SHARP.
SUNDAY	SEPTEMBER 25, 2022 ~ 8AM – 4 PM SHARP.
SUNDAY	OCTOBER 2, 2022 ~ 8AM – 4 PM SHARP.

1. The Flea market operator, and employees are to be cognizant of noise ordinances and must not violate any VOF ordinances during hours of operation All Vendors will abide by the above conditions.
2. The Flea Market will shut down at indicated termination times without prompting by the police or other officials.
3. Vendor sales will cease at 4 p.m.
4. The parking lot area will be vacated and cleaned of trash, rubbish and debris by 5:00 P.M.
5. Emergency vehicle egress and access shall be provided.
6. Applicant: Shamel Allen, Leviticus Marketing Chairperson, Tel# 5476- 7369 other Contacts: Administrative asst. Sheila Spencer Tel # 516 362-8513

This parade/public assemblies permit must be available to be submitted for inspection by any Freeport Police Officer on the date and times of the parade. (Photocopies are permitted)

**THE PARADE/PUBLIC ASSEMBLIES PERMIT APPLICATION MUST BE ATTACHED TO THE PERMIT AND AVAILABLE FOR INSPECTION FOR THIS PERMIT TO BE VALID.**

Please note the parade/public assemblies permit maybe revoked by the Chief of Police, or designated representative, at any time prior to or during the parade for violation of Freeport Village Code Section 155-67.

Issued by:	<u>Chief Michael J. Smith</u>		<u>09/06/2022</u>
Rank	Name	Signature	Date

CC to:  Mayor     Village Attorney     Fire Chief     Public Works

Postmaster     Affected Public Transportation Utilities

Other:

**INTER-DEPARTMENT CORRESPONDENCE  
INCORPORATED VILLAGE OF FREEPORT ~ POLICE DEPARTMENT**

**TO: Pamela Walsh Boening, Village Clerk**

**FROM: Chief of Police Michael J. Smith**

**DATE: September 6, 2022**

**RE: Leviticus Flea Market application 2022 v3**

**When: Various Dates Sundays, September 9/18, 9/25 October 2, 2022.**

**Where: Southwest corner LIRR Plaza East**

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After review of the attached Parade and Public Assemblies Permit Application I am informing you that I conditionally approve this permit. My approval is conditioned upon this matter being brought before the Mayor and Board of Trustees for final approval. Once the Board approves; the permit is valid.

I do not approve the proposed rain dates, the parking lot is needed for resident commuters.

I do anticipate police overtime costs of \$1097.00 per day, for a total cost of \$3291.00.

Thank you,

  
\_\_\_\_\_  
Michael J. Smith  
Chief of Police

**INCORPORATED VILLAGE OF FREEPORT  
DEPARTMENT OF PUBLIC WORKS  
INTER-DEPARTMENT CORRESPONDENCE**

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TO: Pamela Walsh Boening, Village Clerk

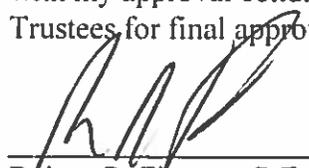
FROM: Robert R. Fisenne, P.E., Superintendent of Public Works

DATE: September 6, 2022

RE: **REVISED** Carnival, Festival and Public Assembly Permit Application  
Applicant: Shamel Allen / Leviticus Marketing  
Dates: Sunday, September 18, 25,  
October 2, 2022  
Time: 8:00 am – 4:00 pm  
Assembly Time: 8:00 am  
Start Location: Freeport LIRR Station Parking Lot between Dunkin Donuts  
and Good Year Auto Service

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I have reviewed the above-referenced Parade and Public Assembly Permit Application submitted by Shamel Allen on behalf of Leviticus Marketing. I am conditionally approving this permit, with my approval conditioned upon this matter being brought to the Mayor and Board of Trustees for final approval. Please advise me when a decision has been made.

  
\_\_\_\_\_  
Robert R. Fisenne, P.E.  
Superintendent of Public Works

C: Benjamin Terzulli, Assistant Superintendent of Public Works

## **Pamela Boening**

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**From:** Ray Maguire  
**Sent:** Friday, August 26, 2022 3:34 PM  
**To:** Pamela Boening; Lisa DeBourg  
**Cc:** Madelyn de la Fe  
**Subject:** RE: PUBLIC ASSEMBLY VARIOUS DATES LIRR PARKING LOT

I have reviewed the Public Assembly Permit application for September 11, 18, 25, 2022 (Rain Date: September 17 and 24, 2022)

I do not foresee any negative impact in the performance of our duties. The applicant indicates that they will be utilizing LIRR Parking Lot. They do not indicate that they will be blocking any streets. Applicant(s) should be cognizant of maintaining access to the area if an Emergency exists.

Please remind the applicant(s) that access to the area must be made available for Emergency equipment. Therefore, physical barriers should be discouraged.

If you have any questions, please feel free to contact me.

Ray Maguire

Raymond F. Maguire  
Executive Director  
Freeport Fire Department  
Office: 5163772190  
Cell: 5166801801  
Fax: 5163772499

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## **Pamela Boening**

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**From:** Christine Maguire  
**Sent:** Friday, August 26, 2022 3:29 PM  
**To:** Pamela Boening; Michael Smith; Robert Fisenne; Ray Maguire  
**Cc:** Carl Hetzel; Michael Williams; Mary Muldowney; Ben Terzulli; Sheryl Sobers; Sabrina Lafleur; Madelyn de la Fe; Conor Kirwan  
**Subject:** RE: PUBLIC ASSEMBLY VARIOUS DATES LIRR PARKING LOT

Hi Pam,

The insurance is approved for the public assembly various dates LIRR parking lot

Regards,

Christine Maguire  
Human Resources  
516-377-2293

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**From:** Pamela Boening <pboening@freeportny.gov>  
**Sent:** Monday, August 22, 2022 5:57 PM  
**To:** Michael Smith <m.smith@freeportpolice.org>; Robert Fisenne <rfisenne@freeportny.gov>; Ray Maguire <rmaguire@freeportny.gov>; Christine Maguire <cmaguire@freeportny.gov>  
**Cc:** Carl Hetzel <c.hetzel@freeportpolice.org>; Michael Williams <m.williams@freeportpolice.org>; Mary Muldowney <m.muldowney@freeportpolice.org>; Ben Terzulli <bterzulli@freeportny.gov>; Sheryl Sobers <ssobers@freeportny.gov>; Sabrina Lafleur <slafleur@freeportny.gov>; Madelyn de la Fe <mdelafe@freeportny.gov>; Conor Kirwan <ckirwan@freeportny.gov>  
**Subject:** PUBLIC ASSEMBLY VARIOUS DATES LIRR PARKING LOT

See attached.

**INTER-DEPARTMENT CORRESPONDENCE  
INCORPORATED VILLAGE OF FREEPORT**

**TO:** Mayor Robert T. Kennedy  
**FROM:** Pamela Walsh Boening, Village Clerk  
**DATE:** September 1, 2022  
**RE:** Block Party Permit

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Applicant: Our Holy Redeemer RC Church  
Date: Sunday, September 18, 2022  
Rain Date: None  
Location: Pine Street between S. Ocean Avenue and Guy Lombardo Avenue  
Time: 10:00 A.M. to 4:00 P.M.

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Attached please find a Block Party Permit Application submitted on behalf of Our Holy Redeemer RC Church, 37 S. Ocean Avenue to hold a Block Party on Sunday, September 18, 2022 (no rain date), on Pine Street between S. Ocean Avenue and Guy Lombardo Avenue from 10:00 A.M. to 4:00 P.M. Approximately 250 individuals will be attending the event.

Also attached please find the recommendations from the Police Department, Public Works and Fire Department.

  
Pamela Walsh Boening  
Pamela Walsh Boening  
Village Clerk  
Attachments

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**FREEPORT POLICE DEPARTMENT  
APPLICATION FOR BLOCK PARTY PERMIT**

**BLOCK PARTIES ARE NOT PERMITTED ON THE 4<sup>TH</sup> OF JULY OR THE WEEKEND PRECEDING OR FOLLOWING JULY 4<sup>TH</sup>.**

DATE OF APPLICATION: August 16, 2022

DESCRIBE EVENT AND PURPOSE: Block Party - Parishioner Appreciation Day <sup>-Father Chris Nowak's Installation Mass</sup>  
Sunday

DATE OF EVENT: September 18, 2022 RAIN DATE: \_\_\_\_\_

TIME: FROM 10:00AM TO 4:00PM (Limit 6 hours – ending 10 PM latest)

LOCATION OF EVENT: Pine Street Between South Ocean Avenue and Guy Lombardo Avenue

NO. PARTICIPANTS EXPECTED: 250+ NO. OF RESIDENCES ON BLOCK: 1 VERIFIED BY AWB  
Rev. Christopher Nowak

NAME OF CONTACT/ORGANIZATION: Our Holy Redeemer R.C. Church  
Joann Flaherty (516) 214-7607

ADDRESS: 37 South Ocean Avenue, Freeport, New York 11520 TEL NO. (516) 379-0665

The undersigned applicants agree that they are solely responsible and liable for their own works, person and property at all times. The Village of Freeport, its agents, directors or employees will not be responsible or liable for any loss or damage to property or injury to person. The applicants are responsible for the maintenance and cleanup of the area at the termination of the activity. The applicants are reminded that the Village has an "open container" law among its ordinances, which stipulates that no alcoholic beverages may be served or carried on the **STREETS OR SIDEWALKS. DO NOT BLOCK STREETS WITH CARS.**

THIS APPLICATION MUST CONTAIN THE NAMES, ADDRESSES AND SIGNATURES OF PERSONS REPRESENTING AT LEAST 1/2 OF THE TOTAL NUMBER OF RESIDENCES LOCATED ON THE BLOCK. YOU MUST INCLUDE IN THE TOTAL, ANY MULTIPLE FAMILY HOMES ON THE BLOCK, COUNTING A TWO-FAMILY RESIDENCE AS TWO RESIDENCES, ETC. ADDITIONAL NAMES, ADDRESSES, AND SIGNATURES ARE ON PAGE 2.

<u>APPLICANT'S NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>
<u>Rev. Christopher Nowak</u>	<u>37 South Ocean Avenue Freeport, N.Y. 11520</u>	<u>[Signature]</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
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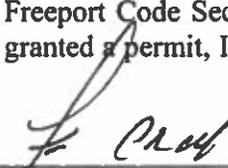
**FREEPORT POLICE DEPARTMENT  
APPLICATION FOR BLOCK PARTY PERMIT**

**Fees:**

If the application is for the use of any Village property other than street or public thoroughfare or if any Village of Freeport services shall be required for the parade or public assembly, the applicant shall pay, prior to the issuance of the permit, the charge for those services in accordance with the schedule of service costs approved by the Board of Trustees by resolution.

**Affirmation of Understanding and Awareness:**

I Rev. Christopher Nank acting as an authorized representative of Our Holy Redeemer R.C. Church swear under oath that I have read and understand Village of Freeport Code Section 1, Chapter 155, Article VI entitled Parades and Public Assemblies. Further, if granted a permit, I agree to abide by all of the provisions and stipulations of such code.

  
Applicant's signature

Sworn to before me this 17<sup>th</sup>  
day of August 2022  
L. Batista  
Notary

**DIANADYS BATISTA**  
Notary Public, State of New York  
Registration No. 01BA6016148  
Qualified in Nassau County  
Commission Expires November 08, 2022

Add more signatures below if required:

<u>APPLICANT'S NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

## Freeport Police Department Block Party Permit

A block party permit has been issued to the named applicant and other named representatives on behalf of Christopher Nowak or Joann Flaherty/ OHR

<u>Freeport</u> City	<u>New York</u> State	<u>11520</u> Zip	<u>37 Pine Street</u> Address <u>516 378-0665</u> Telephone #
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as indicated on the Freeport Police Department Parade Permit Application which is annexed hereto and made a part thereof, with the stipulation that the conditions listed below, if any, are satisfied by the above named organization and its representatives. The conditions are:

**Block Party:** Pine St. between Guy Lombardo Ave. & S. Ocean Ave.

**Date:** September 18<sup>th</sup>, 2022

**Rain Date:** None

**Time:** 10:00 A.M. to 4:00 P.M.

- 1. Applicant and participants will be considerate of Village noise regulations and minimize unnecessary noise. This permit does not exempt the participants from abiding by the village noise ordinances. The use of fireworks is strictly prohibited.**
- 2. Use of amplified sound, DJ equipment, etc will cease and desist promptly at 4:00 P.M., without prompting from police or village officials.**
- 3. Participants will shutdown the event and clear the roadway at 4:00 P.M. without prompting from police or village officials.**
- 4. If an emergency occurs, the block party participants must be able to promptly clear the roadway for Police, Fire and other emergency vehicles. Physical barriers cannot be used to block the roadway. Tables, tents, rides, DJ booths and amusements placed in the roadway must be fashioned to be rapidly removed by hand to facilitate emergency vehicle operation. Structures not rapidly removable by hand must be erected off the roadway.**
- 5. Applicant: Joann Flaherty, OHR B# 516- 378-0665 C# 516-214-7607**

**THIS BLOCK PARTY PERMIT MUST BE AVAILABLE TO BE SUBMITTED FOR INSPECTION BY ANY FREEPORT POLICE OFFICER ON THE DATE AND TIMES OF THE EVENT. (PHOTOCOPIES ARE PERMITTED)**

**THE BLOCK PARTY PERMIT APPLICATION MUST BE ATTACHED TO THE PERMIT AND AVAILABLE FOR INSPECTION FOR THIS PERMIT TO BE VALID.**

Please note the block party permit maybe revoked by the Chief of Police, or designated representative, at any time prior to or during the block party for violation of Freeport Village Code Section 155-67.

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Issued by Deputy Chief Michael G. Williams  08/19/2022  
Rank Name Signature Date

CC to:  Mayor  Village Attorney  Fire Chief  Public Works  
 Postmaster  Affected Public Transportation Utilities  Other: \_\_\_\_\_

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**INTER-DEPARTMENT CORRESPONDENCE  
FREEPORT POLICE DEPARTMENT**

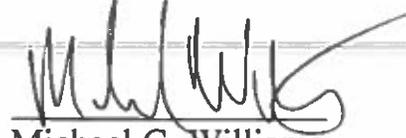
**Michael Smith      40 North Ocean Avenue, Freeport, New York 11520**  
**Chief of Police      (516) 378-0700      Fax (516) 377-2432**

**TO:**            Pamela Walsh Boening, Village Clerk  
**FROM:**        Deputy Chief Michael G. Williams  
**DATE:**        August 19<sup>th</sup> 2022  
**RE:**            Block Party- Our Holy Redeemer Church: Pine Street between  
                  Guy Lombardo Ave. and S. Ocean Ave.  
                  September 18<sup>th</sup> 2022                    Time: 10:00 A.M. to 4:00 P.M.  
                  Rain Date: None

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After review of the attached Block Party Application, I am informing you that I conditionally approve this request. My approval is conditioned upon this matter being brought before the Mayor and Board of Trustees for final approval. I do not anticipate any police overtime for this event.

Thank you,



Michael G. Williams  
Deputy Chief

**INCORPORATED VILLAGE OF FREEPORT  
DEPARTMENT OF PUBLIC WORKS  
INTER-DEPARTMENT CORRESPONDENCE**

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**TO:** Pamela Walsh Boening, Village Clerk  
**FROM:** Robert R. Fisenne, P.E., Superintendent of Public Works  
**DATE:** August 18, 2022  
**RE:** Block Party Application – Father Christopher Nowak

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**RE: Block Party Permit Application**  
**Applicant:** Father Christopher Nowak / Our Holy Redeemer Church  
**Date:** Sunday, September 18, 2022  
**Rain Date:** None  
**Location:** Pine Street between S. Ocean Ave. and Guy Lombardo Ave.  
**Time:** 10:00 pm – 4:00 pm

I have reviewed the above-referenced Block Party Permit Application submitted by Father Christopher Nowak on behalf of Our Holy Redeemer Church. The Department of Public Works will erect barricades to facilitate the necessary road closures.

I am conditionally approving this permit, with my approval conditioned upon this matter being brought before the Mayor and Board of Trustees for final approval. Please advise me when a decision is made.

  
\_\_\_\_\_  
Robert R. Fisenne, P.E.  
Superintendent of Public Works

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**C:** Ben Terzulli, Assistant Superintendent of Public Works

## **Pamela Boening**

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**From:** Ray Maguire  
**Sent:** Friday, August 26, 2022 3:28 PM  
**To:** Pamela Boening; Lisa DeBourg  
**Cc:** Madelyn de la Fe  
**Subject:** RE: 9.18.2022 Our Holy Redeemer Block Party Pine Street

I have reviewed the Block Party application for September 18, 2022 (Rain Date: None)

I do not foresee any negative impact in the performance of our duties. However, the area is vast, so even more attention to access must be maintained by the participants. The applicants and participants must be cognizant of the need for emergency vehicles to enter the area.

Please remind the applicant(s) that access to the area must be made available for Emergency equipment. Therefore, physical barriers should be discouraged.

If you have any questions, please feel free to contact me.

Ray Maguire

Raymond F. Maguire  
Executive Director  
Freeport Fire Department  
Office: 5163772190  
Cell: 5166801801  
Fax: 5163772499

**INCORPORATED VILLAGE OF FREEPORT**  
**INTER-DEPARTMENT CORRESPONDENCE**

**Date:** August 26, 2022

**To:** Mayor Robert T. Kennedy

**From:** Al Livingston Jr., Superintendent of Electric Utilities

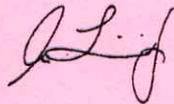
**Re:** Request to Advertise  
Bid #22-11-ELEC-622  
Furnishing of Overhead, Pole Mounted, Single Phase, Dual Voltage, Distribution Transformers

---

Attached please find specifications for Overhead, Pole Mounted, Single Phase, Dual Voltage, Distribution Transformers. These transformers are used to maintain the Village's distribution system. The specifications cover a period of three (3) years with an option for a fourth year. The estimated quantity of thirty (30) units over a three or four year period will allow the Utility to order only the necessary units needed. Therefore, we will not have to store a large inventory of these transformers. Also, the delivery time will be cut to eight weeks versus up to six months or later.

I request authorization to advertise a Notice to Bidders on September 8, 2022 in the Freeport Leader and other relevant publications. Specifications would be available from September 12, 2022 to November 4, 2022. The bids would have a returnable date of November 8, 2022. Attached is a copy of the Notice to Bidders for your review.

The cost of the transformers will be charged to Account #E 123000 (Inventory). There are sufficient funds available for this expense.

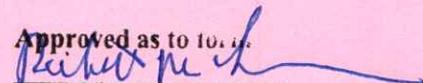


Al Livingston Jr.  
Superintendent of Electric Utilities

AL:db

Attachments

c: Howard Colton, Village Attorney  
Kim Weltner, Purchasing Agent  
Pamela Walsh Boening, Village Clerk  
Peggy Lester, Mayor's Office  
Anthony Dalessio, Comptroller

Approved as to form  
  
Deputy Village Attorney

It was moved by Trustee \_\_\_\_\_, and seconded by Trustee \_\_\_\_\_, that the following resolution be adopted:

**WHEREAS**, the Superintendent of Electric Utilities is requesting to advertise a Notice to Bidders, Bid #22-11-Elec-622, for the Furnishing of Overhead, Pole Mounted, Single Phase, Dual Voltage, Distribution Transformers; and

**WHEREAS**, these transformers are used to maintain the Village's distribution system; and

**WHEREAS**, the specifications cover a period of three (3) years with an option for a fourth year; the estimated quantity of thirty (30) units over a three or four year period will allow the Utility to order only the necessary units needed; and

**WHEREAS**, the cost of the transformers and installation will be charged to Account #E 123000 (Inventory), and there are sufficient funds available for this expense; and

**NOW THEREFORE BE IT RESOLVED**, that based upon the recommendation of the Superintendent of Electric Utilities, the Village Clerk be and hereby is authorized to advertise a Notice to Bidders, "Bid #22-11-Elec-622, for the Furnishing of Overhead, Pole Mounted, Single Phase, Dual Voltage, Distribution Transformers", in the Freeport Herald Leader and other relevant publications of general circulation on September 8, 2022 with specifications available from September 12, 2022 to November 4, 2022, with a return date of November 8, 2022.

The Clerk polled the Board at follows:

Deputy Mayor Ellerbe	VOTING
Trustee Martinez	VOTING
Trustee Squeri	VOTING
Trustee Sanchez	VOTING
Mayor Kennedy	VOTING

Approved as to form

Deputy Village Attorney

# **NOTICE TO BIDDERS**

**BID #22-11-ELEC-622**

**FURNISHING OF OVERHEAD, POLE MOUNTED, SINGLE PHASE, DUAL  
VOLTAGE, DISTRIBUTION TRANSFORMERS  
FOR  
THE INCORPORATED VILLAGE OF FREEPORT  
ELECTRIC DEPARTMENT  
NASSAU COUNTY, NEW YORK**

Notice is hereby given that the Purchasing Agent of the Incorporated Village of Freeport, New York will receive sealed proposals for the “Furnishing of Overhead, Pole Mounted, Single Phase, Dual Voltage, Distribution Transformers” until 11:00 A.M. on Tuesday, November 8, 2022, in the Main Conference Room of the Municipal Building, 46 North Ocean Avenue, Freeport, New York 11520, at which time and place they will be opened publicly and read aloud.

Specifications, proposal and proposed contracts may be seen and obtained at the Office of the Purchasing Agent, Municipal Building, 1st Floor, 46 North Ocean Avenue, Freeport, New York 11520, from 9:00 A.M. on Monday, September 12, 2022, until 4:00 P.M. on Friday, November 4, 2022, or by visiting the Village’s Website at [www.freeportny.gov](http://www.freeportny.gov).

The Board reserves the right to reject any or all bid proposals received and subject to these reservations, shall award the contract to the lowest qualified and responsible bidder(s). Bids which, in the opinion of the Board, are unbalanced shall be rejected.

In submitting a bid, bidders agree not to withdraw their bid within forty-five (45) days after the date for the opening thereof.

Kim Weltner  
Purchasing Agent  
Village of Freeport

Issue Date – September 8, 2022

# VILLAGE OF FREEPORT

Nassau County, New York



**Contract and Specifications For**

**FURNISHING OF OVERHEAD, POLE MOUNTED, SINGLE PHASE, DUAL  
VOLTAGE, DISTRIBUTION TRANSFORMERS**

**BID #22-11-ELEC-622**

**MAYOR**

**ROBERT T. KENNEDY**

**TRUSTEES**

**RONALD J. ELLERBE      JORGE A. MARTINEZ  
CHRISTOPHER SQUERI    EVETTE SANCHEZ**

**PAMELA WALSH BOENING, VILLAGE CLERK**

**HOWARD COLTON, VILLAGE ATTORNEY**

**ISMAELA HERNANDEZ, TREASURER**

**KIM WELTNER, PURCHASING AGENT**



**Al Livingston Jr., Superintendent  
Inc. Village of Freeport**

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**NOTICE TO BIDDERS**

**BID #22-11-ELEC-622**

**FURNISHING OF OVERHEAD, POLE MOUNTED, SINGLE PHASE, DUAL VOLTAGE,  
DISTRIBUTION TRANSFORMERS  
FOR  
THE INCORPORATED VILLAGE OF FREEPORT  
ELECTRIC DEPARTMENT  
NASSAU COUNTY, NEW YORK**

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Kim Weltner  
Purchasing Agent  
Village of Freeport

Issue Date – September 8, 2022

## **NON-COLLUSIVE BIDDING CERTIFICATION**

By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of his knowledge and belief:

- (1) The prices in this bid have been arrived at independently without collusion,
- (2) Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the bidder and will not knowingly be disclosed by the bidder prior to opening, directly or indirectly, to any other bidder or to any competitor; and;
- (3) No attempt has been made or will be made by the bidder to induce any other person, partnership or corporation to submit or not to submit a bid for the purpose of restricting competition.
- (4) That all requirements of law including mandatory provisions as to non-collusive bidding have been complied with.

## **WAIVER OF IMMUNITY**

Pursuant to the provisions of Chapter 605 of the laws of 1959, as amended, if any person when called to testify before a grand jury concerning any transaction or contract with the State of New York, or a political subdivision thereof, or a public authority, or a public department, agency or official of any of the foregoing, refuses to sign a waiver of immunity against subsequent criminal prosecution or to answer any relevant questions concerning such transaction or contract, then, any such person, or any firm, partnership or corporation of which he is a member, partner, director or officer shall be disqualified for a period of five (5) years after such refusal from submitting bids to, receiving awards, or entering into any contract with any municipal corporation or department or agency or official thereof. If such person refused to sign a waiver of immunity or to answer any relevant question as aforesaid, then this contract may be canceled or terminated by the Incorporated Village of Freeport without the Village incurring any penalty or damages by virtue of such cancellation or termination.

## **STATEMENT OF EQUALITY**

Reference to trade names, manufacturer's names, minute details and/or methods of manufacture including material specifications, and/or model numbers in the specifications affixed hereto is merely intended to indicate a standard of excellence and/or to more suitably detail and explain the type of product desired. Variations from specifications which do not materially affect the operational capability, the ease of maintenance, the physical ability to fit into space availability, the long time operational economics, and/or spare parts stock and/or procurement shall not preclude the products of any and/or all manufacturers from being given due consideration in respect to the award of contract.

## **INSTRUCTIONS TO BIDDERS**

### **1. PROJECT IDENTIFICATION**

These instructions are relative to the Village of Freeport Electric Department Project:  
“Furnishing of Overhead, Pole Mounted, Single Phase, Dual Voltage,  
Distribution Transformers”

### **2. DOCUMENT AVAILABILITY**

Specifications, proposal and proposed contracts may be seen and obtained at the Office of the Purchasing Agent, from 9:00 A.M. on Monday, September 12, 2022, until 4:00 P.M. on Friday, November 4, 2022.

All Vendors must leave their names, telephone number, fax number and correct mailing addresses upon receipt of the plans and specifications.

### **3. FEE FOR BID DOCUMENTS**

No deposit and/or fee is required for a set of bid documents and/or specifications under this contract.

### **4. FORM**

Each proposal shall be made on the “Proposal Form” attached hereto and shall remain attached hereto as one of the bid documents and shall be submitted in a sealed envelope clearly marked “Furnishing of Overhead, Pole Mounted, Single Phase, Dual Voltage, Distribution Transformers”, together with the name of the bidder. One original copy and one electronic copy shall be submitted.

The proposal shall include a sum to cover the cost of all items included in the bid documents and shall be identified by the name of the person, firm or corporation submitting the proposal including the authorized signature thereto.

### **5. DELIVERY OF PROPOSALS**

This entire specification and proposal form must be returned in a SEALED envelope. Proposals shall be delivered by the time and place stipulated in the Advertisement and Notice to Bidders. Bid proposals shall be addressed to:

Kim Weltner  
Purchasing Agent  
Inc. Village of Freeport  
46 North Ocean Avenue  
Freeport, NY 11520

Each bid must be headed by the name of the bidder and the address of his principal office or principal place of business. Bids containing only a post office box as a mailing address will be

deemed inadequate and may, at the discretion of the Purchaser, be rejected. In the case a bid is made by a corporation, the same shall be signed by a legally authorized agent of the corporation.

**6. TAXES**

Do not include Federal, State and other taxes in bid price. The Village of Freeport is exempt from payment of sales tax pursuant to Sec. 1116(a) (1) of the Tax Laws of the State of New York.

The successful bidder shall take necessary steps to eliminate the sales tax on purchases to be used under this contract and any projected sales tax expense shall not be included in the bid submitted. If for any reason the successful bidder is legally unable to secure a sales tax exemption, upon proof of payment, the disbursement of the successful bidder will be added to the contract price and will be reimbursed with the final payment.

**7. BID SECURITY**

Not required.

**8. QUALIFICATIONS OF BIDDERS**

- a) The Village reserves the right to reject any and all bids which do not conform to the proposals, or upon which the bidders do not comply with requirements of the Village as to their qualifications.
- b) All bidders must prove to the satisfaction of the Village that they are reputable, reliable and responsible, and that they possess the necessary qualifications (financial, labor, equipment and otherwise) to successfully deliver the proposed materials, and that they have completed successfully similar contracts to an extent which, in the opinion of the Village, will qualify them as a reputable firm.
- c) The Village shall be the sole judge on the qualifications of the bidders and of the merits thereof and reserves the right to reject any bid if the record of the bidder in the performance of contracts, payment of bills and meeting of obligations to subcontractors, materialmen or employees is not satisfactory to the Village, or if the evidence submitted by or the investigation of such bidders fails to satisfy the Village that he is properly qualified to carry out the obligations of the contract and to complete the contract contemplated therein.

**9. INTERPRETATION OF DOCUMENTS**

If any person contemplating submitting a bid for the proposed project is in doubt as to the true meaning of any part of the specifications, he may promptly submit to the Superintendent of Electric Utilities a written request for an interpretation thereof. The Superintendent of Electric Utilities shall furnish the prospective bidder with a written response directly, prior to the deadline for submitting the bid. The making of any necessary inquiry will be the bidder's responsibility. Oral answers will not be binding on the Purchaser. Contact the Superintendent of Electric Utilities at (516) 377-2220 or [procurement@freeportny.gov](mailto:procurement@freeportny.gov) with any questions.

**10. ADDENDUM**

Any addendum issued during the time of bidding, or forming a part of the bid documents for preparation of proposals, shall be covered in the proposal, and shall be made a part of the proposal. Receipt of each addendum shall be acknowledged in the proposal by entering the title, date and signature of person signing the proposal.

**11. MODIFICATIONS**

Proposals shall not contain any recapitulation of the work to be done. Modifications, exceptions or oral proposals will not be considered, unless covered in an approved written addendum executed by the Superintendent of Electric Utilities and acknowledged by the Purchasing Agent.

**12. CORRECTIONS**

Erasures or other corrections in the bid proposal must be initialed by the person signing the bid proposal.

**13. WITHDRAWAL**

Pursuant to §105 of the General Municipal Law of the State of New York, a bidder may withdraw his bid at any time prior to the scheduled time for the opening of the bids. However, once the bids have been opened, no bidder may withdraw his bid for a period of forty-five (45) days from the date of opening of the bids.

**14. SUBLETTING OR ASSIGNING THE CONTRACT**

Pursuant to §109 of the General Municipal Law of the State of New York, no contractor to whom any contract shall be let, granted or awarded, as required by law, shall assign, transfer, convey, sublet or otherwise dispose of the same, or his right, title or interest therein, or his power to execute such contract, to any other person or corporation without the prior written consent of the Incorporated Village of Freeport.

**15. MULTIPLE PROPOSALS**

No person, firm or corporation shall be allowed to make more than one proposal for the same work. A person, firm or corporation who has submitted a proposal to a bidder, or who has quoted prices on materials to a bidder, is not hereby disqualified from submitting a proposal or quoting prices to other bidders.

**16. AGREEMENT**

The bidder to whom a contract may be awarded shall attend at the office of the Superintendent of Electric Utilities, within ten (10) days, Sunday excepted after date of notification of the acceptance of his proposal, and there sign the contract in quadruplicate for the work.

In case of failure to do so, the bidder shall be considered as having abandoned the bid, and the check accompanying the proposal shall be forfeited to the Village.

**17. GUARANTEE**

Attention is hereby particularly directed to the provisions of the contract whereby the Contractor will be responsible for any loss or damage that may happen to the materials during delivery and before acceptance; and also whereby the Contractor shall make good any defects within twelve (12) months after its acceptance and prior to being put in use. Any progress payments made by the Village shall not be a waiver of the foregoing provision.

**18. RIGHT TO REJECT BIDS**

The Village reserves the right to reject any and all bids and to waive any informality in the bids received, and to accept the bid most favorable to the interest of the owner, after all bids have been examined and checked.

**19. EXECUTION**

If the Contract is not executed by the Village within forty-five (45) days after the receipt of bids, the obligation of the bidder under this proposal may terminate at his option and he shall thereupon be entitled to a refund of his certified check or release of his bid bond furnished by him as security with his proposal.

**20. DELIVERY**

Prices must include all applicable warranties. Deliver to: Freeport Electric, Storeroom, 220 West Sunrise Highway, Freeport, New York 11520.

SPECIFICATION FOR  
OVERHEAD, POLE MOUNTED,  
SINGLE PHASE, DUAL VOLTAGE,  
DISTRIBUTION TRANSFORMERS

INC. VILLAGE OF FREEPORT

ELECTRIC DEPARTMENT

(Freeport Electric)

Revised 12/2021

**Title:** Specification for Overhead, Pole Mounted, Single Phase, Dual Voltage, Distribution Transformers.

**Application:** These transformers are intended for use as distribution transformers on poles in Freeport Electric's (FE) distribution system.

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## **Specification**

### **1 General**

- 1.1** This specification applies to the purchase of Single Phase, Dual Voltage Primary, Pole Mounted Distribution Transformers over a three (3) year period starting December 12, 2022, described in Table I as follows.
- 1.2** The transformers furnished under these specifications must be designed, fabricated and tested in accordance with all the latest applicable requirements of ANSI/IEEE Standard C57.12.00, C57.12.20 and C57.12.90. Transformers must also meet or exceed Department of Energy (DOE) efficiency standard 10 CFR Part 431 for distribution transformers.
- 1.3** The Bidder or manufacturer must have on his staff qualified service engineers available to investigate and assist the purchaser in case of defects found under the warranty.
- 1.4** The Bidder must warrantee that the transformers be of the kind and quality specified. If any failure to comply with the specifications appears within one year from date of energizing of equipment, the Bidder must correct the defects at his own expense, by repair or replacement of the defective part or parts provided the equipment was used in a manner as standard practice.
- 1.5** Should the manufacturer's manufacturing facilities reside outside of the United States, the Bidder shall, at their expense, send two representatives from FE to inspect such facilities.
- 1.6** The Bidder must protect transformers against damage in transit and shall be responsible for repair or replacement at his own expense for all damages until delivered FOB to Freeport Electric, Storeroom, 220 West Sunrise Highway, Freeport, New York 11520.
- 1.7** The Bidder must pay all expenses to deliver equipment to the above address. Unloading at site will be done by purchaser.
- 1.8** **DELIVERY SHALL BE MADE TO THE VILLAGE ON AN OPEN FLAT BED TRAILER.**

- 1.9** First delivery shall be made within ninety (90) days of issuance of Purchase Order.
- 1.10** Subsequent orders shall be delivered within sixty (60) days of releases.
- 1.11** The Bid prices shall remain firm for a period of three (3) years starting December 12, 2022 with a normal cost escalator, as specified in the bid, and with an option for one additional year.

## **2 Transformers**

- 2.1** Transformer voltages, bushing configurations, and kva sizes shall be as specified in Table I (Dual Voltage Transformers).
- 2.2** Temperature rise shall be 65°C.
- 2.3** Typ. Single phase transformers in accordance with this specification are shown on FE drawing CS-2268 and CS-2269 in Appendix B.
- 2.4** Insulating fluid shall be mineral oil conforming to the latest applicable requirements of the specifications below. The manufacturer shall certify the purity of insulating oil as having no measurable level of PCBs at the time of manufacture, and oil must conform to new oil standards when tested in accordance to the latest revisions of the following:
- ASTM D3487-00: Standard Specification for Mineral Insulating Oil Used in Electrical Apparatus.
  - ASTM D4059-00: Standard Method for Analysis of Polychlorinated Biphenyls in Mineral Insulating Oils by Gas Chromatography.
  - ASTM D1816-79: Standard Test Method for Dielectric Breakdown of Insulating Oils of Petroleum Origin Using VDE Electrodes.
  - ASTM D877-80: Standard Test Method for Dielectric Breakdown Voltage of Insulating Liquids Using Disk Electrodes.
  - ANSI C57.106: IEEE Guide for Acceptance and Maintenance of Insulating Oil in Equipment.

The following statement shall be embossed on the nameplate: “Non-PCB” when manufactured.

- 2.5** Transformer must be equipped with ¼ inch stainless steel NPT fitting located above the oil level near the cover. The following automatic pressure relief valve must be installed in the fitting :

QUALITROL – 202-030-01

Any other valve or venting must be approved, in writing, by FE.

- 2.6** Transformers must be equipped with a low voltage grounding connection consisting of an external copper link of adequate size, securely connecting the low voltage neutral terminal to the tank.
- 2.7** Transformers must have a tank grounding provision located near the bottom of the tank and must be provided with a solder less connector which will accommodate AWG No. 8 solid to No. 2 stranded copper. The following are approved tank ground connectors:

BURNDY CAT. NO. KC23B2 OR EQC632C

DOSSERT CAT. NO. DGN5S OR TGC-8-50

ANDERSON. CAT. NO. GTCL-23A

Any other tank ground connector must be approved, in writing, by FE.

- 2.8** Transformers shall be furnished with two hanger brackets suitable for direct pole mounting with no adapter plates required.
- 2.9** Transformer bushing material to be porcelain or polymer as specified below.
- Primary bushings shall be 15KV wet process gray porcelain or polymer, with a minimum BIL of 95KV, conforming to the latest requirements of ANSI/IEEE specifications with terminals suitable for copper conductors and the size of the terminals to accommodate #8 AWG sol. to #2 AWG str.
  - Secondary bushings must be either wet process gray porcelain or polymer insulators, having a minimum BIL of 30KV, conforming to the latest requirement of ANSI/IEEE specifications with terminals suitable for either copper or aluminum conductors and the size of the connectors to accommodate #6 AWG sol. to 4/0 str. Copper or Aluminum.
- 2.10** All primary and secondary bushings shall be marked per CS# 2268 and 2269 and conform to ANSI C57.12.70.
- 2.11** All electrical connections, bushing mounting bolts and cover attachment bolts require lock washers. Lock washers shall be fabricated from material that complies with the requirements of ANSI B18.21.1.
- 2.12** All external nuts and bolts must be stainless steel.
- 2.13** Transformer primary bushings shall be provided with bird and animal protection and have an enclosed hand wheel with integral connector.
- 2.14** Heavy duty lifting lugs welded to the tank shall be provided in accordance with the latest requirements of ANSI standards.

- 2.15** A corrosion resistant cover band shall be furnished with a stainless steel bolt, lock washer, and nut.
- 2.16** A stainless steel engraved nameplate with black lettering shall be furnished on the tank of the transformer and permanently affixed. Nameplate shall conform to the latest requirements of ANSI C57.12.00, Nameplate A.
- 2.17** The % impedance at 85°C and weight of each transformer shall be embossed on the transformer nameplate, regardless of KVA rating.
- 2.18** Each transformer must be supplied with the KVA rating stenciled on the transformer tank located near the base in line with the secondary bushings. This must be done with blue or black permanent ink. The KVA rating numerals shall be 2-1/2 inches in height.
- 2.19** The transformer overall height (including bushings) and weight shall not exceed the following values:

<u>SIZE KVA</u>	<u>HEIGHT (INCHES)</u>	<u>WEIGHT (LBS)</u>
15	40	300
25	44	425
37.5	47	550
50	50	700
75	50	900
100	50	1100
167	60	1600

- 2.20** Dual voltage transformers must be equipped with an externally operable dual voltage primary switch. Operating voltage shall be stenciled with one inch numerals on the transformer tank and the lever shall point to the operating voltage when in each voltage position. Transformers shall be delivered with operating lever locked in the 7970 volt position. Transformer lever shall afford a sufficiently strong mechanism so as not to allow lever operation when the transformer is energized.
- 2.21** Transformers must be supplied with a "plastic" coating (light gray color for identification purposes) on all external parts (tank, cover, and cover band). The plastic coating may be either double dipped epoxy coating, a fluidized bed vinyl coating, or an electrostatically applied resin. The coating on the transformer cover must have a minimum withstand rating of 10KV. All coatings must be tested in accordance with ANSI/IEEE C57.12.31, latest revision, and test results must be submitted to FE prior to acceptance. Any other method of coating must be approved, in writing, by FE.

### **3**      **Testing and Losses**

- 3.1**      Tests on transformers shall comprise the manufacturer's standard tests including resistance measurements of all windings; ratio tests; polarity and phase-relation tests; no-load loss at rated voltage; impedance; voltage and load loss at rated current; insulation power factor (Doble) tests, insulation oil tests, and dielectric tests. For oil-filled units manufacturer shall certify that the oil contains no PCBs and shall affix a label to that effect on the transformer tank.
- 3.2**      A record of the above tests shall be shipped with the transformer.
- 3.3**      The manufacturer shall provide certification upon request for all design and tests in accordance with the latest requirements of ANSI C57.12.00, and ANSI C57.12.90.

### **4**      **Evaluation**

- 4.1**      THE FOLLOWING DATA MUST BE SUPPLIED AT THE TIME OF BID:
  - a.**      Percent impedance at 85°C.
  - b.**      Percent regulation at 100% and 85%.
  - c.**      Percent average exciting current.
  - d.**      Guaranteed losses -- No load -- Full load.
  - e.**      Dimensions, height (“) and diameter (“).
  - f.**      Weight in pounds, including liquid.
  - g.**      Weight of core and coil. (also included on nameplate)
  - h.**      Gallons of insulating liquid. (also included on nameplate)
- 4.2**      Exceptions to the specification must be in writing and itemized in Appendix A. All exceptions will be reviewed and acceptability determined by FE during evaluation. If supplier does not take exception to specific items in this specification in writing, in Appendix A, FE will assume supplier is providing full and 100% compliance to this specification.
- 4.3**      Consideration of each manufacturer’s transformer will be dependent upon meeting the specification and supplying in full the data requested.

**FURNISHING OF OVERHEAD, POLE MOUNTED, SINGLE PHASE, DUAL VOLTAGE,  
DISTRIBUTION TRANSFORMERS**

DATE: \_\_\_\_\_

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

To: The Board of Trustees  
Village of Freeport  
Municipal Building  
Freeport, New York 11520

The undersigned declares that (he, they) (is, are) the only (person, persons) interested in the proposal and that (his, their) bid is made in good faith and without collusion or connection with any other person bidding for the same work. The undersigned further represents that (he, they) (is, are) complying with all requirements of New York State Law, including but not limited to those sections of the law regulating non-collusive bidding.

The undersigned also declares that (he, they) (has, have) carefully examined and fully (understands, understand) the Information for Bidders, the Form of Contract, Specifications, and the Form of Proposal and that (he, they) hereby (proposes, propose) to furnish all labor, machinery, tools, materials and incidentals necessary to deliver specified items to the Village of Freeport, New York in accordance with prices named in this Proposal at (his, their) own proper cost and expense and in a first-class manner and in accordance with the specifications and the foregoing "Instruction for Bidders", all of which are a part of the Contract to such an extent as they relate to or govern the obligations herein proposed to be assumed and in accordance with the directions or instructions by the Superintendent acting for the Village of Freeport.

**NOTE: DO NOT REMOVE THESE PROPOSAL PAGES FROM SPECIFICATION BOOK**

**NOTES:**

- 1) The Village of Freeport reserves the right to include or delete any items from the Contract or adjust the estimated quantity amount accordingly.
- 2) The low bidder will be determined from the Price of the item(s) chosen by the Village of Freeport. Award of the contract will be made based upon the lowest total estimated contract price. The Village reserves the right award contract to multiple bidders.
- 3) The Contractor is hereby forewarned that the Village reserves the right to reject any bid proposal and/or individual items wherein the Village believes the unit prices to be unbalanced.
- 4) Exceptions to the specification must be itemized. All exceptions will be reviewed and acceptability determined by FE during evaluation. If supplier does not take exception to specific items in this specification in writing, FE will assume supplier is providing full and 100% compliance to this specification.

In case of discrepancy between the Unit Price and the Grand Total Amount on the proposal sheet, the Unit Price shall prevail.

**NOTE: DO NOT REMOVE THESE PROPOSAL PAGES FROM SPECIFICATION BOOK**

## **NON-COLLUSIVE BIDDING CERTIFICATION**

1. a. By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of knowledge and belief:
  - i. The prices in this bid have been arrived at independently without collusion, consultation, communication, or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other bidder or with any competitor;
  - ii. Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the bidder and will not knowingly be disclosed by the bidder prior to opening, directly or indirectly, to any other bidder or to any competitor; and
  - iii. No attempt has been made or will be made by the bidder to induce any other person, partnership or corporation to submit or not to submit a bid for the purpose of restricting competition.
- b. A bid shall not be considered for award nor shall any award be made where (a) i and ii and iii above have not been complied with; provided, however, that if the bidder cannot make the foregoing certification, the bidder shall so state and shall furnish therefore. Where (a) i and ii and iii above have not been complied with, the bid shall not be considered for award nor shall any award be made unless the head of the purchasing unit of the political subdivision, public department, agency or official thereof to which the bid is made, or his designee, determines that such disclosure was not made for the purpose of restricting competition.

**PROPOSAL - CONT'D**

The fact that a bidder (a) has published price lists, rates, or tariffs covering items being procured, (b) has informed prospective customers of proposed or pending publication of new or revised price lists for such items, or (c) has sold the same items to other customers at the same prices being bid, does not constitute, without more, a disclosure within the meaning of subparagraph one (a).

Any bid hereafter made to any political subdivision of the state or any public department, agency or official thereof by a corporate bidder for work or services performed or to be performed or goods sold or to be sold, where competitive bidding is required by statute, rule, regulation, or local law, and where such bid contains the certification referred to in subdivision one of this section, shall be deemed to have been authorized by the board of directors of the bidder, and such authorization shall be deemed to include the signing and submission of the bid and the inclusion therein of the certificate as to non-collusion as the act and deed of the corporation.

BIDDER: \_\_\_\_\_

BIDDER'S ADDRESS: \_\_\_\_\_

BIDDER'S F.E.I.N.: \_\_\_\_\_

BIDDER'S TELEPHONE (DAY): \_\_\_\_\_

EMAIL: \_\_\_\_\_

FAX NUMBER: \_\_\_\_\_

SIGNED BY: \_\_\_\_\_

TITLE: \_\_\_\_\_

DATE: \_\_\_\_\_

The full name and residences of all persons and parties interested in the foregoing bid as principals are as follows:

NAME & TITLE	ADDRESS
_____	_____
_____	_____
_____	_____
_____	_____

NAME OF BIDDER: \_\_\_\_\_

BUSINESS ADDRESS OF BIDDER:  
\_\_\_\_\_

DATED: THE \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_

## REFERENCES

Bidder is to provide three (3) references that are currently using the specific product proposed to be furnished.

1)

Name: \_\_\_\_\_

Company: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone: \_\_\_\_\_

2)

Name: \_\_\_\_\_

Company: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone: \_\_\_\_\_

3)

Name: \_\_\_\_\_

Company: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone: \_\_\_\_\_

**BID PROPOSAL**

**Furnishing of Overhead, Pole Mounted,  
Single Phase, Dual Voltage, Distribution Transformers  
as per specifications, or equal**

FREEPORT ELECTRIC TABLE I – Dual Voltage Transformers

ITEM NO.	KVA	VOLTAGE	HIGH VOLTAGE BUSHINGS	*ESTIMATED QUANTITY	PRICE EACH	FIRST DELIVERY
1.	15	4160 GRD Y / 2400 X 13800 /7970 - 120/240	SINGLE	10		
2.	25	4160 GRD Y / 2400 X 13800 /7970 - 120/240	SINGLE	10		
3.	37.5	4160 GRD Y / 2400 X 13800 /7970 - 120/240	SINGLE	10		
4.	50	4160 GRD Y / 2400 X 13800 /7970 - 120/240	SINGLE	10		
5.	75	4160 GRD Y / 2400 X 13800 /7970 - 120/240	SINGLE	10		
6.	100	4160 GRD Y / 2400 X 13800 /7970 - 120/240	SINGLE	3		
7.	167	2400/4160 Y X 7970/13800 Y – 120/240	DUAL	3		
8.	250	2400/4160 Y X 7970/13800 Y – 120/240	DUAL	3		
9.	333	2400/4160 Y X 7970/13800 Y – 120/240	DUAL	3		
10.	50	4160 GRD Y / 2400 X 13800 /7970 - 277	SINGLE	10		
11.	75	4160 GRD Y / 2400 X 13800 /7970 - 277	SINGLE	10		
12.	100	4160 GRD Y / 2400 X 13800 /7970 - 277	SINGLE	10		

***\*Quantities are for Bidding purposes only. Actual orders will vary.***

**TOTAL AMOUNT OF BID FOR ITEMS** BASED ON THE ATTACHED SPECIFICATIONS, TO PROVIDE ALL MATERIAL, THE SUM OF:

---

---

(TOTAL PRICE BID WRITTEN IN WORDS)

\$ \_\_\_\_\_

(FIGURES)

**MANUFACTURER'S INFORMATION**

NAME OF TRANSFORMER MANUFACTURER \_\_\_\_\_

ADDRESS \_\_\_\_\_

TELEPHONE NUMBER \_\_\_\_\_

FAX NO. \_\_\_\_\_

DATE \_\_\_\_\_

**BID PROPOSAL**  
**Overhead, Pole Mounted, Single Phase, Dual Voltage,**  
**Distribution Transformers**

Name of Bidder: \_\_\_\_\_

Address: \_\_\_\_\_

City & State: \_\_\_\_\_

Telephone No.: \_\_\_\_\_

Fax No.: \_\_\_\_\_

---

<i>(Print Name)</i>	<i>(Title)</i>	<i>(Telephone No.)</i>
<hr/>		
<i>(Signature of Bidder)</i>	<i>(Date)</i>	

**Note:**

**THIS BID MAY BE WITHDRAWN AT ANY TIME PRIOR TO THE SCHEDULED TIME FOR OPENING OF BIDS.**

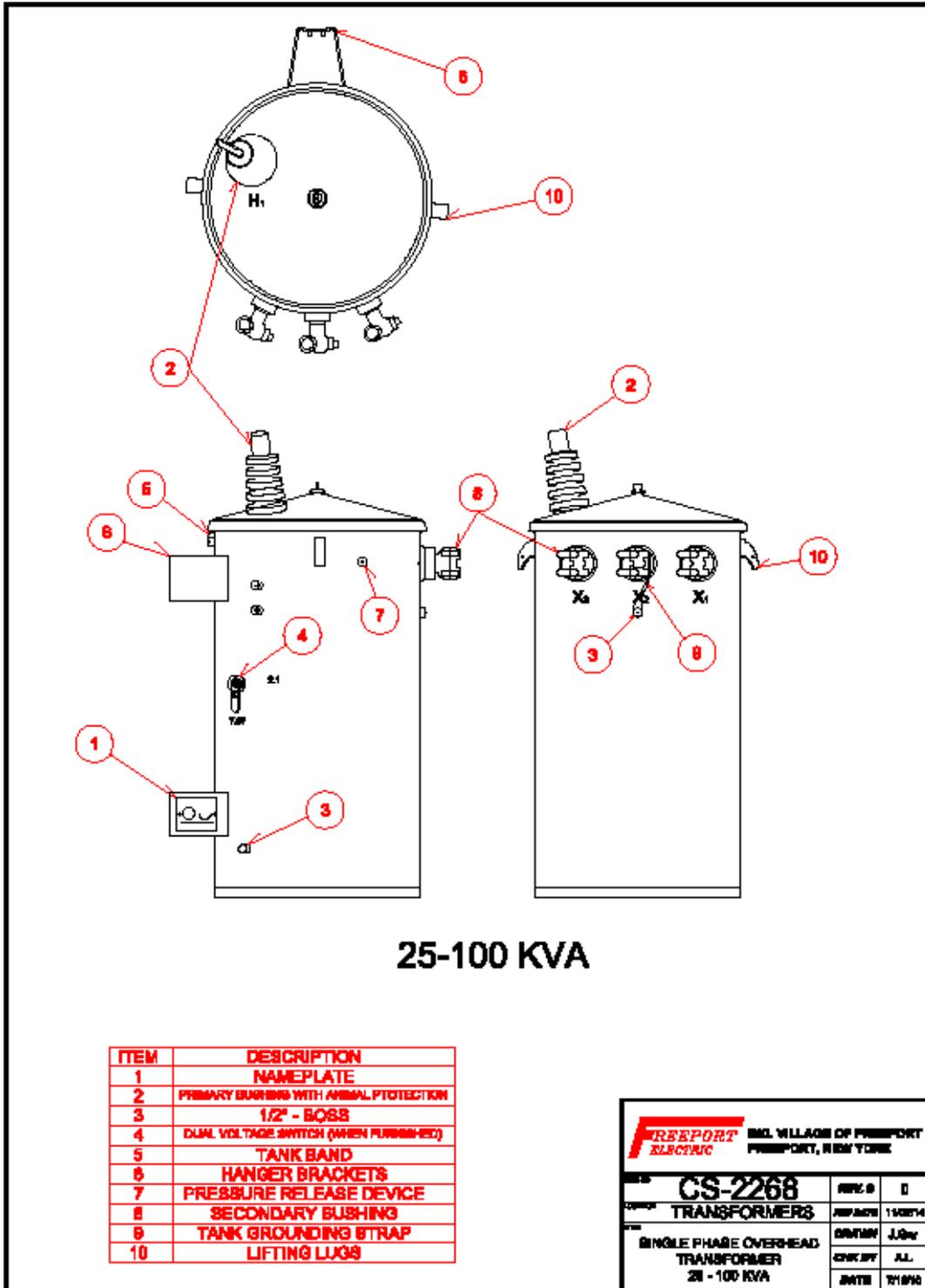
**Proposals shall be made on the proper forms provided for that purpose and complete documents shall be submitted. Bids submitted in any other form or under conditions other than specified may be rejected.**

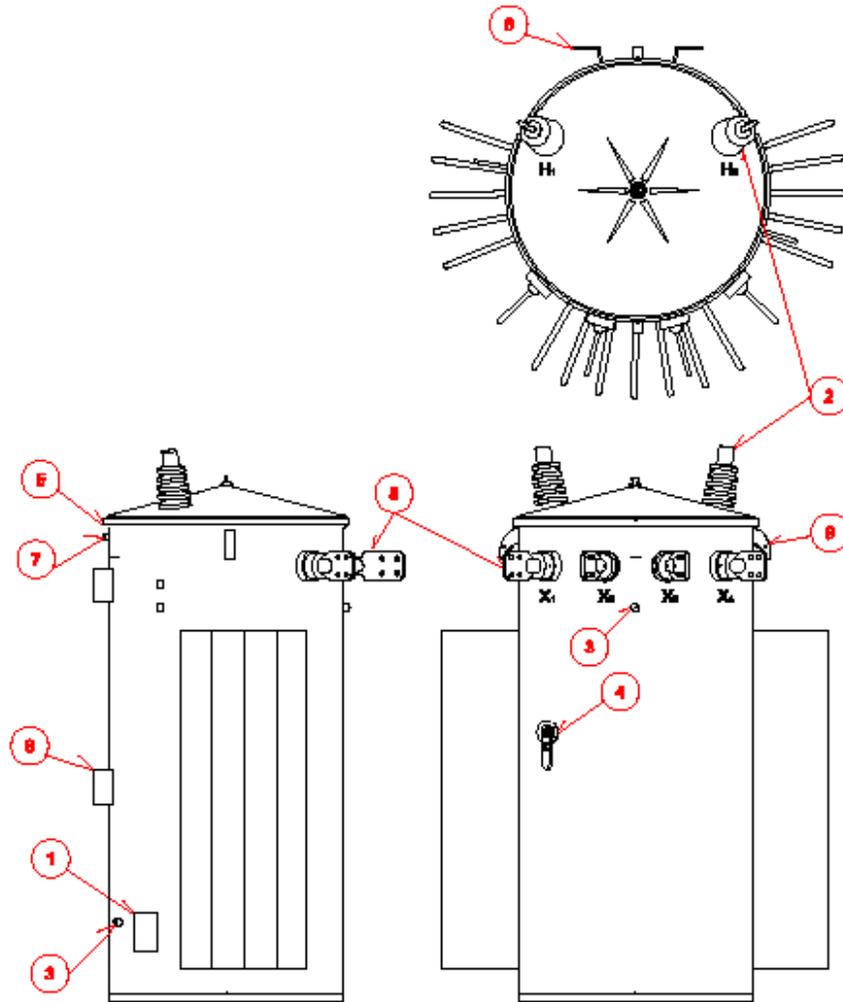
**PLEASE NOTIFY US IMMEDIATELY IF YOU CANNOT BID THIS ITEM.**



## APPENDIX B

### TRANSFORMER DRAWINGS





**167 - 500 KVA**

ITEM	DESCRIPTION
1	NAMEPLATE
2	PRIMARY BUSHING WITH ANIMAL PROTECTION
3	1/2" - BOSS
4	DUAL VOLTAGE SWITCH (WHEN FURNISHED)
5	TANK BAND
6	HANGER BRACKETS
7	PRESSURE RELEASE DEVICE
8	SECONDARY BUSHING
9	LIFTING LUGS

		8811 VILLAGE OF FREEPORT FREEPORT, NEW YORK	
MODEL <b>CS-2269</b>	REV. # 0	DATE 11/02/14	D 
COMPANY <b>TRANSFORMERS</b>	DRAWN J.S.W.	CHECK BY A.L.	
TYPE <b>SINGLE PHASE OVERHEAD          TRANSFORMER          167 - 500 KVA</b>	DATE 11/01/14		

**INCORPORATED VILLAGE OF FREEPORT**  
*INTER-DEPARTMENT CORRESPONDENCE*

**Date:** August 26, 2022

**To:** Mayor Robert T. Kennedy

**From:** Al Livingston Jr., Superintendent of Electric Utilities

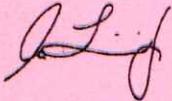
**Re:** Request to Advertise  
Bid #22-11-ELEC-623  
Furnishing of Overhead, Pole Mounted, Single Phase, Single Voltage, Distribution Transformers

---

Attached please find specifications for Overhead, Pole Mounted, Single Phase, Single Voltage, Distribution Transformers. These transformers are used to maintain the Village's distribution system. The specifications cover a period of three (3) years with an option for a fourth year. The estimated quantity of thirty (30) units over a three or four year period will allow the Utility to order only the necessary units needed. Therefore, we will not have to store a large inventory of these transformers. Also, the delivery time will be cut to eight weeks versus up to six months or later.

I request authorization to advertise a Notice to Bidders on September 8, 2022 in the Freeport Leader and other relevant publications. Specifications would be available from September 12, 2022 to November 4, 2022. The bids would have a returnable date of November 8, 2022. Attached is a copy of the Notice to Bidders for your review.

The cost of the transformers will be charged to Account #E 123000 (Inventory). There are sufficient funds available for this expense.

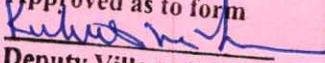


Al Livingston Jr.  
Superintendent of Electric Utilities

AL:db

Attachments

c: Howard Colton, Village Attorney  
Kim Weltner, Purchasing Agent  
Pamela Walsh Boening, Village Clerk  
Peggy Lester, Mayor's Office  
Anthony Dalessio, Comptroller

Approved as to form  
  
Deputy Village Attorney

It was moved by Trustee \_\_\_\_\_, and seconded by Trustee \_\_\_\_\_, that the following resolution be adopted:

**WHEREAS**, the Superintendent of Electric Utilities is requesting to advertise a Notice to Bidders, Bid #22-11-Elec-623, for the Furnishing of Overhead, Pole Mounted, Single Phase, Single Voltage, Distribution Transformers; and

**WHEREAS**, these transformers are used to maintain the Village's distribution system; and

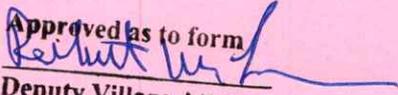
**WHEREAS**, the specifications cover a period of three (3) years with an option for a fourth year; the estimated quantity of thirty (30) units over a three or four year period will allow the Utility to order only the necessary units needed; and

**WHEREAS**, the cost of the transformers and installation will be charged to Account #E 123000 (Inventory), and there are sufficient funds available for this expense; and

**NOW THEREFORE BE IT RESOLVED**, that based upon the recommendation of the Superintendent of Electric Utilities, the Village Clerk be and hereby is authorized to advertise a Notice to Bidders, "Bid #22-11-Elec-623, for the Furnishing of Overhead, Pole Mounted, Single Phase, Single Voltage, Distribution Transformers", in the Freeport Herald Leader and other relevant publications of general circulation on September 8, 2022 with specifications available from September 12, 2022 to November 4, 2022, with a return date of November 8, 2022.

The Clerk polled the Board at follows:

Deputy Mayor Ellerbe	VOTING
Trustee Martinez	VOTING
Trustee Squeri	VOTING
Trustee Sanchez	VOTING
Mayor Kennedy	VOTING

Approved as to form  
  
Deputy Village Attorney

# **NOTICE TO BIDDERS**

**BID #22-11-ELEC-623**

**FURNISHING OF OVERHEAD, POLE MOUNTED, SINGLE PHASE, SINGLE  
VOLTAGE, DISTRIBUTION TRANSFORMERS  
FOR  
THE INCORPORATED VILLAGE OF FREEPORT  
ELECTRIC DEPARTMENT  
NASSAU COUNTY, NEW YORK**

Notice is hereby given that the Purchasing Agent of the Incorporated Village of Freeport, New York will receive sealed proposals for the “Furnishing of Overhead, Pole Mounted, Single Phase, Single Voltage, Distribution Transformers” until 11:00 A.M. on Tuesday, November 8, 2022, in the Main Conference Room of the Municipal Building, 46 North Ocean Avenue, Freeport, New York 11520, at which time and place they will be opened publicly and read aloud.

Specifications, proposal and proposed contracts may be seen and obtained at the Office of the Purchasing Agent, Municipal Building, 1st Floor, 46 North Ocean Avenue, Freeport, New York 11520, from 9:00 A.M. on Monday, September 12, 2022, until 4:00 P.M. on Friday, November 4, 2022, or by visiting the Village’s Website at [www.freeportny.gov](http://www.freeportny.gov).

The Board reserves the right to reject any or all bid proposals received and subject to these reservations, shall award the contract to the lowest qualified and responsible bidder(s). Bids which, in the opinion of the Board, are unbalanced shall be rejected.

In submitting a bid, bidders agree not to withdraw their bid within forty-five (45) days after the date for the opening thereof.

Kim Weltner  
Purchasing Agent  
Village of Freeport

Issue Date – September 8, 2022

# VILLAGE OF FREEPORT

Nassau County, New York



**Contract and Specifications For**

**FURNISHING OF OVERHEAD, POLE MOUNTED, SINGLE PHASE,  
SINGLE VOLTAGE, DISTRIBUTION TRANSFORMERS**

**BID #22-11-ELEC-623**

**MAYOR  
ROBERT T. KENNEDY**

**TRUSTEES**

**RONALD J. ELLERBE      JORGE A. MARTINEZ  
CHRISTOPHER SQUERI    EVETTE SANCHEZ**

**PAMELA WALSH BOENING, VILLAGE CLERK  
HOWARD COLTON, VILLAGE ATTORNEY  
ISMAELA HERNANDEZ, TREASURER  
KIM WELTNER, PURCHASING AGENT**



**Al Livingston Jr., Superintendent  
Inc. Village of Freeport**

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## **NOTICE TO BIDDERS**

**BID #22-11-ELEC-623**

**FURNISHING OF OVERHEAD, POLE MOUNTED, SINGLE PHASE, SINGLE VOLTAGE,  
DISTRIBUTION TRANSFORMERS  
FOR  
THE INCORPORATED VILLAGE OF FREEPORT  
ELECTRIC DEPARTMENT  
NASSAU COUNTY, NEW YORK**

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In submitting a bid, bidders agree not to withdraw their bid within forty-five (45) days after the date for the opening thereof.

Kim Weltner  
Purchasing Agent  
Village of Freeport

Issue Date – September 8, 2022

## **NON-COLLUSIVE BIDDING CERTIFICATION**

By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of his knowledge and belief:

- (1) The prices in this bid have been arrived at independently without collusion,
- (2) Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the bidder and will not knowingly be disclosed by the bidder prior to opening, directly or indirectly, to any other bidder or to any competitor; and;
- (3) No attempt has been made or will be made by the bidder to induce any other person, partnership or corporation to submit or not to submit a bid for the purpose of restricting competition.
- (4) That all requirements of law including mandatory provisions as to non-collusive bidding have been complied with.

## **WAIVER OF IMMUNITY**

Pursuant to the provisions of Chapter 605 of the laws of 1959, as amended, if any person when called to testify before a grand jury concerning any transaction or contract with the State of New York, or a political subdivision thereof, or a public authority, or a public department, agency or official of any of the foregoing, refuses to sign a waiver of immunity against subsequent criminal prosecution or to answer any relevant questions concerning such transaction or contract, then, any such person, or any firm, partnership or corporation of which he is a member, partner, director or officer shall be disqualified for a period of five (5) years after such refusal from submitting bids to, receiving awards, or entering into any contract with any municipal corporation or department or agency or official thereof. If such person refused to sign a waiver of immunity or to answer any relevant question as aforesaid, then this contract may be canceled or terminated by the Incorporated Village of Freeport without the Village incurring any penalty or damages by virtue of such cancellation or termination.

## **STATEMENT OF EQUALITY**

Reference to trade names, manufacturer's names, minute details and/or methods of manufacture including material specifications, and/or model numbers in the specifications affixed hereto is merely intended to indicate a standard of excellence and/or to more suitably detail and explain the type of product desired. Variations from specifications which do not materially affect the operational capability, the ease of maintenance, the physical ability to fit into space availability, the long time operational economics, and/or spare parts stock and/or procurement shall not preclude the products of any and/or all manufacturers from being given due consideration in respect to the award of contract.

## **INSTRUCTIONS TO BIDDERS**

### **1. PROJECT IDENTIFICATION**

These instructions are relative to the Village of Freeport Electric Department Project:  
“Furnishing of Overhead, Pole Mounted, Single Phase, Single Voltage,  
Distribution Transformers”

### **2. DOCUMENT AVAILABILITY**

Specifications, proposal and proposed contracts may be seen and obtained at the Office of the Purchasing Agent, from 9:00 A.M. on Monday, September 12, 2022, until 4:00 P.M. on Friday, November 4, 2022.

All Vendors must leave their names, telephone number, fax number and correct mailing addresses upon receipt of the plans and specifications.

### **3. FEE FOR BID DOCUMENTS**

No deposit and/or fee is required for a set of bid documents and/or specifications under this contract.

### **4. FORM**

Each proposal shall be made on the “Proposal Form” attached hereto and shall remain attached hereto as one of the bid documents and shall be submitted in a sealed envelope clearly marked “Furnishing of Overhead, Pole Mounted, Single Phase, Single Voltage, Distribution Transformers”, together with the name of the bidder. One original copy and one electronic copy shall be submitted.

The proposal shall include a sum to cover the cost of all items included in the bid documents and shall be identified by the name of the person, firm or corporation submitting the proposal including the authorized signature thereto.

### **5. DELIVERY OF PROPOSALS**

This entire specification and proposal form must be returned in a SEALED envelope. Proposals shall be delivered by the time and place stipulated in the Advertisement and Notice to Bidders. Bid proposals shall be addressed to:

Kim Weltner  
Purchasing Agent  
Inc. Village of Freeport  
46 North Ocean Avenue  
Freeport, NY 11520

Each bid must be headed by the name of the bidder and the address of his principal office or principal place of business. Bids containing only a post office box as a mailing address will be deemed inadequate and may, at the discretion of the Purchaser, be rejected. In the case a bid is made by a corporation, the same shall be signed by a legally authorized agent of the corporation.

**6. TAXES**

Do not include Federal, State and other taxes in bid price. The Village of Freeport is exempt from payment of sales tax pursuant to Sec. 1116(a) (1) of the Tax Laws of the State of New York.

The successful bidder shall take necessary steps to eliminate the sales tax on purchases to be used under this contract and any projected sales tax expense shall not be included in the bid submitted. If for any reason the successful bidder is legally unable to secure a sales tax exemption, upon proof of payment, the disbursement of the successful bidder will be added to the contract price and will be reimbursed with the final payment.

**7. BID SECURITY**

Not required.

**8. QUALIFICATIONS OF BIDDERS**

- a) The Village reserves the right to reject any and all bids which do not conform to the proposals, or upon which the bidders do not comply with requirements of the Village as to their qualifications.
- b) All bidders must prove to the satisfaction of the Village that they are reputable, reliable and responsible, and that they possess the necessary qualifications (financial, labor, equipment and otherwise) to successfully deliver the proposed materials, and that they have completed successfully similar contracts to an extent which, in the opinion of the Village, will qualify them as a reputable firm.
- c) The Village shall be the sole judge on the qualifications of the bidders and of the merits thereof and reserves the right to reject any bid if the record of the bidder in the performance of contracts, payment of bills and meeting of obligations to subcontractors, materialmen or employees is not satisfactory to the Village, or if the evidence submitted by or the investigation of such bidders fails to satisfy the Village that he is properly qualified to carry out the obligations of the contract and to complete the contract contemplated therein.

**9. INTERPRETATION OF DOCUMENTS**

If any person contemplating submitting a bid for the proposed project is in doubt as to the true meaning of any part of the specifications, he may promptly submit to the Superintendent of Electric Utilities a written request for an interpretation thereof. The Superintendent of Electric Utilities shall furnish the prospective bidder with a written response directly, prior to the deadline for submitting the bid. The making of any necessary inquiry will be the bidder's responsibility. Oral answers will not be binding on the Purchaser. Contact the Superintendent of Electric Utilities at

(516) 377-2220 or [procurement@freeportny.gov](mailto:procurement@freeportny.gov) with any questions.

**10. ADDENDUM**

Any addendum issued during the time of bidding, or forming a part of the bid documents for preparation of proposals, shall be covered in the proposal, and shall be made a part of the proposal. Receipt of each addendum shall be acknowledged in the proposal by entering the title, date and signature of person signing the proposal.

**11. MODIFICATIONS**

Proposals shall not contain any recapitulation of the work to be done. Modifications, exceptions or oral proposals will not be considered, unless covered in an approved written addendum executed by the Superintendent of Electric Utilities and acknowledged by the Purchasing Agent.

**12. CORRECTIONS**

Erasures or other corrections in the bid proposal must be initialed by the person signing the bid proposal.

**13. WITHDRAWAL**

Pursuant to §105 of the General Municipal Law of the State of New York, a bidder may withdraw his bid at any time prior to the scheduled time for the opening of the bids. However, once the bids have been opened, no bidder may withdraw his bid for a period of forty-five (45) days from the date of opening of the bids.

**14. SUBLETTING OR ASSIGNING THE CONTRACT**

Pursuant to §109 of the General Municipal Law of the State of New York, no contractor to whom any contract shall be let, granted or awarded, as required by law, shall assign, transfer, convey, sublet or otherwise dispose of the same, or his right, title or interest therein, or his power to execute such contract, to any other person or corporation without the prior written consent of the Incorporated Village of Freeport.

**15. MULTIPLE PROPOSALS**

No person, firm or corporation shall be allowed to make more than one proposal for the same work. A person, firm or corporation who has submitted a proposal to a bidder, or who has quoted prices on materials to a bidder, is not hereby disqualified from submitting a proposal or quoting prices to other bidders.

**16. AGREEMENT**

The bidder to whom a contract may be awarded shall attend at the office of the Superintendent of Electric Utilities, within ten (10) days, Sunday excepted after date of notification of the acceptance

of his proposal, and there sign the contract in quadruplicate for the work.

In case of failure to do so, the bidder shall be considered as having abandoned the bid, and the check accompanying the proposal shall be forfeited to the Village.

**17. GUARANTEE**

Attention is hereby particularly directed to the provisions of the contract whereby the Contractor will be responsible for any loss or damage that may happen to the materials during delivery and before acceptance; and also whereby the Contractor shall make good any defects within twelve (12) months after its acceptance and prior to being put in use. Any progress payments made by the Village shall not be a waiver of the foregoing provision.

**18. RIGHT TO REJECT BIDS**

The Village reserves the right to reject any and all bids and to waive any informality in the bids received, and to accept the bid most favorable to the interest of the owner, after all bids have been examined and checked.

**19. EXECUTION**

If the Contract is not executed by the Village within forty-five (45) days after the receipt of bids, the obligation of the bidder under this proposal may terminate at his option and he shall thereupon be entitled to a refund of his certified check or release of his bid bond furnished by him as security with his proposal.

**20. DELIVERY**

Prices must include all applicable warranties. Deliver to: Freeport Electric, Storeroom, 220 West Sunrise Highway, Freeport, New York 11520.

SPECIFICATION FOR  
OVERHEAD, POLE MOUNTED,  
SINGLE PHASE, SINGLE VOLTAGE,  
DISTRIBUTION TRANSFORMERS

INC. VILLAGE OF FREEPORT

ELECTRIC DEPARTMENT

(Freeport Electric)

Revised 1/2015

**Title:** Specification for Overhead, Pole Mounted, Single Phase, Single Voltage, Distribution Transformers.

**Application:** These transformers are intended for use as distribution transformers on poles in Freeport Electric's (FE) distribution system.

---

## **Specification**

### **1 General**

- 1.1** This specification applies to the purchase of Single Phase, Single Voltage Primary, Pole Mounted Distribution Transformers over a three (3) year period starting December 12, 2022, described in Table I as follows.
- 1.2** The transformers furnished under these specifications must be designed, fabricated and tested in accordance with all the latest applicable requirements of ANSI/IEEE Standard C57.12.00, C57.12.20 and C57.12.90. Transformers must also meet or exceed Department of Energy (DOE) efficiency standard 10 CFR Part 431 for distribution transformers.
- 1.3** The Bidder or manufacturer must have on his staff qualified service engineers available to investigate and assist the purchaser in case of defects found under the warranty.
- 1.4** The Bidder must warrantee that the transformers be of the kind and quality specified. If any failure to comply with the specifications appears within one year from date of energizing of equipment, the Bidder must correct the defects at his own expense, by repair or replacement of the defective part or parts provided the equipment was used in a manner as standard practice.
- 1.5** Should the manufacturer's manufacturing facilities reside outside of the United States, the Bidder shall, at their expense, send two representatives from FE to inspect such facilities.
- 1.6** The Bidder must protect transformers against damage in transit and shall be responsible for repair or replacement at his own expense for all damages until delivered FOB to Freeport Electric, Storeroom, 220 West Sunrise Highway, Freeport, New York 11520.
- 1.7** The Bidder must pay all expenses to deliver equipment to the above address. Unloading at site will be done by purchaser.
- 1.8** **DELIVERY SHALL BE MADE TO THE VILLAGE ON AN OPEN FLAT BED TRAILER.**
- 1.9** First delivery shall be made within ninety (90) days of issuance of Purchase Order.

- 1.10** Subsequent orders shall be delivered within sixty (60) days of releases.
- 1.11** The Bid prices shall remain firm for a period of three (3) years starting December 12 2022 with a normal cost escalator, as specified in the bid, and with an option for one additional year.

## **2 Transformers**

- 2.1** Transformer voltages, bushing configurations, and kva sizes shall be as specified in Table I (Single Voltage Transformer).
- 2.2** Temperature rise shall be 65°C.
- 2.3** Typ. Single phase transformers in accordance with this specification are shown on FE drawing CS-2268 and CS-2269 in Appendix B.
- 2.4** Insulating fluid shall be mineral oil conforming to the latest applicable requirements of the specifications below. The manufacturer shall certify the purity of insulating oil as having no measurable level of PCBs at the time of manufacture, and oil must conform to new oil standards when tested in accordance to the latest revisions of the following:
- ASTM D3487-00: Standard Specification for Mineral Insulating Oil Used in Electrical Apparatus.
  - ASTM D4059-00: Standard Method for Analysis of Polychlorinated Biphenyls in Mineral Insulating Oils by Gas Chromatography.
  - ASTM D1816-79: Standard Test Method for Dielectric Breakdown of Insulating Oils of Petroleum Origin Using VDE Electrodes.
  - ASTM D877-80: Standard Test Method for Dielectric Breakdown Voltage of Insulating Liquids Using Disk Electrodes.
  - ANSI C57.106: IEEE Guide for Acceptance and Maintenance of Insulating Oil in Equipment.

The following statement shall be embossed on the nameplate: “Non-PCB” when manufactured.

- 2.5** Transformer must be equipped with ¼ inch stainless steel NPT fitting located above the oil level near the cover. The following automatic pressure relief valve must be installed in the fitting :

QUALITROL – 202-030-01

Any other valve or venting must be approved, in writing, by FE.

- 2.6** Transformers must be equipped with a low voltage grounding connection consisting of an external copper link of adequate size, securely connecting the low voltage neutral terminal to the tank.
- 2.7** Transformers must have a tank grounding provision located near the bottom of the tank and must be provided with a solder less connector which will accommodate AWG No. 8 solid to No. 2 stranded copper. The following are approved tank ground connectors:
- BURNDY CAT. NO. KC23B2 OR EQC632C
- DOSSERT CAT. NO. DGN5S OR TGC-8-50
- ANDERSON. CAT. NO. GTCL-23A
- Any other tank ground connector must be approved, in writing, by FE.
- 2.8** Transformers shall be furnished with two hanger brackets suitable for direct pole mounting with no adapter plates required.
- 2.9** Transformer bushing material to be porcelain or polymer as specified below.
- Primary bushings shall be 15KV wet process gray porcelain or polymer, with a minimum BIL of 95KV, conforming to the latest requirements of ANSI/IEEE specifications with terminals suitable for copper conductors and the size of the terminals to accommodate #8 AWG sol. to #2 AWG str.
  - Secondary bushings must be either wet process gray porcelain or polymer insulators, having a minimum BIL of 30KV, conforming to the latest requirement of ANSI/IEEE specifications with terminals suitable for either copper or aluminum conductors and the size of the connectors to accommodate #6 AWG sol. to 4/0 str. Copper or Aluminum.
- 2.10** All primary and secondary bushings shall be marked per CS# 2268 and 2269 and conform to ANSI C57.12.70.
- 2.11** All electrical connections, bushing mounting bolts and cover attachment bolts require lock washers. Lock washers shall be fabricated from material that complies with the requirements of ANSI B18.21.1.
- 2.12** All external nuts and bolts must be stainless steel.
- 2.13** Transformer primary bushings shall be provided with bird and animal protection and have an enclosed hand wheel with integral connector.
- 2.14** Heavy duty lifting lugs welded to the tank shall be provided in accordance with the latest requirements of ANSI standards.
- 2.15** A corrosion resistant cover band shall be furnished with a stainless steel bolt, lock washer, and nut.

- 2.16** A stainless steel engraved nameplate with black lettering shall be furnished on the tank of the transformer and permanently affixed. Nameplate shall conform to the latest requirements of ANSI C57.12.00, Nameplate A.
- 2.17** The % impedance at 85°C and weight of each transformer shall be embossed on the transformer nameplate, regardless of KVA rating.
- 2.18** Each transformer must be supplied with the KVA rating stenciled on the transformer tank located near the base in line with the secondary bushings. This must be done with blue or black permanent ink. The KVA rating numerals shall be 2-1/2 inches in height.
- 2.19** The transformer overall height (including bushings) and weight shall not exceed the following values:

<u>SIZE KVA</u>	<u>HEIGHT (INCHES)</u>	<u>WEIGHT (LBS)</u>
15	40	300
25	44	425
37.5	47	550
50	50	700
75	50	900
100	50	1100
167	60	1600

- 2.20** Transformers must be supplied with a "plastic" coating (light gray color for identification purposes) on all external parts (tank, cover, and cover band). The plastic coating may be either double dipped epoxy coating, a fluidized bed vinyl coating, or an electrostatically applied resin. The coating on the transformer cover must have a minimum withstand rating of 10KV. All coatings must be tested in accordance with ANSI/IEEE C57.12.31, latest revision, and test results must be submitted to FE prior to acceptance. Any other method of coating must be approved, in writing, by FE.

### **3**      **Testing and Losses**

- 3.1**      Tests on transformers shall comprise the manufacturer's standard tests including resistance measurements of all windings; ratio tests; polarity and phase-relation tests; no-load loss at rated voltage; impedance; voltage and load loss at rated current; insulation power factor (Doble) tests, insulation oil tests, and dielectric tests. For oil-filled units manufacturer shall certify that the oil contains no PCBs and shall affix a label to that effect on the transformer tank.
- 3.2**      A record of the above tests shall be shipped with the transformer.
- 3.3**      The manufacturer shall provide certification upon request for all design and tests in accordance with the latest requirements of ANSI C57.12.00, and ANSI C57.12.90.

### **4**      **Evaluation**

- 4.1**      THE FOLLOWING DATA MUST BE SUPPLIED AT THE TIME OF BID:
  - a.** Percent impedance at 85°C.
  - b.** Percent regulation at 100% and 85%.
  - c.** Percent average exciting current.
  - d.** Guaranteed losses -- No load -- Full load.
  - e.** Dimensions, height (“) and diameter (“).
  - f.** Weight in pounds, including liquid.
  - g.** Weight of core and coil. (also included on nameplate)
  - h.** Gallons of insulating liquid. (also included on nameplate)
- 4.2**      Exceptions to the specification must be in writing and itemized in Appendix A. All exceptions will be reviewed and acceptability determined by FE during evaluation. If supplier does not take exception to specific items in this specification in writing, in Appendix A, FE will assume supplier is providing full and 100% compliance to this specification.
- 4.3**      Consideration of each manufacturer’s transformer will be dependent upon meeting the specification and supplying in full the data requested.

**FURNISHING OF OVERHEAD, POLE MOUNTED, SINGLE PHASE, SINGLE VOLTAGE,  
DISTRIBUTION TRANSFORMERS**

DATE: \_\_\_\_\_

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

To: The Board of Trustees  
Village of Freeport  
Municipal Building  
Freeport, New York 11520

The undersigned declares that (he, they) (is, are) the only (person, persons) interested in the proposal and that (his, their) bid is made in good faith and without collusion or connection with any other person bidding for the same work. The undersigned further represents that (he, they) (is, are) complying with all requirements of New York State Law, including but not limited to those sections of the law regulating non-collusive bidding.

The undersigned also declares that (he, they) (has, have) carefully examined and fully (understands, understand) the Information for Bidders, the Form of Contract, Specifications, and the Form of Proposal and that (he, they) hereby (proposes, propose) to furnish all labor, machinery, tools, materials and incidentals necessary to deliver specified items to the Village of Freeport, New York in accordance with prices named in this Proposal at (his, their) own proper cost and expense and in a first-class manner and in accordance with the specifications and the foregoing "Instruction for Bidders", all of which are a part of the Contract to such an extent as they relate to or govern the obligations herein proposed to be assumed and in accordance with the directions or instructions by the Superintendent acting for the Village of Freeport.

**NOTE: DO NOT REMOVE THESE PROPOSAL PAGES FROM SPECIFICATION BOOK**

**NOTES:**

- 1) The Village of Freeport reserves the right to include or delete any items from the Contract or adjust the estimated quantity amount accordingly.
- 2) The low bidder will be determined from the price of the item(s) chosen by the Village of Freeport. Award of the contract will be made based upon the lowest total estimated contract price. The Village reserves the right award contract to multiple bidders.
- 3) The Contractor is hereby forewarned that the Village reserves the right to reject any bid proposal and/or individual items wherein the Village believes the unit prices to be unbalanced.
- 4) Exceptions to the specification must be itemized. All exceptions will be reviewed and acceptability determined by FE during evaluation. If supplier does not take exception to specific items in this specification in writing, FE will assume supplier is providing full and 100% compliance to this specification.

In case of discrepancy between the Unit Price and the Grand Total Amount on the proposal sheet, the Unit Price shall prevail.

**NOTE: DO NOT REMOVE THESE PROPOSAL PAGES FROM SPECIFICATION BOOK**

## **NON-COLLUSIVE BIDDING CERTIFICATION**

1. a. By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of knowledge and belief:
  - i. The prices in this bid have been arrived at independently without collusion, consultation, communication, or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other bidder or with any competitor;
  - ii. Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the bidder and will not knowingly be disclosed by the bidder prior to opening, directly or indirectly, to any other bidder or to any competitor; and
  - iii. No attempt has been made or will be made by the bidder to induce any other person, partnership or corporation to submit or not to submit a bid for the purpose of restricting competition.
- b. A bid shall not be considered for award nor shall any award be made where (a) i and ii and iii above have not been complied with; provided, however, that if the bidder cannot make the foregoing certification, the bidder shall so state and shall furnish therefore. Where (a) i and ii and iii above have not been complied with, the bid shall not be considered for award nor shall any award be made unless the head of the purchasing unit of the political subdivision, public department, agency or official thereof to which the bid is made, or his designee, determines that such disclosure was not made for the purpose of restricting competition.

**PROPOSAL - CONT'D**

The fact that a bidder (a) has published price lists, rates, or tariffs covering items being procured, (b) has informed prospective customers of proposed or pending publication of new or revised price lists for such items, or (c) has sold the same items to other customers at the same prices being bid, does not constitute, without more, a disclosure within the meaning of subparagraph one (a).

Any bid hereafter made to any political subdivision of the state or any public department, agency or official thereof by a corporate bidder for work or services performed or to be performed or goods sold or to be sold, where competitive bidding is required by statute, rule, regulation, or local law, and where such bid contains the certification referred to in subdivision one of this section, shall be deemed to have been authorized by the board of directors of the bidder, and such authorization shall be deemed to include the signing and submission of the bid and the inclusion therein of the certificate as to non-collusion as the act and deed of the corporation.

BIDDER: \_\_\_\_\_

BIDDER'S ADDRESS: \_\_\_\_\_

BIDDER'S F.E.I.N.: \_\_\_\_\_

BIDDER'S TELEPHONE (DAY): \_\_\_\_\_

EMAIL: \_\_\_\_\_

FAX NUMBER: \_\_\_\_\_

SIGNED BY: \_\_\_\_\_

TITLE: \_\_\_\_\_

DATE: \_\_\_\_\_

The full name and residences of all persons and parties interested in the foregoing bid as principals are as follows:

NAME & TITLE	ADDRESS
_____	_____
_____	_____
_____	_____
_____	_____

NAME OF BIDDER: \_\_\_\_\_

BUSINESS ADDRESS OF BIDDER: \_\_\_\_\_

\_\_\_\_\_

DATED: THE \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_

## REFERENCES

Bidder is to provide three (3) references that are currently using the specific product proposed to be furnished.

1)

Name: \_\_\_\_\_

Company: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone: \_\_\_\_\_

2)

Name: \_\_\_\_\_

Company: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone: \_\_\_\_\_

3)

Name: \_\_\_\_\_

Company: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone: \_\_\_\_\_

**BID PROPOSAL**

**Furnishing of Overhead, Pole Mounted,  
Single Phase, Single Voltage, Distribution Transformers  
as per specifications, or equal**

FREEPORT ELECTRIC TABLE I – Single Voltage Transformers

ITEM NO.	KVA	VOLTAGE	HIGH VOLTAGE BUSHINGS	*ESTIMATED QUANTITY	PRICE EACH	FIRST DELIVERY
1.	15	13800 GRD Y/7970 - 120/240	SINGLE	10		
2.	25	13800 GRD Y/7970 - 120/240	SINGLE	10		
3.	37.5	13800 GRD Y/7970 - 120/240	SINGLE	10		
4.	50	13800 GRD Y/7970 - 120/240	SINGLE	10		
5.	75	13800 GRD Y/7970 - 120/240	SINGLE	10		
6.	100	13800 GRD Y/7970 - 120/240	SINGLE	3		
7.	167	7970/13800 Y – 120/240	DUAL	3		
8.	250	7970/13800 Y – 120/240	DUAL	3		
9.	333	7970/13800 Y – 120/240	DUAL	3		
10.	50	13800 GRD Y/7970 - 277	SINGLE	10		
11.	75	13800 GRD Y/7970 - 277	SINGLE	10		
12.	100	13800 GRD Y/7970 - 277	SINGLE	10		

*\*Quantities are for Bidding purposes only. Actual orders will vary.*

**TOTAL AMOUNT OF BID FOR ITEMS** BASED ON THE ATTACHED SPECIFICATIONS, TO PROVIDE ALL MATERIAL, THE SUM OF:

---

---

(TOTAL PRICE BID WRITTEN IN WORDS)

\$ \_\_\_\_\_

(FIGURES)

**MANUFACTURER'S INFORMATION**

NAME OF TRANSFORMER MANUFACTURER \_\_\_\_\_

ADDRESS \_\_\_\_\_

TELEPHONE NUMBER \_\_\_\_\_

FAX NO. \_\_\_\_\_

DATE \_\_\_\_\_

**BID PROPOSAL**  
**Overhead, Pole Mounted, Single Phase, Single Voltage,**  
**Distribution Transformers**

Name of Bidder: \_\_\_\_\_

Address: \_\_\_\_\_

City & State: \_\_\_\_\_

Telephone No.: \_\_\_\_\_

Fax No.: \_\_\_\_\_

---

<i>(Print Name)</i>	<i>(Title)</i>	<i>(Telephone No.)</i>
<hr/>		
<i>(Signature of Bidder)</i>	<i>(Date)</i>	

**Note:**

**THIS BID MAY BE WITHDRAWN AT ANY TIME PRIOR TO THE SCHEDULED TIME FOR OPENING OF BIDS.**

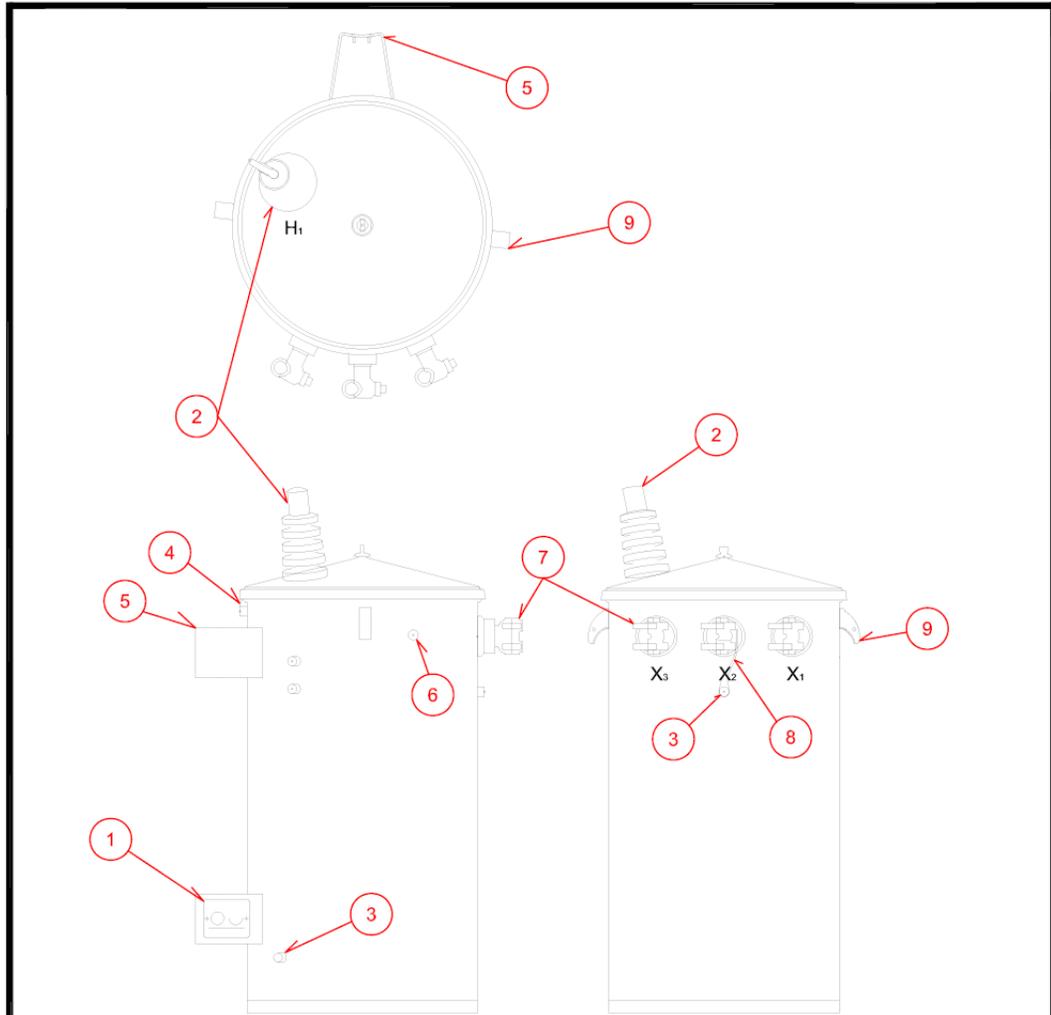
**Proposals shall be made on the proper forms provided for that purpose and complete documents shall be submitted. Bids submitted in any other form or under conditions other than specified may be rejected.**

**PLEASE NOTIFY US IMMEDIATELY IF YOU CANNOT BID THIS ITEM.**



# APPENDIX B

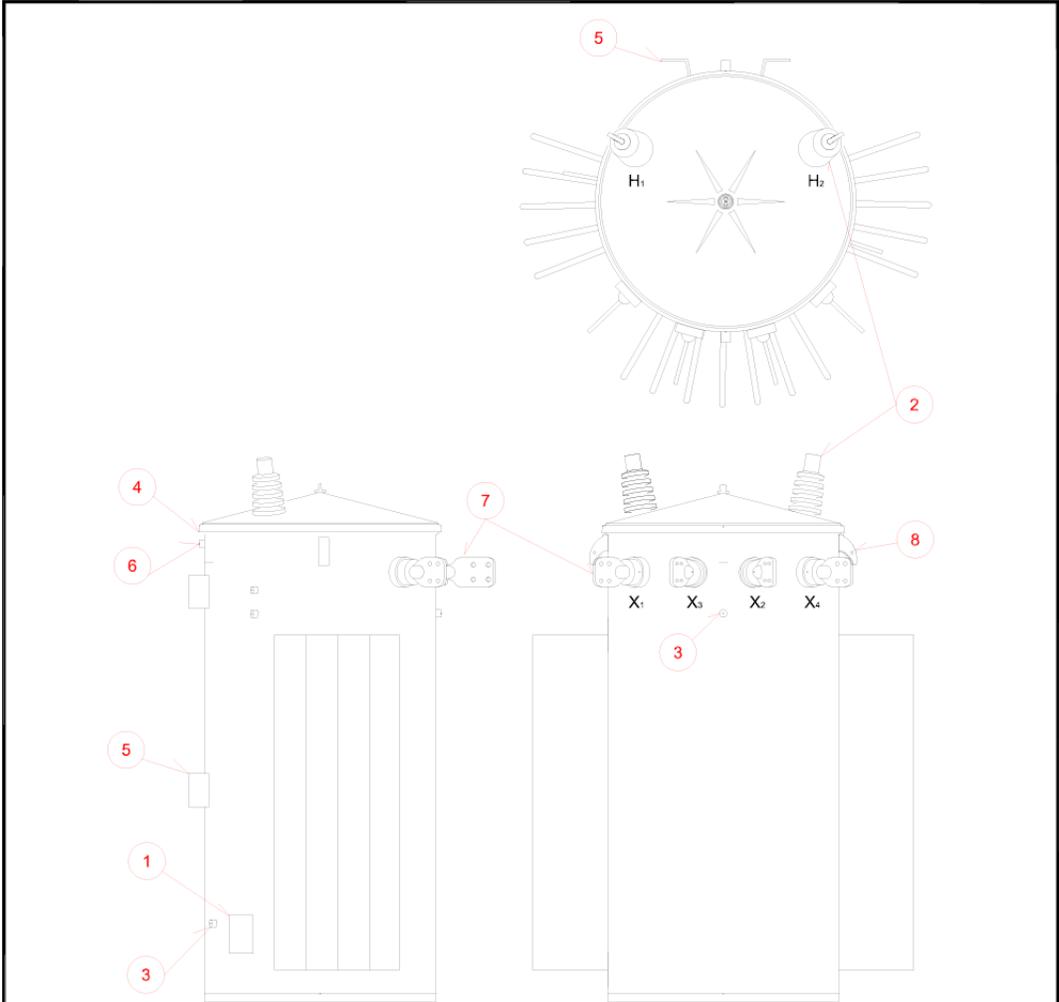
## TRANSFORMER DRAWINGS



25-100 KVA

ITEM	DESCRIPTION
1	NAMEPLATE
2	PRIMARY BUSHING WITH ANIMAL PROTECTION
3	1/2" - BOSS
4	TANK BAND
5	HANGER BRACKETS
6	PRESSURE RELEASE DEVICE
7	SECONDARY BUSHING
8	TANK GROUNDING STRAP
9	LIFTING LUGS

<b>FREEPORT ELECTRIC</b>		INC. VILLAGE OF FREEPORT FREEPORT, NEW YORK	
DWG. NO.	<b>CS-2268</b>	REV. #	0
LOCATION	TRANSFORMERS	REV DATE	11/02/14
TITLE	SINGLE PHASE OVERHEAD TRANSFORMER 25 - 100 KVA	DRAWN	J.Gar
		CHK BY	A.L.
		DATE	7/19/10



167 - 500 KVA

ITEM	DESCRIPTION
1	NAMEPLATE
2	PRIMARY BUSHING WITH ANIMAL PROTECTION
3	1/2" - BOSS
4	TANK BAND
5	HANGER BRACKETS
6	PRESSURE RELEASE DEVICE
7	SECONDARY BUSHING
8	LIFTING LUGS

 <b>INC. VILLAGE OF FREEPORT FREEPORT, NEW YORK</b>			
DWG NO	<b>CS-2269</b>	REV. #	0
LOCATION	TRANSFORMERS	REV DATE	11/02/14
TITLE	SINGLE PHASE OVERHEAD TRANSFORMER 167 - 500 KVA	DRAWN	J.Gar
		CHK BY	A.L.
		DATE	7/19/10

**FREEPORT FIRE DEPT.**  
**Raymond F. Maguire**  
**Executive Director**

FF Richard T. Muldowney Jr. Plaza  
15 Broadway PO Box 290  
Freeport, N.Y. 11520  
(516) 377 2190 Fax (516) 377 2499  
E Mail: rmaguire@freeportny.gov

**August 26, 2022**

**To: Mayor Robert T. Kennedy**  
**Board of Trustees**

**Re: Request permission to advertise 2 - Incident Command Vehicles**

---

The Fire Department is requesting permission to replace two Incident Command Vehicles (IC Vehicles) We currently have 5 Incident Command Vehicles being utilized. Four (4) by the Chiefs and one spare.

Our Current fleet of IC Vehicles is as follows:

**2011 Tahoe –Chief Donnelly 2100 - 122,000 miles\***

2018 Tahoe – Chief Collica 2101

2018 Tahoe Chief Gonzalez – 2102

**2008 Tahoe – Chief A Sotira – 2103 – 165,940 miles\***

If approved, the two new IC Vehicles it will be inserted into the fleet as follows:

2022 Tahoe – New – Chief Donnelly 2100

2018 Tahoe – Chief Collica 2101

2018 Tahoe - Chief Gonzalez – 2102

2022 Tahoe – Chief A Sotira – 2103

2011 Tahoe – Spare IC Vehicle

2008 Tahoe – Retire from FD fleet to DPW

\* The mileage does not really reflect the actual Engine Hours. Being that these vehicles are outfitted with lights and radios it is necessary to leave them running while operating at incident scenes. Therefore, the high mileage is just one aspect of the actual usage on the vehicle's engine.

Funding for these vehicles will be through a Capital Project.

Therefore, we respectfully request that we be authorized to advertise a Bid for 2 – 2022 Incident Command Vehicles in the Freeport Leader, and other related publications. Specifications will be available from September 9, 2022 through September 15, 2022. The bids will have a returnable date of September 16, 2022 when they will be opened at 11:00 a.m. and publicly read aloud. Attached please find a Notice to Bidders for your review.

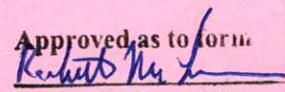
If you have any questions please feel free to contact me.

Sincerely,



Raymond F. Maguire  
Executive Director

*Attachments*

Approved as to form  
  
Deputy Village Attorney

It was moved by Trustee \_\_\_\_\_ and seconded by Trustee \_\_\_\_\_ that the following motion be adopted:

**WHEREAS**, the Executive Director of the Fire Department is requesting to advertise a Notice to Bidders, Fire Department Incident Command Vehicle to replace two (2) incident command vehicles, a 2008 and 2011 Tahoe vehicles; and

**WHEREAS**, the specifications for the purchase of two (2) 2022 Tahoe Vehicles have been completed; and

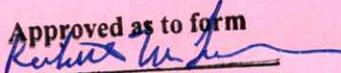
**WHEREAS**, General Municipal Law §103 and the Village’s procurement policy require that the procurement of these vehicles be done through competitive bidding; and

**WHEREAS**, funding for these vehicles will be through a Capital Project; and

**NOW THEREFORE BE IT RESOLVED**, that based upon the recommendation of the Executive Director of the Fire Department, the Village Clerk be and hereby is authorized to advertise a Notice to Bidders, “Fire Department Incident Command Vehicle”, in the Freeport Herald Leader and other relevant publications of general circulation on September 8, 2022 with specifications available from September 9, 2022 to September 15, 2022, with a return date of September 16, 2022.

The Clerk polled the Board as follows:

Deputy Mayor Ellerbe	VOTING
Trustee Martinez	VOTING
Trustee Squeri	VOTING
Trustee Sanchez	VOTING
Mayor Kennedy	VOTING

Approved as to form  
  
Deputy Village Attorney

## NOTICE TO BIDDERS

### **Fire Department Incident Command Vehicle**

**FOR**

#### **THE INCORPORATED VILLAGE OF FREEPORT NASSAU COUNTY, NEW YORK**

Notice is hereby given that the Purchasing Department of the Incorporated Village of Freeport, New York will receive sealed proposals for 2 - **Fire Department Incident Command Vehicles** until 11:00 A.M. on **Friday, September 16, 2022** in the Main Conference Room of the Municipal Building, 46 North Ocean Avenue, Freeport, New York, 11520, at which time and place they will be opened publicly and read aloud.

Specifications, proposal and proposed contracts may be seen and obtained at the Office of the Purchasing Agent, Municipal Building, 1<sup>st</sup> Floor, 46 North Ocean Avenue, Freeport, New York, 11520, or on our website at [www.freeportny.gov](http://www.freeportny.gov) from **9:00 A.M. on Friday, September 9, 2022** until **4:00 P.M. Thursday September 15, 2022**.

The Board reserves the right to reject any or all bid proposals received and subject to these reservations, shall award the contract to the lowest qualified and responsible bidder. Bids, which, in the opinion of the Board, are unbalanced, shall be rejected.

In submitting a bid, bidders agree not to withdraw their bid within sixty (60) days after the date for the opening thereof.

Kim Weltner  
Purchasing Agent  
Village of Freeport

VILLAGE OF FREEPORT  
Issue Date – September 8, 2022  
Freeport Leader



# Freeport Fire Department

Vehicle: [Fleet] 2022 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial



Vehicle: [Fleet] 2022 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (  Incomplete )

## Standard Equipment

### Mechanical

Engine, 5.3L EcoTec3 V8 with Dynamic Fuel Management, Direct Injection and Variable Valve Timing, includes aluminum block construction (355 hp [265 kW] @ 5600 rpm, 383 lb-ft of torque [518 Nm] @ 4100 rpm) (STD)  
Transmission, 10-speed automatic electronically controlled with overdrive, includes Traction Select System including tow/haul (STD)

Rear axle, 3.23 ratio

Suspension Package, Premium Smooth Ride (Included and only available with (5W4) Special Service Vehicle.) (STD)

GVWR, 7500 lbs. (3402 kg) (4WD models only.) (STD)

Automatic Stop/Start (Not available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)

Engine control, stop/start system disable button, non-latching

Engine air filtration monitor

Fuel, gasoline, E15

Transfer case, active, single-speed, electronic Autotrac does not include neutral. Cannot be dinghy towed (4WD models only. Deleted when (NHT) Max Trailering Package is ordered.)

Differential, mechanical limited-slip

4-wheel drive

Air filter, heavy-duty

Cooling, external engine oil cooler, heavy-duty air-to-oil integral to driver side of radiator

Cooling, auxiliary transmission oil cooler, heavy-duty air-to-oil

Battery, 800 cold-cranking amps with 80 amp hour rating

Alternator, 220 amps

Trailering equipment includes trailering hitch platform, 7-wire harness with independent fused trailering circuits mated to a 7-way connector and 2" trailering receiver

Trailer sway control

Hitch Guidance

Suspension, front coil-over-shock with stabilizer bar

Suspension, rear multi-link with coil springs

Steering, power

Brakes, 4-wheel antilock, 4-wheel disc with DURALIFE rotors

Exhaust, single system, single-outlet

Mechanical Jack with tools

This document contains information considered Confidential between GM and its Clients uniquely. The information provided is not intended for public disclosure. Prices, specifications, and availability are subject to change without notice, and do not include certain fees, taxes and charges that may be required by law or vary by manufacturer or region. Performance figures are guidelines only, and actual performance may vary. Photos may not represent actual vehicles or exact configurations. Content based on report preparer's input is subject to the accuracy of the input provided.

Data Version: 12783. Data Updated: March 26th, 2021 12:04:00 AM PST.

Vehicle: [Fleet] 2022 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (  Incomplete )

## Exterior

Wheels, 18" x 8.5" (45.7 cm x 21.6 cm) Bright Silver painted aluminum (STD)

Tires, 265/65R18SL all-season, blackwall (Standard with (PZX) 18" Bright Silver painted aluminum wheels only.) (STD)

Wheel, full-size spare, 17" (43.2 cm) steel

Tire, spare P265/70R17 all-season, blackwall

Tire carrier, lockable outside spare, winch-type mounted under frame at rear

Active aero shutters, upper

Fascia, front

Luggage rack side rails, roof-mounted, Black

Assist steps, Black with chrome accent strip

Headlamps, LED

Lamps, stop and tail, LED

Mirrors, outside heated power-adjustable, manual-folding, body-color

Mirror caps, body-color

Glass, deep-tinted (all windows, except light-tinted glass on windshield and driver- and front passenger-side glass)

Glass, acoustic, laminated

Glass, windshield shade band

Windshield, solar absorbing

Wipers, front intermittent, Rainsense

Wiper, rear intermittent with washer

Door handles, body-color

Liftgate, rear manual

## Entertainment

Audio system, Chevrolet Infotainment 3 system, 8" diagonal color touchscreen AM/FM stereo. Additional features for compatible phones include: Bluetooth audio streaming for 2 active devices, voice command pass-through to phone, Apple CarPlay and Android Auto capable. (STD)

Audio system feature, 6-speaker system

SiriusXM Radio delete

Infotainment display, 8" diagonal touchscreen

Bluetooth for phone personal cell phone connectivity to vehicle audio system

Wireless Apple CarPlay/Wireless Android Auto

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Data Version: 12783. Data Updated: March 26th, 2021 12:04:00 AM PST.

Vehicle: [Fleet] 2022 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial 

## Entertainment

4G LTE Wi-Fi Hotspot capable (Standard with (UE1) OnStar only. Terms and limitations apply. See [onstar.com](http://onstar.com) or dealer for details.)

## Interior

Seats, front 40/20/40 split-bench (Not available with (D07) center floor console and (USR) USB data ports.) (STD)

Keyless start, push button

Seat adjusters, 8-way power includes 6-way power front passenger seat with 2-way power lumbar

Seat adjusters, 10-way power includes 8-way power driver seat with 2-way power lumbar

Seats, second row 60/40 split-folding bench, manual

Seats, third row 60/40 split-folding bench, manual (Not available with (9C1) Police Vehicle or (5W4) Special Service Vehicle.)

Floor covering, Black rubberized vinyl (Deleted when (B30) floor covering is ordered.)

Electronic Precision Shift

Steering column, lock control, electrical

Steering column, manual tilt and telescopic

Steering wheel, urethane

Steering wheel controls, mounted audio, Driver Information Center, cruise control and Forward Collision Alert following gap button (if equipped) (left backside Seek/Scan steering wheel radio buttons are inoperable; these 2 buttons can be repurposed for aftermarket emergency equipment)

Driver Information Center, 4.2" diagonal color display includes driver personalization

Rear Seat Reminder

Door locks, power programmable with lockout protection and delayed locking (When ordered with (9C1) Police Vehicle or (5W4) Special Service Vehicle, Auto Lockout is disabled on driver door.)

Keyless Open includes extended range Remote Keyless Entry

Cruise control, electronic with set and resume speed

Theft-deterrent system, content, electrical, unauthorized entry

USB charging-only ports, 4, (2) located on rear of center console and (2) in 3rd row (1 left and 1 right side below quarter glass side window) (When ordered with (9C1) Police Vehicle or (5W4) Special Service Vehicle, (2) type-C ports are moved to the rear of center seat base and (2) type-C are moved to the cargo area. Deleted when (A50) front bucket seats are ordered.)

Window, power with driver Express-Up/Down

Window, power with front passenger Express-Up/Down

Windows, power with rear Express-Down

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Data Version: 12783. Data Updated: March 26th, 2021 12:04:00 AM PST.

Vehicle: [Fleet] 2022 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (  Incomplete )

## Interior

Air conditioning, tri-zone automatic climate control with individual climate settings for driver, right front passenger and rear seat occupants

Air conditioning, rear

Defogger, rear-window electric

Power outlets, 2, 120-volt, located on the rear of the center seat and rear cargo area

Power outlet, front auxiliary, 12-volt, located in the center stack of instrument panel

Mirror, inside rearview manual day/night

Visors, driver and front passenger illuminated vanity mirrors, sliding

Assist handles, overhead, driver and front passenger, located in headliner

Assist handles, front passenger A-pillar and second row outboard B-pillar (Deleted when SEO (7X2) left- and right-hand spotlamps or SEO (7X3) left-hand spotlamp are ordered.)

Lighting, interior with dome light, driver- and passenger-side door switch with delayed entry feature, cargo lights, door handle or Remote Keyless Entry-activated illuminated entry and map lights in front and second seat positions. On Police/Special Service vehicles, the control switch is located in the roof console in lieu of the driver - and passenger-side door switch with delayed entry feature.

Cargo management system

Chevrolet Connected Access capable (Subject to terms. See onstar.com or dealer for details.)

## Safety-Mechanical

Automatic Emergency Braking

Hill Start Assist

StabiliTrak, stability control system with brake assist, includes traction control

## Safety-Exterior

Daytime Running Lamps, reduced intensity low beam

## Safety-Interior

Teen Driver a configurable feature that lets you activate customizable vehicle settings associated with a key fob, to help encourage safe driving behavior. It can limit certain available vehicle features, and it prevents certain safety systems from being turned off. An invehicle report card gives you information on driving habits and helps you to continue to coach your new driver

Airbags, Frontal airbags for driver and front outboard passenger; Seat-mounted side-impact airbags for driver and front outboard passenger; Head-curtain airbags for all rows in outboard seating positions (Included and only available with (9C1) Police Vehicle or (5W4) Special Service Vehicle. Always use seat belts and child restraints. Children are safer when properly secured in a rear seat in the appropriate child restraint. See the Owner's Manual for more information.)

Front outboard Passenger Sensing System for frontal outboard passenger airbag (Always use seat belts and child restraints. Children are safer when properly secured in a rear seat in the appropriate child restraint. See the Owner's Manual for more information.)

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Data Version: 12783. Data Updated: March 26th, 2021 12:04:00 AM PST.

Vehicle: [Fleet] 2022 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (  Incomplete )

### Safety-Interior

OnStar and Chevrolet connected services capable (Terms and limitations apply. See onstar.com or dealer for details.)

Rear Park Assist

Following Distance Indicator

HD Rear Vision Camera

Front Pedestrian Braking

Lane Keep Assist with Lane Departure Warning

Forward Collision Alert

Door locks, rear child security, manual

LATCH system (Lower Anchors and Tethers for CHildren), for child restraint seats lower anchors and top tethers located in all second-row seating positions (Deleted when (ATZ) second row seat delete is ordered.)

Tire Pressure Monitoring System auto learn, includes Tire Fill Alert (does not apply to spare tire)

Warning tones headlamp on, driver and right-front passenger seat belt unfasten and turn signal on

### WARRANTY

Warranty Note: <<< Preliminary 2021 Warranty >>>

Basic Years: 3

Basic Miles/km: 36,000

Drivetrain Years: 5

Drivetrain Miles/km: 60,000

Drivetrain Note: Qualified Fleet Purchases: 5 Years/100,000 Miles

Corrosion Years (Rust-Through): 6

Corrosion Years: 3

Corrosion Miles/km (Rust-Through): 100,000

Corrosion Miles/km: 36,000

Roadside Assistance Years: 5

Roadside Assistance Miles/km: 60,000

Roadside Assistance Note: Qualified Fleet Purchases: 5 Years/100,000 Miles

Maintenance Note: 1 Year/1 Visit

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Data Version: 12783. Data Updated: March 26th, 2021 12:04:00 AM PST.

Vehicle: [Fleet] 2022 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (  Incomplete )

## Selected Model and Options

MODEL		
CODE	MODEL	MSRP
CK10706	2022 Chevrolet Tahoe 4WD 4dr Commercial	

COLORS		
CODE	DESCRIPTION	
GAZ	Red Hot	

NOTE		
CODE	DESCRIPTION	MSRP
**	**REQUIRES A FLEET OR GOVERNMENT ORDER TYPE. LATE AVAILABILITY.**	INC

SUSPENSION PKG		
CODE	DESCRIPTION	MSRP
ZW7	Suspension Package, Premium Smooth Ride	INC

EMISSIONS		
CODE	DESCRIPTION	MSRP
NE1	Emissions, Connecticut, Delaware, Maine, Maryland, Massachusetts, New Jersey, New York, Oregon, Pennsylvania, Rhode Island, Vermont and Washington state requirements	INC

ENGINE		
CODE	DESCRIPTION	MSRP
L84	Engine, 5.3L EcoTec3 V8	INC

TRANSMISSION		
CODE	DESCRIPTION	MSRP
MQC	Transmission, 10-speed automatic	INC

AXLE		
CODE	DESCRIPTION	MSRP
GU5	Rear axle, 3.23 ratio	INC

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Data Version: 12783. Data Updated: March 26th, 2021 12:04:00 AM PST.

Vehicle: [Fleet] 2021 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (  Incomplete )

#### PREFERRED EQUIPMENT GROUP

CODE	DESCRIPTION	MSRP
1FL	Commercial Preferred Equipment Group	INC

#### WHEEL TYPE

CODE	DESCRIPTION	MSRP
RD4	Wheels, 20" x 9" (50.8 cm x 22.9 cm) painted aluminum with machine face and Argent Metallic pockets	INC

#### TIRES

CODE	DESCRIPTION	MSRP
QAE	Tires, 275/60R20SL all-terrain, blackwall	INC

#### PAINT

CODE	DESCRIPTION	MSRP
GAZ	Summit White	INC

#### SEAT TYPE

CODE	DESCRIPTION	MSRP
AZ3	Seats, front 40/20/40 split-bench	INC

#### SEAT TRIM

CODE	DESCRIPTION	MSRP
H1T	Jet Black, cloth seat trim	INC

#### RADIO

CODE	DESCRIPTION	MSRP
IOR	Audio system, Chevrolet Infotainment 3 system, 8" diagonal color touchscreen	INC

#### ADDITIONAL EQUIPMENT - PACKAGE

CODE	DESCRIPTION	MSRP
5W4	Identifier for Special Service vehicle	
AMF	Remote Keyless Entry Package	INC

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Data Version: 12783. Data Updated: March 26th, 2021 12:04:00 AM PST.

Vehicle: [Fleet] 2022 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (  Incomplete )

**ADDITIONAL EQUIPMENT - MECHANICAL**

CODE	DESCRIPTION	MSRP
___	Capless Fuel Fill	Inc.
K3W	Battery, 900 cold-cranking amps with 95 amp hour rating	Inc.
K6K	Battery, auxiliary, 760 cold-cranking amps with 70 amp hour rating	Inc.
KX4	Alternator, 220 amps	Inc.
RC1	Skid plate, front	Inc.
V76	Recovery hooks, 2 front, frame-mounted, Black	Inc.

**ADDITIONAL EQUIPMENT - EXTERIOR**

CODE	DESCRIPTION	MSRP
___	Exterior ornamentation delete	Inc.
V53	Luggage rack side rails, delete	Inc.
VK3	License plate front mounting package	Inc.
WUA	Fascia, front high-approach angle	Inc.

**ADDITIONAL EQUIPMENT - INTERIOR**

CODE	DESCRIPTION	MSRP
___	Instrumentation, analog	Inc.
___	Power supply, 100-amp, auxiliary battery, rear electrical center	Inc.
___	Power supply, 120-amp, (4) 30-amp circuit, Primary battery	Inc.
___	Power supply, 50-amp, power supply, auxiliary battery	Inc.
___	Theft-deterrent system, vehicle, PASS-Key III	Inc.
ATD	Seat delete, third row passenger	Inc.
AU7	Key, common, fleet	Inc.
BTV	Remote start	Inc.
VZ2	Speedometer calibration	Inc.

**ADDITIONAL EQUIPMENT - SAFETY-INTERIOR**

CODE	DESCRIPTION	MSRP
___	Lane Keep Assist Delete	Inc.
___	Seat belts, 3-point, all seating positions	Inc.

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Data Version: 12783. Data Updated: March 26th, 2021 12:04:00 AM PST.

Vehicle: [Fleet] 2022 Chevrolet Tahoe (CK10706) 4WD 4dr Commercial (  Incomplete )

#### ADDITIONAL EQUIPMENT - OTHER

CODE	DESCRIPTION	MSRP
5J3	Calibration, Surveillance Mode interior lighting	Inc.
5J9	Calibration taillamp flasher, Red/White	Inc.
5LO	Calibration taillamp flasher, Red/Red	Inc.
6C7	Lighting, red and white front auxiliary dome	Inc.
6E2	Key common, complete vehicle fleet	Inc.
6J7	Flasher system, headlamp and taillamp, DRL compatible with control wire	Inc.
—	Protected idle	Inc.
R9Y	Fleet Free Maintenance Credit.	Inc.
T66	Wiring provision, for outside mirrors and cargo side mirrors	Inc.
UN9	Radio Suppression Package, with ground straps	Inc.
UT7	Ground wires, blunt cut cargo area and blunt cut console area	Inc.
VXT	Incomplete vehicle	Inc.

#### SHIP THRU CODES

CODE	DESCRIPTION	MSRP
VPV	Ship Thru, Produced in Arlington Assembly and shipped to Kerr Industries and onto Arlington Assembly	Inc.

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Data Version: 12783. Data Updated: March 26th, 2021 12:04:00 AM PST.

# Freeport Fire Department

## 2022 Chevy Tahoe SSV Red Vehicle Up Fit

Vendor will supply and install all equipment unless specified.

### **ZONE A FRONT LOWER WARNING**

Four (4) Sound Off mpower DUO Red/White warning lights will be mounted in upper grill. Lights will be set in fast flash pattern. Light will have black bezel. Lights will be activated by a switch in the console.

Two (2) Sound Off mpower red super LED lights will be mounted in lower lights with black bezel.

### **ZONE B AND D WARNING**

Two (2) Sound Off mpower Red/White bumper mounted lights will act as intersection lights. Lights will be wired to a switch in console.

Two (2) Sound Off N force Mirror Red with black housing will be mounted on lower mirror (one per side) and will act as side warning lights. Lights will be wired to a switch in console.

Two (2) Sound Off mpower DUO Red/White ¾ glass mounted lights will act as rear intersection lights. Lights will be wired to a switch in console.

Two (2) Sound Off SL RUNNING DUO Red/White LED light heads will be mounted on running boards one (1) per side.

### **Zone C Rear Lower Warning**

Four (4) Undercover red/blue LED light heads will be mounted in rear taillights. Lights will flash in an X pattern with taillight. Lights will be wired to a switch in console.

One (1) Sound Off N Fuse interior bar Red/Blue light bar will be mounted in rear hatch window.

Two (2) Sound Off mpower R/W/B surface mount lights will be mounted on rear tailgate next to License plate.

Two (2) Sound Off mpower R/W/B lights will be mounted on rear bumper.

### **ZONE A AND C UPPER WARNING LIGHT BAR**

One (1) Sound Off NFUSE 54" DUO red/white front and red/blue/amber fully populated lightbar will be installed.

## **CONSOLE**

One (1) Havis Console wide mount Tahoe custom will be installed factory console. The following options will be supplied.

Console will have Two (2) cup holders.

Console will have two (2) Flush mount radio plates.

Console will have One (1) Flush mount Siren Controller plate.

Console will have One (1) USB Port and One (1) 12-volt Cigar plug.

## **SIREN CONTROLLER**

One (1) Sound Off 500 Blueprint 200-watt Siren controller with knob will be supplied. The siren will be a 100-watt siren. The siren will have a three-position slide switch with six additional switches.

## **SIREN SPEAKER**

Two (2) Sound Off S100 siren speaker with bracket will be installed.

## **LOW FREQUENCY SIREN**

One (1) Sound Off Aftershock siren will be installed.

## **INTERIOR WORK LIGHTS**

Three (3) Sound Off White LED work lights will be installed on interior lower tailgate and will operate by a switch located on upper trim panel.

One (1) Sound Off Red/White LED work light will be installed between the driver and passenger ceiling to the rear of console. Light will activate with a switch mounted in upper console.

## **TAILGATE WARNING LIGHTS**

Two (2) Sound Off mpower LED Red/Blue warning lights will be installed at bottom edge of rear tailgate. Lights will illuminate when tail gate is in raised position allowing rear facing warning light.

## **ELECTRICAL**

A totally separate electrical system will be installed not to interfere with factory installed electrical system.

## **DISTRIBUTION BLOCK**

One (1) Kussmaul model# PDS-100 Power Distribution block will be supplied and installed. Power block will be supplied from the 12-volt battery by 4-gauge GXL wire. All terminal ends will be copper with a weatherproof coating. Terminal ends will have a double crimp and will be heat shrunk with a weatherproof wrap.

## **CIRCUIT BREAKER**

One (1) Busman model#185100F 100-amp breaker will be installed between the battery and the distribution block as close to the battery as possible.

## **WIRING**

All wiring will be heavy duty GXL type wire. All connections will be made with 3M heat shrunk connectors. All wiring will run from point to point with no midpoint breaks or butt connectors. All grounds will be made at factory point ground points.

## **LETTERING**

Lettering to match existing vehicles. Fire District will sign off on lettering before they are installed.

## **RADIOS**

Two (2) Fire District supplied radios, scanner, chargers and accessories will be supplied and installed by vender. Three (3) antennas will be supplied and installed. Commander will supply one set of radio cables and power cables. Three (3) Fire District supplied portable radios will be installed. One (1) Fire District supplied hand light will be installed. Fire District will approve all mounting locations prior to install.

## **COMMAND BOX**

Match Command box will be installed. A steel mounting plate and electronics box will be supplied. Sign off by Fire District prior to construction.

## **COMPUTER MOUNT**

One (1) Havis tough book docking station and mount will be supplied and installed.

END OF SPECIFICATIO>

**INCORPORATED VILLAGE OF FREEPORT  
RECREATION CENTER  
INTER-OFFICE CORRESPONDENCE**

To: Robert T. Kennedy

From: Victoria Dinielli, Recreation Center Manager

Date: August 18, 2022

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RE: Transfer of Funds

The Recreation Center recently placed an order with Commercial Clearwater for a supply of Chlorine. Unfortunately, the Recreation Center Chlorine and Chemical line (714004 541100) is short \$ 9,732.00 for this purchase. I expect this order will be enough for the remainder of the current fiscal year.

When I prepared the Rec Center budget for the 22/23 fiscal year, the price of chlorine was \$221.00 for a 100lb bucket. In recent months, the price has risen to \$330.00 for 100lbs. This is an unexpected 49% increase.

Upon the approval of the Mayor of Freeport and the Village Board of Trustees, I am requesting to transfer \$10,000.00 from (714002 520100) Equipment and transfer the funds to (714004 541100) Chlorine & Chemicals

Thank you,

  
Victoria Dinielli  
Manager  
Freeport Recreation Center

Cc: A. Dalessio, Comptroller

It was moved by Trustee \_\_\_\_\_, and seconded by Trustee \_\_\_\_\_, that the following resolution be adopted:

**WHEREAS**, Pursuant to §5-520 of the New York State Village Law, authorization is requested for the Village Comptroller to execute the following transfer to the fiscal year 2022 - 2023 operating budget:

**FROM:**

714002 520100 Equipment	\$10,000.00
-------------------------	-------------

**TO:**

714004 541100 Chlorine & Chemicals	\$10,000.00
------------------------------------	-------------

<b>Total:</b>	\$10,000.00
---------------	-------------

**WHEREAS**, the purpose of the above transfer is to appropriate the necessary funding to cover the cost of supplies; and

**NOW THEREFORE BE IT RESOLVED**, that based upon the recommendation of the Comptroller, the above-referenced transfer is hereby approved.

The Clerk polled the Board at follows:

Deputy Mayor Ellerbe	VOTING
Trustee Martinez	VOTING
Trustee Squeri	VOTING
Trustee Sanchez	VOTING
Mayor Kennedy	VOTING

**INCORPORATED VILLAGE OF FREEPORT**  
**Inter-Department Correspondence**  
**Village Attorney's Office**

TO: Robert T. Kennedy, Mayor  
FROM: Howard E. Colton Village Attorney  
DATE: September 1, 2022  
RE: Taxi Fare Local Rate Increase

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Pursuant to Freeport Village Code §188-8, the Board sets the rates for local taxi cab fares. The taxi fares have not been increased since 1991. At this time, I am requesting that the taxi fares in the Village of Freeport be increased to a set rate of \$7.50, for local rides within the Village of Freeport. There will be no changes in fare based on zones; rather the fare will be a flat \$7.50 anywhere within the Village. This will allow for predictability for passengers as well as provide an increase in fare to taxi drivers to cover the significant increase in gas price since rates were last changed.

If this meets with your approval, please place on the next Board agenda.



Howard E. Colton  
Village Attorney

The following resolution was proposed by Trustee \_\_\_\_\_, seconded by Trustee \_\_\_\_\_, as follows:

**WHEREAS**, pursuant to Freeport Village Code §188-8, the Board sets the rates for local taxi cab fares; and

**WHEREAS**, the taxi fares have not been increased since 1991; and

**WHEREAS**, at this time, the Village Attorney is requesting that the taxi fares in the Village of Freeport be increased to a set rate of \$7.50, for local rides within the Village of Freeport; and

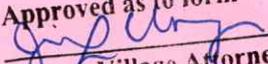
**WHEREAS**, there will be no changes in fare based on zones; rather the fare will be a flat \$7.50 anywhere within the Village; and

**WHEREAS**, this will allow for predictability for passengers as well as provide an increase in fare to taxi drivers to cover the significant increase in gas price since rates were last changed; and

**NOW THEREFORE BE IT RESOLVED**, that based upon the recommendation of the Village Attorney, the Board approve that the taxi fare for local rides within the Village of Freeport be set at \$7.50.

The Clerk polled the Board at follows:

Deputy Mayor Ellerbe	VOTING
Trustee Martinez	VOTING
Trustee Squeri	VOTING
Trustee Sanchez	VOTING
Mayor Kennedy	VOTING

Approved as to form  
  
Deputy Village Attorney

The Following Resolution was moved by Trustee \_\_\_\_\_,  
seconded by Trustee \_\_\_\_\_, who moved its adoption:

**WHEREAS**, the Board of Trustees of the Incorporated Village of Freeport has determined that the proposed action described below, will not have a significant effect on the environment and neither a draft environmental impact statement nor a final environmental impact statement will be prepared; and,

**WHEREAS**, the proposed action is a subdivision of 128 Cary Place a/k/a Section 54, Block 319, Lots 96-100, 102-104 and 266-227 for the construction of two (2) one-family dwellings and maintain existing one-family dwelling; and

**WHEREAS**, this Board determines that the proposed action is an unlisted action, as that term is defined in the New York State Environmental Quality Review Act, herein after referred to as SEQRA. After careful consideration, the Board has concluded that the proposed action will not have a significant effect on the environment for the following reasons:

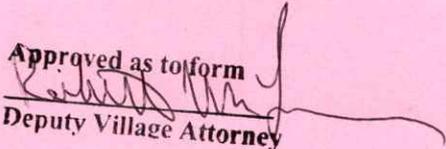
1. The proposed action will not result in a substantial adverse change in the existing air quality, ground or surface water quality, traffic or noise level, will not affect solid waste production, and will not affect erosion, flooding, leaching or drainage problems.
2. The proposed action will not result in the removal or destruction of large quantities of vegetation or fauna nor interfere with the movement or any resident or migratory fish or wildlife species, nor impact on a significant habitat area, nor result in any other significant adverse effect to natural resources.
3. The proposed action will not encourage or attract a large number of people.
4. The proposed action is consistent with the community's current plans and goals for enforcement of Village laws.
5. The proposed action would not impair the character or quality of important historical, archeological, architectural or aesthetic resources of the Village.
6. The proposed action will not bring about a major change in the use of either the quantity or type of energy.
7. The proposed action will not create a hazard to human health.
8. The proposed action will not produce a substantial change in the use or intensity of land, including cultural or recreational resources, or its capacity to support existing uses.
9. The proposed action will not create a material demand for other actions that would result in any of the above consequences.

10. The proposed action will not change two or more elements in the environment, which when considered together could result in a substantial adverse impact on the environment.
11. When considered cumulatively with other actions, the proposed action will not have a significant effect on the environment or meet one of the above criteria.
12. The Board of Trustees of the Incorporated Village of Freeport shall be lead agency.

**NOW THEREFORE BE IT RESOLVED**, that the Board of Trustees of the Incorporated Village of Freeport, after reviewing the above criteria has determined that the proposed action is not environmentally significant.

The Clerk polled the Board as follows:

Deputy Mayor Ellerbe	VOTING
Trustee Martinez	VOTING
Trustee Squeri	VOTING
Trustee Sanchez	VOTING
Mayor Kennedy	VOTING

**Approved as to form**  
  
**Deputy Village Attorney**

INTER-DEPARTMENT CORRESPONDENCE  
INCORPORATED VILLAGE OF FREEPORT

TO: Mayor and Board of Trustees  
FROM: Lisa M DeBourg  
DATE: July 8, 2022  
RE: Application for Subdivision  
Premises: 128 Cary Place  
Section 54 Block 319 Lots 96-100, 102-104 & 226-227

---

RECEIVED

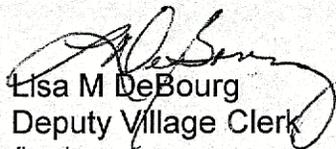
JUL 11 2022

VILLAGE COUNSEL  
FREEPORT, NY

Attached herewith for your information and review, please find a copy of an Application for Subdivision for 128 Cary Place. The application calls for the creation of three (3) lots for the construction of two (2) one-family dwellings & maintain existing 1-family dwelling.

On April 21, 2022, The Zoning Board of Appeals approved a use variance from Marine Industrial to Residential use for this property.

Please prepare a recommendation for submission to the Planning Board of Freeport.

  
Lisa M DeBourg  
Deputy Village Clerk  
/lmd

Attachments

cc. ✓ Howard E. Colton, Village Attorney

Application Date: 6/21/22

FEE PAID: \$100

**INCORPORATED VILLAGE OF FREEPORT  
PLANNING BOARD  
APPLICATION FOR LAND SUBDIVISION**

Application must be filed with the Village Clerk's Office, which application shall consist of original and 11 copies of the Application Form; original and 11 copies of the Tax Map and Composite Survey showing exactly how the property is proposed to be subdivided and the exact location where houses would be located on each lot; individual Survey for each proposed lot, and original and 11 copies of a completed Environmental Assessment Form. The fee is \$100.00 for a three 3-lot subdivision and an additional \$25.00 for each proposed lot in excess of three (3). The fee shall be paid at the time the Application for Land Subdivision is submitted.

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

NAME OF PROPOSED SUBDIVISION: <u>Cary Commons</u>	
LOCATION OF PROPOSED SUBDIVISION: <u>128 Cary Place</u> (STREET NAME AND LOCATION ON STREET)	
LOT SIZE: <u>17,390.1 SF</u>	ZONING DISTRICT: <u>Marine Industrial</u>
SECTION <u>54</u>	BLOCK <u>319</u> LOT <u>96-100, 102-104 &amp; 226-227</u>

<u>APPLICANT</u>	<u>OWNER OF RECORD*</u>
Name: <u>Cary Commons LLC</u>	Name: <u>Cary Commons LLC</u>
Address: <u>24 Stymus Avenue, Bethpage, NY 11714</u>	Address: <u>24 Stymus Avenue, Bethpage, NY 11714</u>
Telephone #: <u>516-316-2419</u>	Telephone #: <u>516-316-2419</u>

\* If Corporation, Name, Address and Title of Corporate Officers:

Richard Rauff, 281 Main Street, Farmingdale, NY

John Rebhan, 15 Carter Road, Hampton Bays, NY

Brad Kenealy, 553 Broadway, Massapequa, NY

Greg Sharp, 132 Lucida Drive, Babylon, NY

**NAME, ADDRESS AND TELEPHONE NUMBER OF ATTORNEY FOR APPLICANT AND/OR OWNER:**

Forchelli Deegan Terrana LLP; By: Jessica A. Leis, Esq.

333 Earle Ovington Blvd., Suite 1010

Uniondale, NY 11553

516-248-1700; jleis@forchellilaw.com

**NAME, ADDRESS AND TELEPHONE NUMBER OF LICENSED ENGINEER AND/OR SURVEYOR:**

Barry M. Fahrer, 206 Church Street, Freeport, NY 11520

516-623-2069

The proposed subdivision currently consists of .399 acres, and will include 3 proposed lots. (Exclude existing streets and/or area under water).

Present Land Use: Residential Proposed Land Use: Residential

**Description of Proposed Construction:**

Maintain existing dwelling on proposed Lot 2 and demolish/remove accessory deck,  
garage and container structures. Lots 1 and 3 will be developed at future date  
with residential use.

- 1. Does the proposed subdivision require a change in the current zoning?  YES  NO  
If yes, indicate the requested zoning district N/A.
- 2. Is the applicant the owner of the property to be subdivided?  YES  NO  
If not the owner, indicate the applicant's interest in the property. N/A

A copy of the Deed or Deeds recorded in the Nassau County Clerk's Office must be annexed to this application.

Date of Deed 11/4/2019; Liber 13876 Page 953  
recorded 11/19/2019  
Date of Deed \_\_\_\_\_ Liber \_\_\_\_\_ Page \_\_\_\_\_

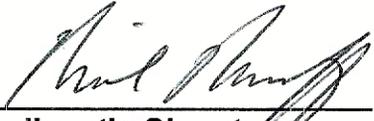
- 3. Does the preliminary subdivision layout cover the entire holding of the applicant?  YES  NO  
If no, state the sections (by number) to be filed N/A

- 4. Is any area shown on this Preliminary Layout proposed to be dedicated for future public use?  YES  NO  
If yes, give the number of acres N/A

- 5. Does the applicant intend to request any waivers or variances from the usual requirements for lot size, frontage, yards, etc., upon submission of the application for final approval of the subdivision plat?  YES  NO

If yes, list in detail the waivers and/or variances to be requested:  
Applicant has pending application with Zoning Board of Appeals  
to use marine industrial property as a residential use; a  
variance is required.

Cary Commons LLC

  
Applicant's Signature

3-24-22  
Date

By: Richard Rawff, Member

State of New York )  
County of Nassau ) ss.:

On this 24<sup>th</sup> day of March, 2022, before me personally came, Richard Rawff, to me known to be the person described in and who executed the forgoing application, and who acknowledged to me that HE/SHE executed same.

  
Notary Public

JESSICA A. LEIS  
Notary Public, State of New York  
No. 02LE6377932  
Qualified in Suffolk County  
Commission Expires July 16, 2022

RECEIVED

JUN 21 2022

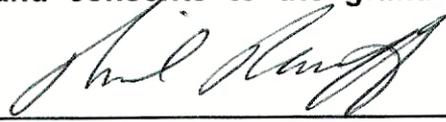
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

**AFFIDAVIT OF OWNER**

(to be completed only if the applicant is not the owner)

State of New York )  
County of Nassau ) ss.:

Richard Rauff , Member being duly sworn, deposes and says that:  
HE/SHE is the owner of the property which is the subject of this application and that  
HE/SHE consents to the filing of this application and consents to the granting of the  
application for subdivision sought herein.



Signature of Owner

Member of Cary Commons LLC

Sworn to before me this 24th  
day of March, 2022.

Jessica A. Leis  
Notary Public

JESSICA A. LEIS  
Notary Public, State of New York  
No. 02LE6377932  
Qualified in Suffolk County  
Commission Expires July 16, 2022

**FOR VILLAGE USE ONLY**

DATE OF THIS APPLICATION \_\_\_\_\_, 20 \_\_\_\_.

APPROVED

DISAPPROVED

DATE OF DECISION: \_\_\_\_\_, 20 \_\_\_\_

Signed: \_\_\_\_\_  
Chairperson, Planning Board

DATE: \_\_\_\_\_, 20 \_\_\_\_

APPROVED – SUBJECT TO THE FOLLOWING CONDITIONS:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DISAPPROVED – but the following suggestions were made, whereby the application for  
subdivision would be reconsidered for approval:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

APPLICANT NOTIFIED ON: \_\_\_\_\_, 20 \_\_\_\_.

PLEASE SEE REVERSE SIDE FOR SUBMISSION CHECKLIST

**SUBMISSION CHECKLIST**

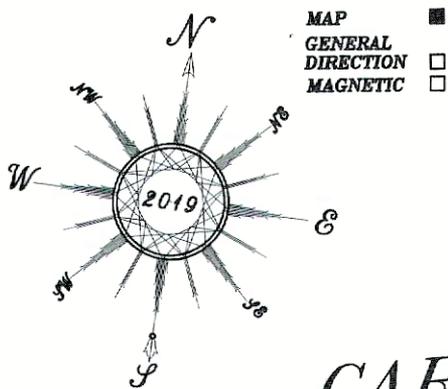
YES	NO	N/A	
_____	_____	_____	1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel.
_____	_____	_____	2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.
_____	_____	_____	3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:
_____	_____	_____	a. Title of drawing, including name and address of applicant.
_____	_____	_____	b. North point, scale, and date.
_____	_____	_____	c. Boundaries of the project.
_____	_____	_____	d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
_____	_____	_____	e. Floodplain boundaries as determined by the Federal Emergency Management Agency.
_____	_____	_____	f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.
_____	_____	_____	g. Location of outdoor storage and description of materials to be stored.
_____	_____	_____	h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
_____	_____	_____	i. Location and description of all proposed waterfront public access/recreation provisions.
_____	_____	_____	j. Description of sewage disposal and water supply systems and locations of such facilities.
_____	_____	_____	k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
_____	_____	_____	l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
_____	_____	_____	m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
_____	_____	_____	n. Location, design and size of all signs and lighting facilities.
_____	_____	_____	o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
_____	_____	_____	p. Building orientation and site design for energy efficiency and visual quality.
_____	_____	_____	q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
_____	_____	_____	r. Description and location of erosion control measures including proposed location of sediment sink/setting pond and interceptor swales, etc..
_____	_____	_____	s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
_____	_____	_____	t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.
_____	_____	_____	u. Estimated project construction schedule.
_____	_____	_____	v. Record of application for approval status of all necessary permits from federal, state and county officials.
_____	_____	_____	w. Identification of any federal, state or county permits required for project execution.
_____	_____	_____	x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.

RECEIVED

JUN 21 2022

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

10 5 0 10 20  
SCALE 1"=20'

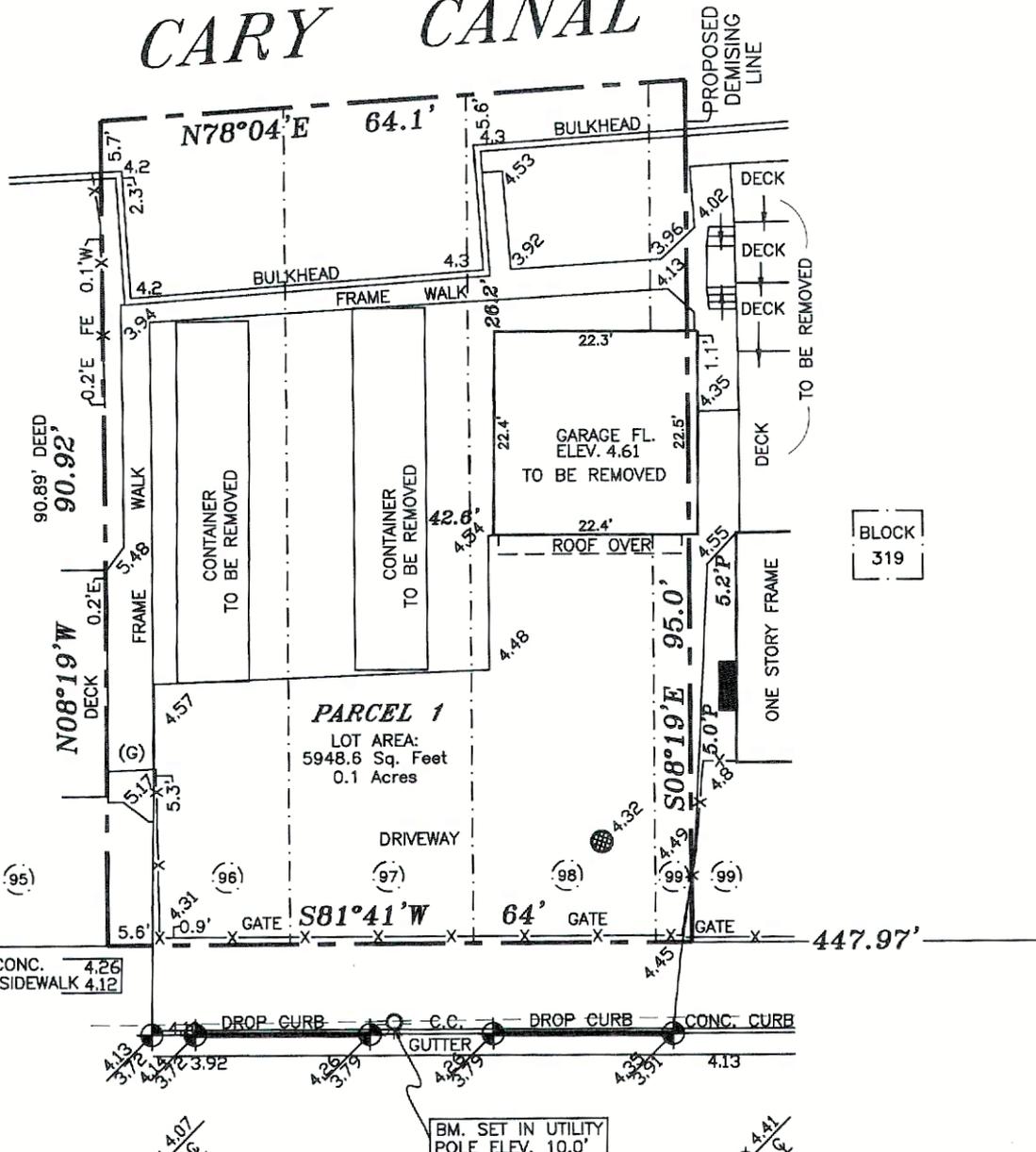


# ARCHITECTURAL SURVEY

MAP  
GENERAL DIRECTION  
MAGNETIC

## CARY CANAL

WEST END AVENUE



BLOCK 319

### LEGEND

- WOOD UTILITY POLE
- UTILITY/LIGHT POLE
- TREE WITH DIAMETER
- EXISTING GRADE

## CARY PLACE

AVERAGE 200' FRONT YARD SETBACK 14.4'

Zoning Chart (Parcel 1)  
Village of Freeport - Residence A District

	Required	Provided
Lot Area	5,000 S.F.	5,948.6 S.F.
Street Frontage	50 feet	64 feet
Lot Width	50 feet	64 feet

ELEVATIONS SHOWN ON THIS PLAT HAVE BEEN DEVELOPED USING A NETWORKED GPS SYSTEM AND ARE CONSISTENT WITH NAVD 1988

CALL UFPO TWO WORKING DAYS BEFORE DIGGING! 1-800-962-7962 OR 811  
NON-MEMBERS MUST BE CONTACTED SEPARATELY.



EASEMENTS, IF ANY, NOT SHOWN.

UNLESS OTHERWISE NOTED, PHYSICAL MONUMENTS HAVE NOT BEEN SET.

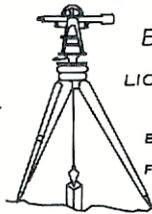
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CERTIFIED TO:

RICH RAUFF  
CARY COMMONS LLC



BARRY M. FAHRER  
NEW YORK STATE  
LICENSED LAND SURVEYOR  
No. 49851

BARRY M. FAHRER L.S. P.C.  
206 CHURCH STREET  
FREEPORT NEW YORK 11520  
(516) 623-2069  
FAX (516) 623-0828

STATE OF NEW YORK

JOB No. 20190551

DATE SURVEYED 10/07/2019

TITLE No.

SECTION No. 54

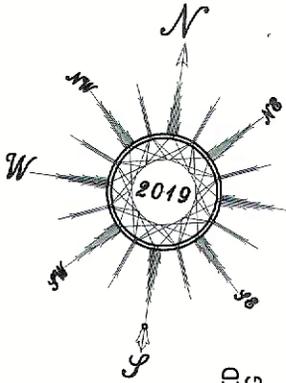
FREEPORT

TAX BLOCK No. 319

LOT No. 96-98, P/O 99 COUNTY OF: NASSAU

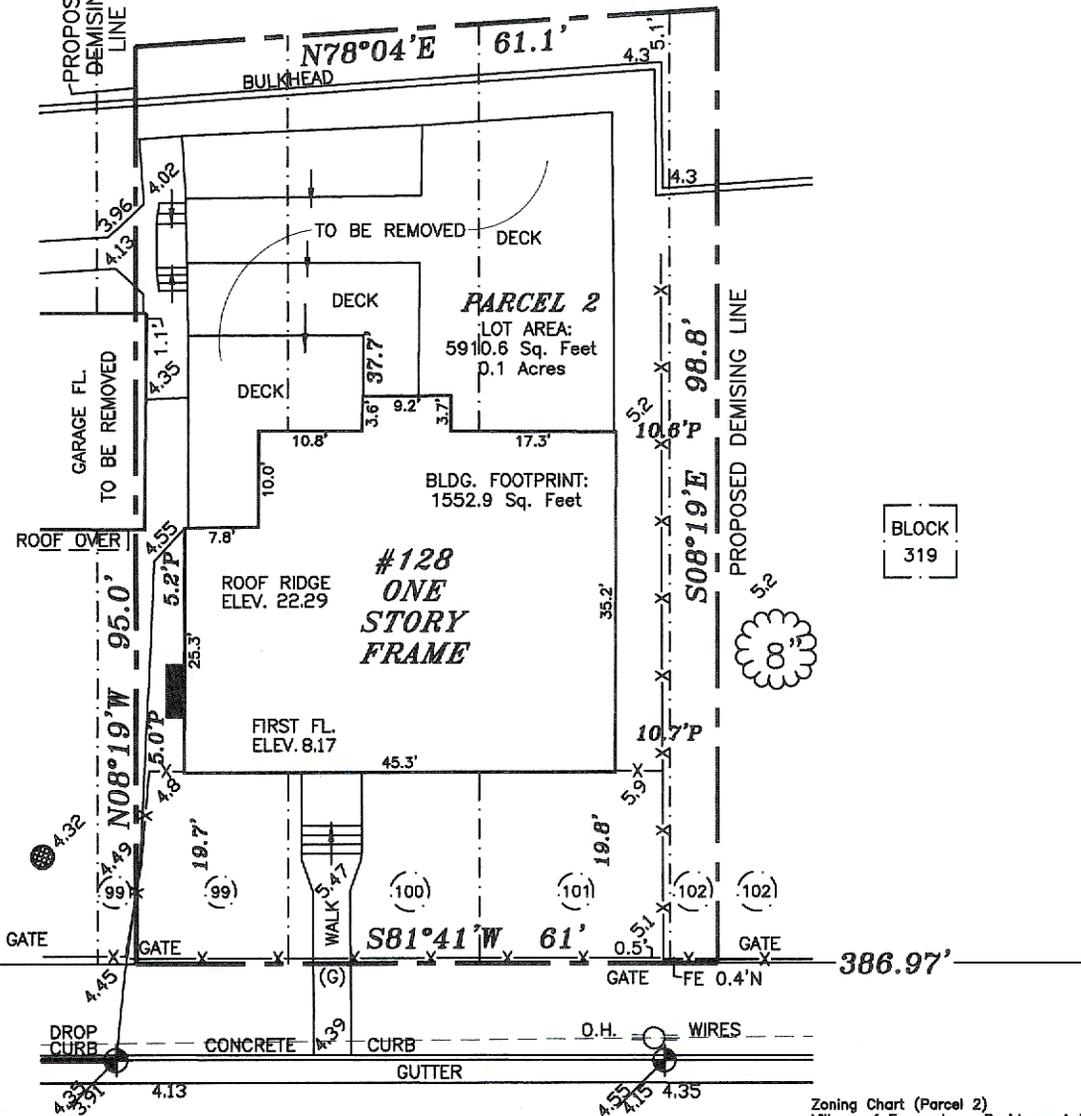
# ARCHITECTURAL SURVEY

10 5 0 10 20  
SCALE 1"=20'



MAP  
GENERAL DIRECTION  
MAGNETIC

## CARY CANAL



BLOCK 319

Zoning Chart (Parcel 2)  
Village of Freeport - Residence A District

	Required	Provided
Lot Area	5,000 S.F. 5.9	0.6 S.F.
Street Frontage	50 feet	61 feet
Lot Width	50 feet	61 feet
Lot Coverage	30 %	28.3%
Minimum Floor Area	800 S.F.	1,552.9 S.F.
Height	35 feet or 3 stories	22.29 feet and 1-story
Front Yard Depth	20 feet	19.7 feet
Rear Yard Depth	20 feet	37.7
Side Yards Width	5 feet Aggregate: 15.25 feet	5 feet; 10.6 feet Aggregate: 15.25 feet

### LEGEND

- WOOD UTILITY POLE
- UTILITY/LIGHT POLE
- TREE WITH DIAMETER
- EXISTING GRADE

## CARY PLACE

AVERAGE 200' FRONT YARD SETBACK 14.4'

ELEVATIONS SHOWN ON THIS PLAT HAVE BEEN DEVELOPED USING A NETWORKED GPS SYSTEM AND ARE CONSISTENT WITH NAVD 1988

NOTE: 5.0'P = PROPOSED FINAL BUILDING OFFSET DIMENSIONS & ELEVATIONS AS PER CLIENTS REQUEST AND SHOULD NOT BE EXCEEDED.

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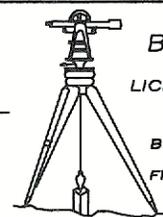
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CERTIFIED TO:  
RICH RAUFF  
CARY COMMONS LLC



BARRY M. FAHRER  
NEW YORK STATE  
LICENSED LAND SURVEYOR  
No. 49851  
BARRY M. FAHRER L.S. P.C.  
206 CHURCH STREET  
FREEPORT NEW YORK 11520  
(516) 623-2069  
FAX (516) 623-0628

STATE OF NEW YORK

JOB No. 20190551

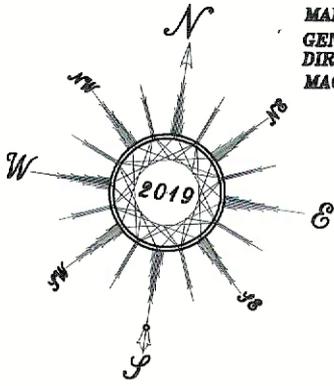
DATE SURVEYED 10/07/2019  
FREEPORT

TITLE No. SECTION No. 54  
TAX BLOCK No. 319

LOT No. 100, 226-227 COUNTY OF: NASSAU  
P/O 99 & 102

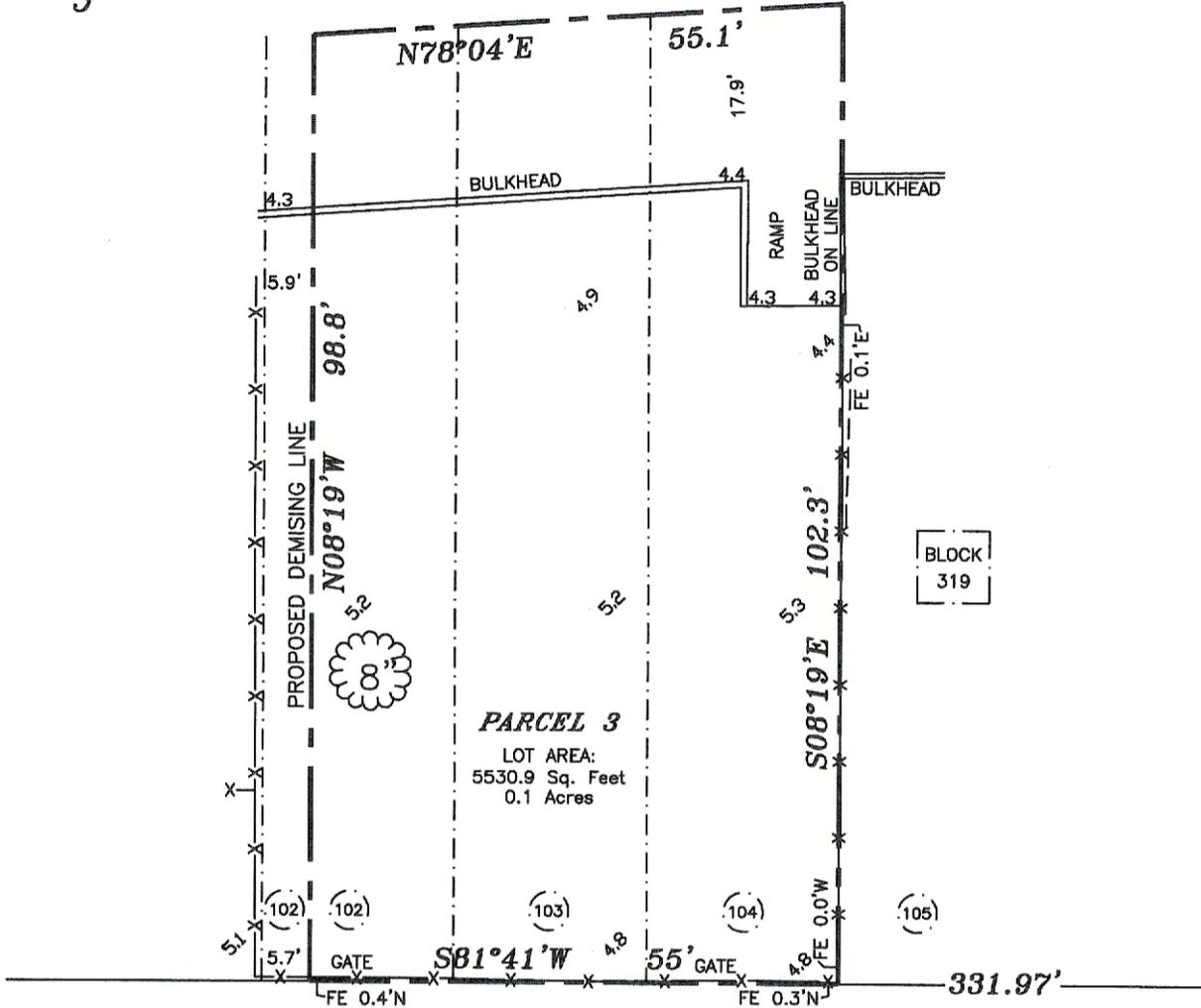
# ARCHITECTURAL SURVEY

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SCALE 1"=20'



MAP  
GENERAL DIRECTION  
MAGNETIC

## CARY CANAL



### LEGEND

- WOOD UTILITY POLE
- UTILITY/LIGHT POLE
- TREE WITH DIAMETER
- EXISTING GRADE

## CARY PLACE

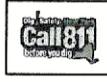
AVERAGE 200' FRONT YARD SETBACK 14.4'

Zoning Chart (Parcel 3)  
Village of Freeport - Residence A District

	Required	Provided
Lot Area	5,000 S.F.	5,530.9 S.F.
Street Frontage	50 Feet	55 Feet
Lot Width	50 Feet	55 Feet

ELEVATIONS SHOWN ON THIS PLAT HAVE BEEN DEVELOPED USING A NETWORKED GPS SYSTEM AND ARE CONSISTENT WITH NAVD 1988

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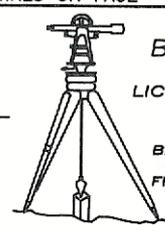
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**CERTIFIED TO:**  
RICH RAUFF  
CARY COMMONS LLC



**BARRY M. FAHRER**  
NEW YORK STATE  
LICENSED LAND SURVEYOR  
No. 49851

BARRY M. FAHRER L.S. P.C.  
208 CHURCH STREET  
FREEPORT NEW YORK 11520  
(516) 623-2069  
FAX (516) 623-0628

STATE OF NEW YORK

JOB No. 20190551  
SECTION No. 54  
TITLE No. TAX BLOCK No. 319 LOT No. 103-104, P/O 102 COUNTY OF: NASSAU  
DATE SURVEYED 10/07/2019  
FREEPORT

*[Handwritten Signature]*

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

       The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project:

Building Permit App. # \_\_\_\_\_

Location: 128 Cary Pl., Freeport NY Section 54/ Block 319/ Lots 96-100, 102-104, & 226-227

Applicant: Inc. Village of Freeport

Description: Application for subdivision to create three (3) lots for the construction of two (2) one-family dwelling and maintain existing one family.

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_  
\_\_\_\_\_

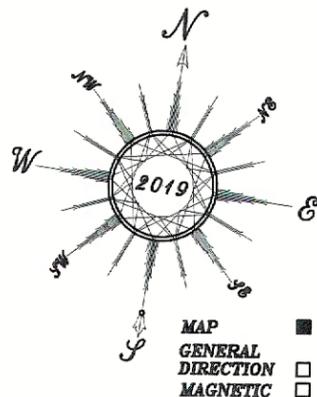
B) Possible environmental effects identified:  
(only if positive determination)

DATED: July 6, 2022

  
Sergio A. Mauras  
Superintendent of Buildings

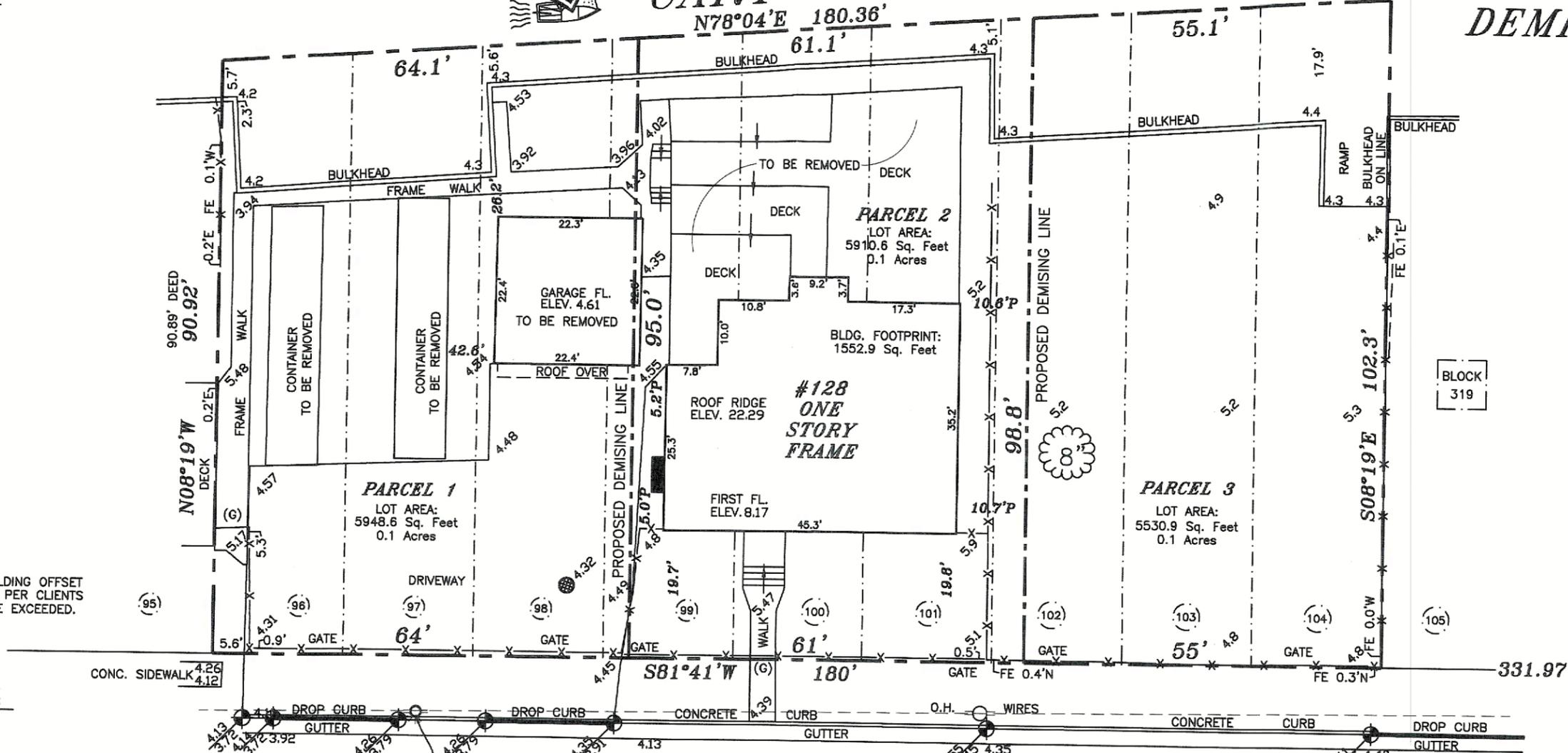
**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

10 5 0 10 20  
SCALE 1"=20'



# CARY CANAL

# PROPOSED DEMISING PLAN



WEST END AVENUE

NOTE: 5.0'P = PROPOSED FINAL BUILDING OFFSET DIMENSIONS & ELEVATIONS AS PER CLIENTS REQUEST AND SHOULD NOT BE EXCEEDED.

BLDG. FOOTPRINT: 1552.9 Sq. Feet  
GARAGE FOOTPRINT: 501.4 Sq. Feet  
LOT AREA: 17390.1 Sq. Feet  
LOT COVERAGE 11.8%

ELEVATIONS SHOWN ON THIS PLAT HAVE BEEN DEVELOPED USING A NETWORKED GPS SYSTEM AND ARE CONSISTENT WITH NAVD 1988

CALL UFPO TWO WORKING DAYS BEFORE DIGGING! 1-800-962-7962 OR 811  
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# CARY PLACE

AVERAGE 200' FRONT YARD SETBACK 14.4'

EASEMENTS, IF ANY, NOT SHOWN.

LEGEND

- WOOD UTILITY POLE
- UTILITY/LIGHT POLE
- TREE WITH DIAMETER
- EXISTING GRADE

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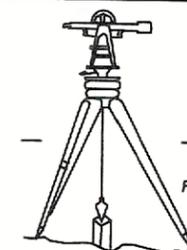
CERTIFIED TO:  
RICH RAUFF  
CARY COMMONS LLC  
OMNI TITLE AGENCY  
COMMONWEALTH LAND TITLE INSURANCE COMPANY

JOB # 20190551  
TITLE No.

SECTION No. 54  
TAX BLOCK No. 319

LOT No. 96-100, 102-104 & 226-227 COUNTY OF: NASSAU

DATE SURVEYED 10/07/2019  
FREEPORT



BARRY M. FAHRER  
NEW YORK STATE  
LICENSED LAND SURVEYOR  
No. 49851

206 CHURCH STREET  
FREEPORT NEW YORK 11520  
(516)623-2069  
FAX (516)623-0628

STATE OF NEW YORK

L.S.T. = LANDSCAPE TIE

FENCES: METAL — X — WOOD — \\ — POST & RAIL — □ — VINYL — V —

(G) = GATE

PROPERTY LINE A.O. = AWNING OVER O.H. = OVER HEAD S.W. = SIDEWALK L.S.T. = LANDSCAPE TIE

LOT LINE = FILED MAP LOT # 95 = TAX MAP LOT # 95 = FILED MAP LOT # C.D. = CELLAR DOOR G.B.C. = GRANITE BLOCK CURB C.C. = CONCRETE CURB

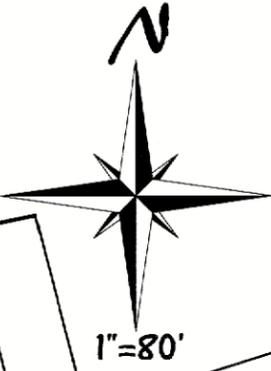
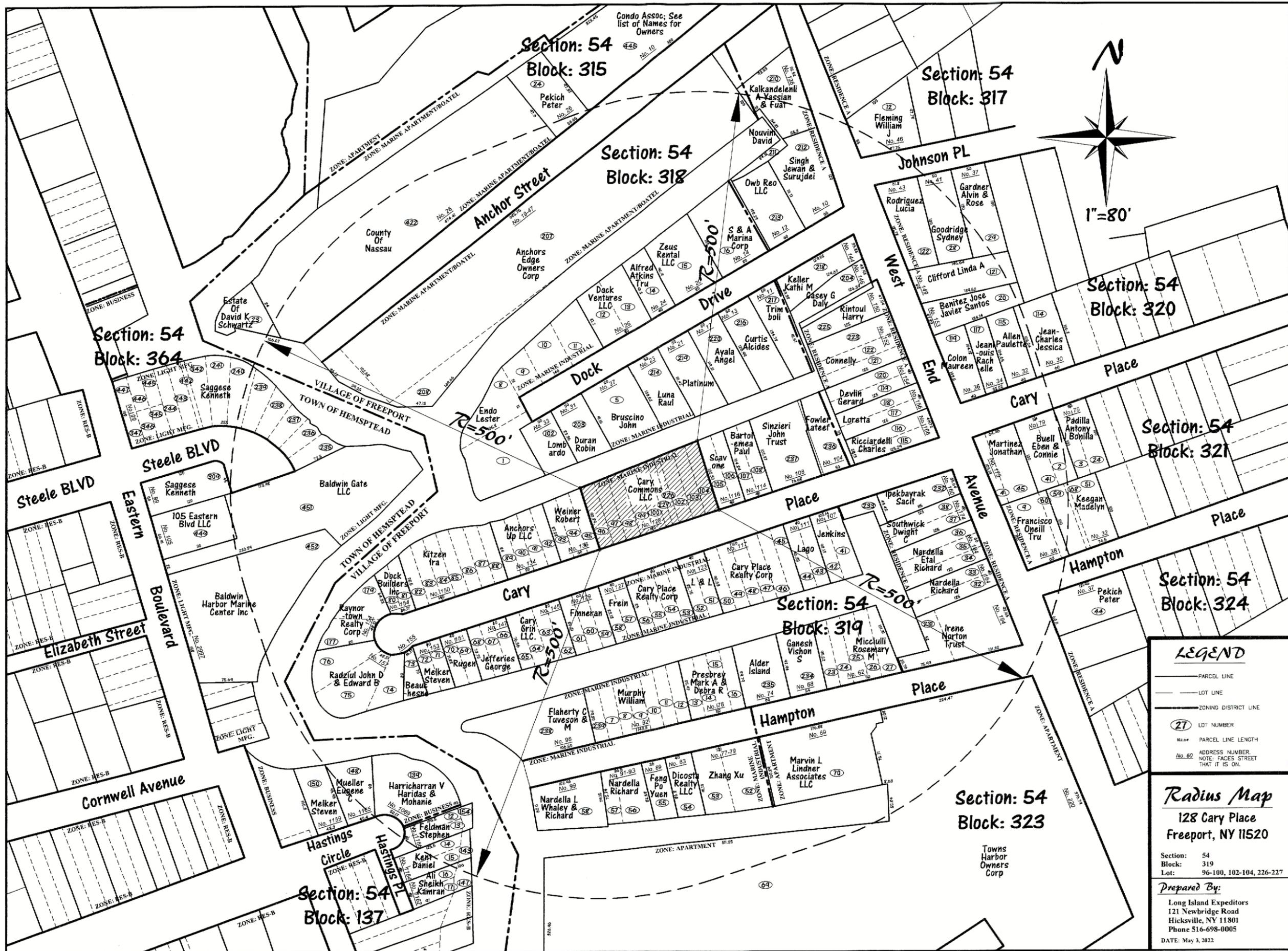


**List of Names**  
**Within 500 feet of**  
**128 Cary Place, Freeport, NY 11520**

Sec	Block	Lot	Owner Name	Address	Town
54	317	12	Fleming William J & Grace A	46 Johnson Pl	Freeport, NY 11520
54	324	44	Pekich Peter	37 Hampton Pl	Freeport, NY 11520
54	321	3 24	Padilla Antony J Bonilla	75 Cary Pl	Freeport, NY 11520
54	321	2 41	Buell Eben & Connie	79 Cary Pl	Freeport, NY 11520
54	321	4 45	Martinez Jonathan	175 Westend Ave	Freeport, NY 11520
54	321	9 60	Francisco Oneill Tru	38 Hampton Pl	Freeport, NY 11520
54	321	51 58	Keegan Madelyn	32 Hampton Pl	Freeport, NY 11520
54	320	114	Jean-Charles Jessica	30 Cary Pl	Freeport, NY 11520
54	320	115	Allen Paulette	32 Cary Pl	Freeport, NY 11520
54	320	117	Jeanlouis Rachelle	34 Cary Pl	Freeport, NY 11520
54	320	119	Colon Maureen	36 Cary Pl	Freeport, NY 11520
54	320	20	Benitez Jose Javier Santos	153 Westend Ave	Freeport, NY 11520
54	320	121	Clifford Linda A	149 Westend Ave	Freeport, NY 11520
54	320	122	Rodriguez Lucia	43 Johnson Pl	Freeport, NY 11520
54	320	28	Goodridge Sydney & Margareta	41 Johnson Pl	Freeport, NY 11520
54	320	29	Gardner Alvin & Rose	37 Johnson Pl	Freeport, NY 11520
54	323	69	Towns Harbor Owners Corp	220 Westend Ave	Freeport, NY 11520
54	323	69	Towns Harbor Owners Corp	538 BROADHOLLOW RD 3 FL EAST	MELVILLE NY 11747
54	323	69	Towns Harbor Owners Corp	53 Hampton Pl	Freeport, NY 11520
54	323	70	Marvin L Lindner Associates LLC	1161 MEADOWBROOK RD	NORTH MERRICK NY 11566
54	323	52	Zhang Xu	77 Hampton Pl	Freeport, NY 11520
54	323	53	Zhang Xu	79 Hampton Pl	Freeport, NY 11520
54	323	54	Dicosta Realty LLC	30 SOUTH OCEAN AVE	Freeport, NY 11520
54	323	55	Feng Po Yuen & Yuk Ping	89 Hampton Pl	Freeport, NY 11520
54	323	56-57	Nardella Richard	91-93 Hampton Pl	Freeport, NY 11520
54	323	58	Nardella L Whaley & Richard	99 Hampton Pl	Freeport, NY 11520
54	319	238	Flaherty C Tuveson & M	96 Hampton Pl	Freeport, NY 11520
54	319	7-12 & 239	Murphy William	92 Hampton Pl	Freeport, NY 11520
54	319	13-16	Presbrey Mark A & Debra R	78 Hampton Pl	Freeport, NY 11520
54	319	235	Alder Island Realty Corp	1060 LINKS RD	WOODMERE NY 11598
54	319	234	Ganesh Vishon S	68 Hampton Pl	Freeport, NY 11520
54	319	23-27	Micciulli Rosemary M	762 MILLER AVE	Freeport, NY 11520
54	319	230-231	Irene Norton Trust	194 W End Ave	Freeport, NY 11520
54	319	32-33	Nardella Richard	164 W End Ave	Freeport, NY 11520
54	319	34-36	Nardella Etal Richard	184 W End Ave	Freeport, NY 11520
54	319	37-38	Southwick Dwight C	174 W End Ave	Freeport, NY 11520
54	319	232	Ipekbayrak Sacit	160 W End Ave	Freeport, NY 11520
54	319	41-42 233	Jenkins Donna	107 Cary Pl	Freeport, NY 11520
54	319	43-44	Lago Roberto Winston	111 Cary Pl	Freeport, NY 11520
54	319	45-50	Cary Place Realty Corp	3445 WOODWARD ST	OCEANSIDE NY 11572
54	319	51 52	L & L Assoc Holding Corp	12 TULIP DR	GREAT NECK NY 11021
54	319	53-56	Cary Place Realty Corp	3445 WOODWARD ST	OCEANSIDE NY 11572
54	319	57-58	Frein Vincent & Jeanne	127 Cary Pl	Freeport, NY 11520
54	319	59-61	Finneran Daniel J	129 Cary Pl	Freeport, NY 11520
54	319	62-65	Cary Grin LLC.	145 Cary Pl	Freeport, NY 11520
54	319	66-68	Jefferies George	147 Cary Pl	Freeport, NY 11520
54	319	66-68	Jefferies George	413 NASSAU AVE	Freeport, NY 11520
54	319	69-70	Rugen Christopher J	151 Cary Pl	Freeport, NY 11520
54	319	71-72	Melker Steven	153 Cary Pl	Freeport, NY 11520
54	319	73	Beauchesne Michael Scott	155 Cary Pl	Freeport, NY 11520
54	319	74-76	Radziul John D & Edward B	157 Cary Pl	Freeport, NY 11520
54	319	177, 179	Raynortown Realty Corp	88 LESTER AVE	Freeport, NY 11520
54	319	80-81	Raynortown Dock Builders Inc	88 LESTER AVE	Freeport, NY 11520

54	319	82-88	Kitzen Ira	150 Cary Pl	Freeport, NY 11520
54	319	89-92	Anchors Up LLC	68 WEST FIRST ST	Freeport, NY 11520
54	319	93-95	Weiner Robert	136 Cary Pl	Freeport, NY 11520
54	319	105-106	Scavone Joseph F	1 ANCHORAGE WAY 702	Freeport, NY 11520
54	319	107-108	Bartolemea Paul	114 Cary Pl	Freeport, NY 11520
54	319	237	Sinzieri John Trust	108 Cary Pl	Freeport, NY 11520
54	319	236	Fowler Lateef	104 Cary Pl	Freeport, NY 11520
54	319	115-116	Ricciardelli Charles & Susan	166 Westend Ave	Freeport, NY 11520
54	319	117-118	Loretta Heredia Tru	156 W End Ave	Freeport, NY 11520
54	319	119-120	Devlin Gerard	154 W End Ave	Freeport, NY 11520
54	319	121-122,			
54	319	223	Connelly John T & Grace	152 W End Ave	Freeport, NY 11520
54	319	225	Rintoul Harry	518 SOUTHSIDE AVE	Freeport, NY 11520
54	318	207-208	Anchors Edge Owners Corp	2375 BEDFORD AVE	BELLMORE NY 11710
54	318	207-208	Anchors Edge Owners Corp	19-47 Anchor St	Freeport, NY 11520
54	318	207-208	Anchors Edge Owners Corp	40 RANDALL AVE SUITE 107	Freeport, NY 11520
54	318	210	Kalkandelenli A Yassian & Fuat	136 Westend Ave	Freeport, NY 11520
54	318	211	Nouvini David	100 Cypress Dr	Woodbury, NY 11520
54	318	211	Nouvini David	218-42 HILLSIDE	JAMAICA NY 11427
54	318	212	Singh Jewan & Surujdei	10 Dock Dr	Freeport, NY 11520
54	318	213	Owb Reo LLC	888 E WALNUT ST	PASADENA CA 91101
54	318	16	S & A Marina Corp	2077 BEVERLY WAY	MERRICK NY 11566
54	318	15	Zeus Rental LLC	322 SOUTH MAIN ST	Freeport, NY 11520
54	318	14	Alfred Atkins Tru	24 Dock Dr	Freeport, NY 11520
54	318	12-13	Dock Ventures LLC	35 ROOSEVELT AVE	SYOSSET NY 11791
54	318	1, 8-11	Endo Lester & Marianne	99 ROSE ST	Freeport, NY 11520
54	318	102	Lombardo Christopher	33 Dock Dr	Freeport, NY 11520
54	318	203	Duran Robin R	31 Dock Dr	Freeport, NY 11520
54	318	5	Bruscino John & Rose	187 MADISON AVE	Freeport, NY 11520
54	318	214	Luna Raul	23 Dock Dr	Freeport, NY 11520
54	318	219	Platinum Select Abstract Holding LLC	92 ATLANTIC AVE	Freeport, NY 11520
54	318	220	Ayala Angel A	17 Dock Dr	Freeport, NY 11520
54	318	216	Curtis Alcides	70 NORTH LONG BEACH AVE	Freeport, NY 11520
54	318	217	Trimboli Anthony C	11 Dock Dr	Freeport, NY 11520
54	318	218	Keller Kathi M & Kramer Raymond	144 Westend Ave	Freeport, NY 11520
54	318	204	Casey G Daly & Geraldine	146 Westend Ave	Freeport, NY 11520
54	315	445	Bisram Brandon & Ralph Karen W	10 Anchor St Unit 1	Freeport , NY 11520
54	315	445	Dixon Macarthur Jr & Dixon Treena A	10 Anchor St Unit 2	Freeport , NY 11520
54	315	445	Kaplan Vladislav	10 Anchor St Unit 3	Freeport , NY 11520
54	315	445	Castillo Michael	10 Anchor St Unit 4	Freeport , NY 11520
54	315	445	Hazell Easton	10 Anchor St Unit 5	Freeport , NY 11520
54	315	445	Derienzo-Scott Gladys	10 Anchor St Unit 6	Freeport , NY 11520
54	315	445	Wu Jennifer C	10 Anchor St Unit 7	Freeport , NY 11520
54	315	445	Camacho Andres & Andrade Jackelin	10 Anchor St Unit 8	Freeport , NY 11520
54	315	445	Mulqueen Mary	10 Anchor St Unit 9	Freeport , NY 11520
54	315	445	Brash-Mcleod Chauntal D	10 Anchor St Unit 10	Freeport , NY 11520
54	315	445	Diverniero Jenna R	10 Anchor St Unit 11	Freeport , NY 11520
54	315	445	Monne Gustavo & Guevara Maria Victoria	10 Anchor St Unit 12	Freeport , NY 11520
54	315	445	Chanda Robert	10 Anchor St Unit 13	Freeport , NY 11520
54	315	445	Goldschlag Evan	10 Anchor St Unit 14	Freeport , NY 11520
54	315	24	Pekich Peter	312 WHITTIER AVE	FLORAL PARK NY 11001
54	315	422	County Of Nassau	1 WEST STREET	MINEOLA NY 11501
54	315	23	Estate Of David K Schwartz	194 OLD COUNTRY ROAD	MINEOLA NY 11501
54	137	150	Mcbride Matthew	1159 Hastings Cir	Baldwin, NY 11510
54	137	148	Mueller Eugene C	1165 Hastings Cir	Baldwin, NY 11510
54	137	139	Harricharran V Haridas & Mohanie	1169 Hastings Cir	Baldwin, NY 11510

54	137	12-13 154	Feldman Stephen & M	1166 Hastings Cir	Baldwin, NY 11510
54	137	14-15, 143	Kent Daniel	1164 Hastings Cir	Baldwin, NY 11510
54	137	16-17, 147	Ali Sheikh Kamran & Naz Atiya	1162 Hastings Cir	Baldwin, NY 11510
54	364	452	Baldwin Harbor Marine Center Inc	2997 Eastern Blvd	Baldwin, NY 11510
54	364	451	Baldwin Gate LLC	46 RED BROOK RD	KINGS POINT NY 11024
54	364	449	105 Eastern Blvd LLC	105 Eastern Blvd	Baldwin, NY 11510
		309 235- 241, 243- 244, 442, 342, 345- 347, 445-			
54	364	447	Saggese Kenneth	3439 BAYFRONT PL	Baldwin, NY 11510



**LEGEND**

- PARCEL LINE
- LOT LINE
- ZONING DISTRICT LINE
- (27) LOT NUMBER
- MEAS. PARCEL LINE LENGTH
- NO. 60 ADDRESS NUMBER, NOTE: FACES STREET THAT IT IS ON.

**Radius Map**  
 128 Cary Place  
 Freeport, NY 11520

Section: 54  
 Block: 319  
 Lot: 96-100, 102-104, 226-227

**Prepared By:**  
 Long Island Expeditors  
 121 Newbridge Road  
 Hicksville, NY 11801  
 Phone 516-698-0005  
 DATE: May 3, 2022

\*\*\*\* Electronically Filed Document \*\*\*\*

Instrument Number: 2019-101381

Recorded As: EX-D01 - DEED

Recorded On: November 18, 2019

Recorded At: 03:39:47 pm

Receipt Number: 1676994

Number of Pages: 4

Processed By: 001 CI

Book-VI/Pg: Bk-D VI-13876 Pg-953

Total Rec Fee(s): \$2,198.00

\*\* Examined and Charged as Follows \*\*

01 - DEED	\$ 60.00	EX-Blocks - Deeds - \$300	\$ 300.00	EX-RP5217 Residential Fee	\$ 125.00
EX-TP-584 Affidavit Fee	\$ 5.00				

Tax-Transfer HEMPSTEAD	Tax Amount \$ 1708.00	Consid Amt \$ 426900.00	RS#/CS# RE 8476	Basic	\$ 0.00
				Local NY CITY	\$ 0.00
				Additional MTA	\$ 0.00
				Spec ASST	\$ 0.00
				Spec ADDL SONYMA	\$ 0.00
				Transfer	\$ 1708.00

Tax Charge: \$ 1708.00

Property Information:

Section	Block	Lot	Unit	Town Name
54	319	96		HEMPSTEAD
54	319	97		HEMPSTEAD
54	319	98		HEMPSTEAD
54	319	99		HEMPSTEAD
54	319	100		HEMPSTEAD
54	319	102		HEMPSTEAD
54	319	103		HEMPSTEAD
54	319	104		HEMPSTEAD
54	319	226		HEMPSTEAD
54	319	227		HEMPSTEAD

\*\*\*\*\*THIS PAGE IS PART OF THE INSTRUMENT\*\*\*\*\*

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.



*Maureen O'Connell*  
County Clerk Maureen O'Connell

THIS INDENTURE, made the 4<sup>th</sup> day of November in the year 2019

**BETWEEN**

DONNA L. FORSBERG, residing at 10 PENELOPE LANE, HUNTINGTON, NEW YORK 11743

JANET WELLS, residing at 217 WOODBINE AVENUE, NORTHPORT, NEW YORK 11768

party of the first part, and

CARY COMMONS LLC

residing at

847 FULTON STREET, FARMINGDALE, NEW YORK 11735

party of the second part,

WITNESSETH, that the party of the first part, in consideration of FOUR HUNDRED TWENTY-SIX THOUSAND NINE HUNDRED (\$426,900.00)-----dollars paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being

SEE SCHEDULE "A" ATTACHED HERETO

Premises: 128 CARY PLACE, FREEPORT, NEW YORK 11520

Section: 54

Block: 319

Lot: 96-100, 102-104, 226-227

SAID premises is being the same premises described

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

Donna Forsberg  
Janet Wells

54  
319  
96-100  
102-104  
226-227

**SCHEDULE A**

**ALL** that certain plot, piece or parcel of land, situate, lying and being in the Village of Freeport, Town of Hempstead, County of Nassau and State of New York, which on a certain map entitled, "Map of West End Harbor, Property of A.W. Pearshall and Edward Bedell, Freeport, NY" surveyed July 1923 by Smith & Malcomson, Inc., Civil Engineers, Freeport, NY, filed in the Office of the Clerk of the County of Nassau on May 3, 1924 as Map No. 543, Case No. 3335, as and by the Lots Numbered 96 to 104, inclusive more particularly bounded and described as follows:

**BEGINNING** at a point on the northerly side of Cary Place, at the point where the dividing line of lots 104 and 105 on the aforesaid map intersects the northerly side of Cary Place, Said point of beginning also being 331.97 feet westerly when measured along the northerly side of Cary Place with the westerly side of West End Avenue;

**RUNNING THENCE** South 81 degrees 41 minutes West, along the northerly side of Cary Place, 180 feet;

**THENCE** North 8 degrees 19 minutes West, (deed North 18 degrees 19 minutes West) 90.89 feet to Cary Canal;

**THENCE** North 78 degrees 4 minutes East, along Cary Canal 180.36 feet to the westerly line of Lot 105 in the aforementioned map;

**THENCE** South 8 degrees 19 minutes East, along the westerly line of Lot 105 on the aforementioned Map, 102.30 feet to the northerly side of Cary Place at the point or place of **BEGINNING**.

**FOR INFORMATION ONLY:**

Section 54 Block 319 Lot

96-100, 102-104, 226-227

STATE OF NEW YORK, COUNTY OF NASSAU  
On the 4<sup>th</sup> day of November in the year 2019, before me, the undersigned, personally appeared Donna L. Forsberg and Janet Wells, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person on behalf of which the individual(s) acted, executed the instrument.

*Clifford H. Lewisohn*  
CLIFFORD H. LEWISOHN  
Notary Public-State of New York  
No. 01LE4885765  
Qualified in Nassau County  
Commission Expires 2/17/2023

STATE OF \_\_\_\_\_, COUNTY OF \_\_\_\_\_  
On the \_\_\_\_\_ day of \_\_\_\_\_ in the year \_\_\_\_\_, before me, the undersigned, a Notary Public in and for said State, personally appeared \_\_\_\_\_,

the \_\_\_\_\_, subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he/she/they reside(s) in \_\_\_\_\_

(if the place of residence is in a city, include the street and street number if any, thereof, that he/she/they know(s))

to be the individual described in and who executed the foregoing instrument; that said subscribing witness was present and saw said \_\_\_\_\_

execute the same; and that said witness at the same time subscribed his/her/their name(s) as a witness thereto

[add the following if the acknowledgment is taken outside NY State] and that said subscribing witness made such appearance before the undersigned in the (insert the city or other political subdivision and the State or country or other place the proof was taken).

# Bargain and Sale Deed

WITH COVENANT AGAINST GRANTOR'S ACTS

TITLE No. 1905-2972223

FORSBERG/WELLS  
TO  
CARY COMMONS LLC

STATE OF \_\_\_\_\_  
On the \_\_\_\_\_ day of \_\_\_\_\_ in the year \_\_\_\_\_, before me, the undersigned, personally appeared \_\_\_\_\_,

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person on behalf of which the individual(s) acted, executed the instrument

[add the following if the acknowledgment is taken outside NY State] and that said individual made such appearance before the undersigned in the (insert the city or other political subdivision and the State or country or other place the acknowledgment was taken).

STATE OF \_\_\_\_\_, COUNTY OF \_\_\_\_\_  
On the \_\_\_\_\_ day of \_\_\_\_\_ in the year \_\_\_\_\_, before me personally came \_\_\_\_\_,

to me known, who, being by me duly sworn, did depose and say that he resides at \_\_\_\_\_ that he is the \_\_\_\_\_ of \_\_\_\_\_ the corporation described in and which executed the foregoing instrument; that he knows the seal of said corporation; that the seal affixed to said instrument is such corporate seal; that it was so affixed by order of the board of directors of said corporation, and that he signed his name thereto by like order.

SECTION 54  
BLOCK 319  
LOT 96-100, 102-104, 126-227  
COUNTY OR TOWN NASSAU/HEMPSTEAD

RETURN BY MAIL TO:

J. BRADFORD KENEALY, ESQ.  
553 BROADWAY  
MASSAPEQUA, NEW YORK 11758

STATE OF NEW YORK  
COUNTY OF NASSAU  
I, MAUREEN O'CONNELL, County Clerk of the County of Nassau and the Supreme and County Court, County of Nassau, do hereby certify that I have compared the annexed with the original DEED: 13876 PAGES: 953  
FILED AND ENTERED IN MY OFFICE 11-18-2019 and the same is a true transcript in respect to the original, and the same is a true copy in testimony whereof, I have hereunto set my hand and affixed the official seal of said County of Nassau, on this 25 day of April 2022  
*Maureen O'Connell*  
County Clerk





First in Service First in Value

June 6, 2022

Russell C Jordan Architect  
44 Casino Street  
Freeport, N.Y. 11520

Re: Electric Availability  
Single Family House  
Vacant Lot East of 128 Cary Pl.  
Freeport, N.Y. 11520  
Section 54, Block 319 Lot 103, 104 part of 102

Dear Mr. Jordan

Freeport Electric can provide power to the above mentioned location.

Please have your electrical contractor contact me prior to the start of construction to obtain a service location.

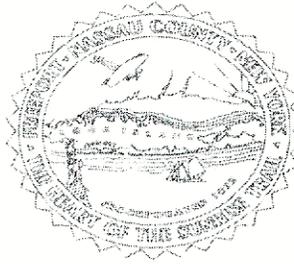
If you have any questions regarding this project please contact me at (516) 377-2235.

Thank you,

Lester A. Endo Jr.  
Supervisor, Electric Service

Via Email  
C: Building Department

First in Service First in Value  
46 North Ocean Ave, Freeport, NY 11520 Tel: 516-377-2220 Fax: 516-377-2359



**VILLAGE OF FREEPORT**  
**Water & Sewer Department**  
46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2379 FAX (516) 378-0364  
E-Mail [waterquestions@freeportny.gov](mailto:waterquestions@freeportny.gov)

**ROBERT T. KENNEDY**  
MAYOR

**ROBERT FISENNE**  
Superintendent of Public Works

May 26, 2022

Russell C. Jordan  
44 Casino Street  
Freeport, NY 11520

Reference: New Construction of 2 Single Family House  
128 Cary Place, Freeport, NY 11520  
Eastern Lot: Section 54/ Block 319, Lot 103 & 105 & Part of 102  
Western Lot: Section: 54, Block 319, Lots 96, 97 & 98 and part of 99

Dear Mr. Jordan:

This will acknowledge the receipt of your request received May 25, 2022 concerning the availability of water service at the above referenced location. The water production facilities of the Freeport Municipal Water Department will be able to provide water service to the referenced location only in accordance with the details of the request and subject to the system operation and performance, water conservation plan, rules and regulations and Chapter 201- Water, of the Code of Ordinances of the Village of Freeport.

The following requirements are made part of the availability letter:

- 1) Compliance with State and local Health Department regulations for Cross Connection.
- 2) All plumbing fixtures are to be of the water saving type as required by law. Water closets are to be low flush with an average flush volume of no more 1.6 gallons per flush.
- 3) Shower heads must use no more than 3 gallons per minute.
- 4) Lavatory faucets must use no more than 3 gallons per minute.
- 5) All other faucets must use no more than 3 gallons per minute.
- 6) Urinals must flush at no more than 1 gallon.
- 7) Lavatory faucets designed for use in public buildings and facilities, and all drinking water fountains, must be self-closing.
- 8) **Plumbing permit must be obtained from the Building Department.**
- 9) **Other as required subject to all building department, zoning board and site plan approvals.**
- 10) **Double Check Valve**

May 26, 2022

Page 2

Limitations on water production imposed by the New York State Department of Environmental Conservation have reduced the quantity of water available to our consumers. Therefore, please be advised that water availability is also subject to future restrictions on water usage as imposed by the Freeport Water Department. The applicant for the building permit must also demonstrate their implementation and compliance with all water conservation measures as required by the Water Department.

Sincerely,  
Freeport Water Department



Robert R. Fisenne, P.E.  
Superintendent of Public Works













617.20  
Appendix B  
Short Environmental Assessment Form

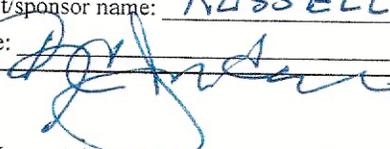
**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: <b>CARY COMMONS LLC</b>			
Project Location (describe, and attach a location map): <b>SECTION 54 BLOCK 319 LOTS 96-104 128 CARY PLACE FREEPORT, NY 11520</b>			
Brief Description of Proposed Action: <b>SUBDIVIDE LOT INTO 3 PARCELS. CONSTRUCT 2 NEW HOUSES</b>			
Name of Applicant or Sponsor: <b>RUSSELL C. JORDAN</b>		Telephone: <b>516 241 5969</b>	
		E-Mail: <b>RJARCHITECT@AOL.COM</b>	
Address: <b>44 CASINO ST,</b>			
City/PO: <b>FREEPORT</b>		State: <b>NY</b>	Zip Code: <b>11520</b>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO  YES
			<b>X</b>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO  YES
<b>FREEPORT BUILDING PERMIT</b>			<b>X</b>
3.a. Total acreage of the site of the proposed action?		<b>0.399</b> acres	
b. Total acreage to be physically disturbed?		<b>0.077</b> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<b>0.399</b> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	<i>USE VARIANCE</i>		NO	YES	N/A
	<i>OBTAINED</i>		<i>X</i>		
b. Consistent with the adopted comprehensive plan?					<i>X</i>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?			NO	YES	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____			NO	YES	<i>X</i>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?			<i>X</i>		
b. Are public transportation service(s) available at or near the site of the proposed action?			<i>X</i>		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			<i>X</i>		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____			NO	YES	<i>X</i>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____			NO	YES	<i>X</i>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____			NO	YES	<i>X</i>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?			NO	YES	
b. Is the proposed action located in an archeological sensitive area?			<i>X</i>		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?			NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: <i>CUT 720 SQ. FT. FULL 500 SQFT AS PER NY DEC PERMIT 1-2820-07335/00001 TO RE-POSITION EXISTING BULKHEAD</i>				<i>X</i>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input checked="" type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban					
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?			NO	YES	
16. Is the project site located in the 100 year flood plain?			<i>X</i>		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <i>ROOF RUNOFF TO BE CONTAINED ON SITE WITH FRENCH DRAIN SYSTEM.</i> <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES			NO	YES	<i>X</i>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	X	
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>RUSSELL C. JORDAN</u>	Date: <u>6-13-2022</u>	
Signature: 		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

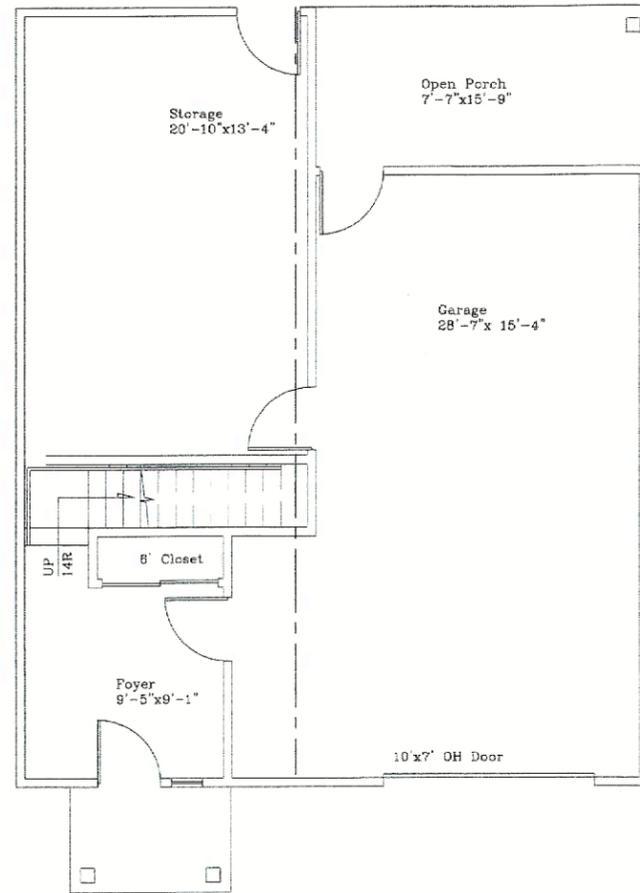
	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

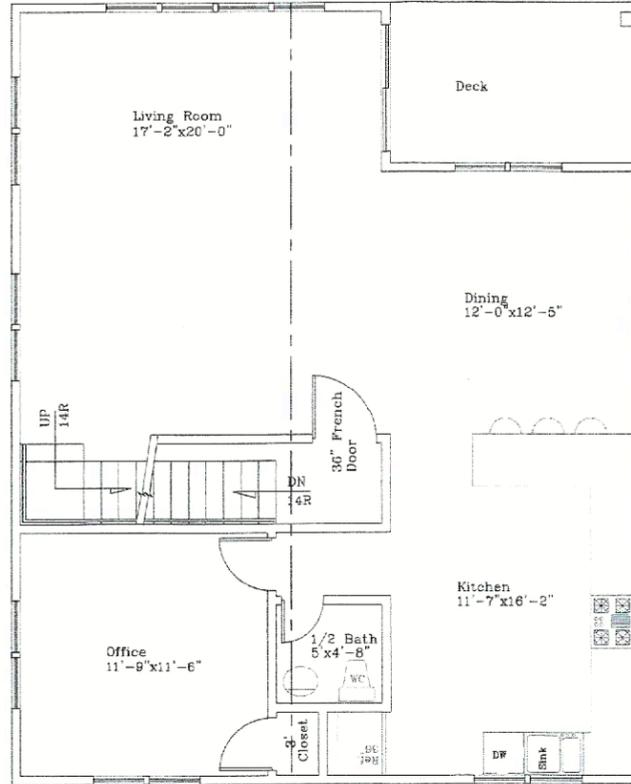
**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

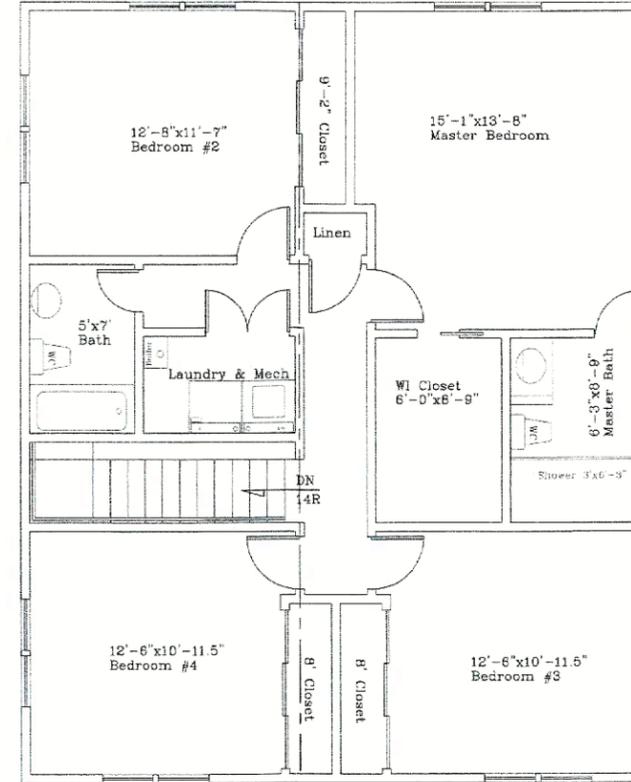




Lower Level Plan  
Scale: 1/4" = 1'-0"



1st Floor Plan  
Scale: 1/4" = 1'-0"



2nd Floor Plan  
Scale: 1/4" = 1'-0"



Russell C. Jordan Architect  
44 Casino Street, Freeport, New York 11520  
Phone: 516-241-5969  
E-mail: Rljarchitect@aol.com

Cary Commons LLC  
128 Cary Place, Freeport NY 11520

Proposed Subdivision  
Initial Schematic Plans Eastern 55' Lot

Revisions	
#000	1-29-2020
1.00	1-30-2020
2.00	5-10-2022

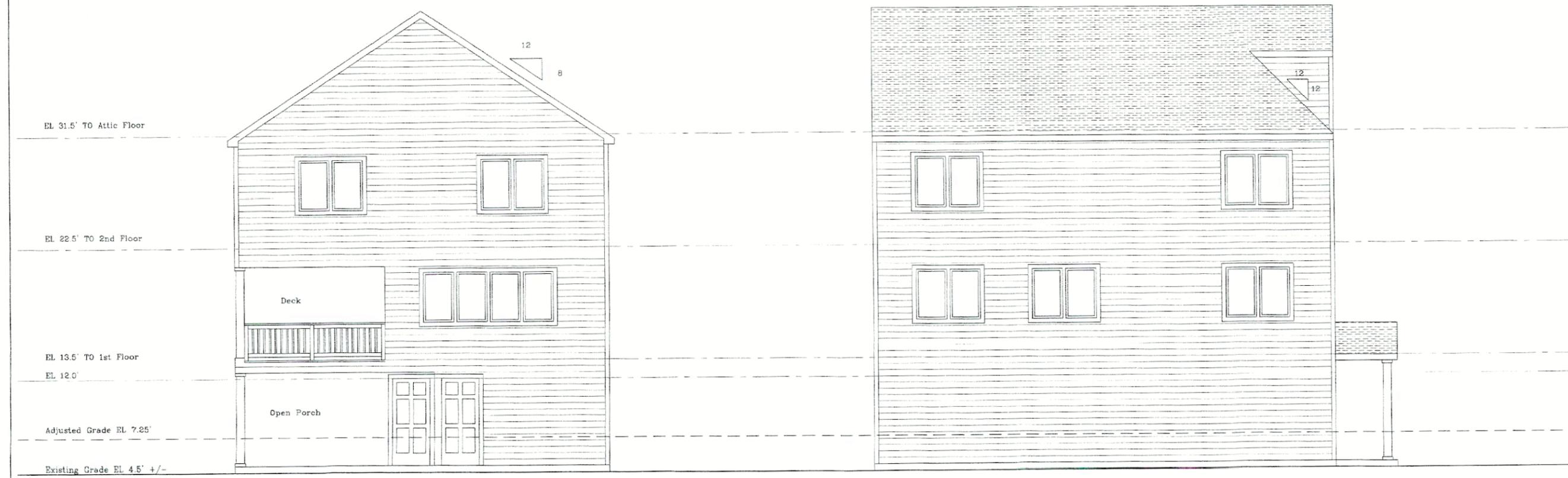
Version: SK-3  
Schematic  
Not for Construction

SK-1.00



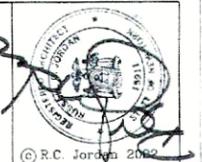
South Elevation  
Scale: 1/4" = 1'-0"

East Elevation  
Scale: 1/4" = 1'-0"



North Elevation  
Scale: 1/4" = 1'-0"

West Elevation  
Scale: 1/4" = 1'-0"



© R.C. Jordan 2022  
 Russell C. Jordan Architect  
 44 Casino Street, Freeport, New York 11520  
 Phone: 516-241-5969  
 E-mail: RJordanArchitect@aol.com

Cary Commons LLC  
 128 Cary Place, Freeport NY 11520

Proposed Subdivision  
 Proposed Elevations Eastern Lot 55'

Revisions	
#000	
2.00	5-10-2022

Version: SK-3

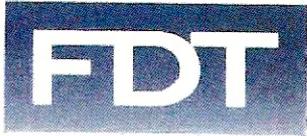
SK-2.00











FORCHELLI  
DEEGAN  
TERRANA

WILLIAM F. BONESSO  
PARTNER  
DIRECT DIAL: (516) 812-6208  
FACSIMILE: (866) 522-0376  
WBONESSO@FORCHELLILAW.COM

April 28, 2022

Mr. Richard Rauff  
Cary Commons, LLC  
24 Stymus Ave.  
Bethpage, NY 11714

Re: Cary Commons, LLC  
Notice of Decision

Dear Mr. Rauff:

I am happy to attach the Village of Freeport Zoning Board of Appeals decision granting a use variance to use marine industrial property as a residential use (see Decision and following Conditions which were imposed as part of the Decision for Appeal #2022-5).

Please note the following two important limitations on this decision:

1. There is a 30-day statute of limitations in which to challenge this decision or any of its conditions by an Article 78 proceeding. The statute begins to run on the date that this decision is filed in the Village Clerk's Office, which must be assumed to be the same date it was rendered – May 22, 2022.

#### Section 210-14—Time for Acting Upon Variance

(1) Every permit or variance granted by the Board of Appeals to modify or vary the strict application of this chapter shall be acted upon within 12 months, and if a permit is granted for a structural variance the work thereon shall be completed within 12 months; otherwise, the authority granted thereby shall automatically expire without notice, unless prior to that time an extension has been granted by the Board of Appeals. The 12-month period began on April 22, 2022.

Should you have any questions regarding the within, please do not hesitate to contact me.

Very truly yours,

FORCHELLI DEEGAN TERRANA LLP

By:   
WILLIAM F. BONESSO

WFB/ajr  
Enclosure



**VILLAGE OF FREEPORT  
MUNICIPAL BUILDING**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2300  
(516) 771-4127 Fax

ROBERT T. KENNEDY  
MAYOR

PAMELA WALSH BOENING  
VILLAGE CLERK

April 22, 2022

Mr. Richard Ruff  
Cary Commons, LLC  
24 Stymus Ave.  
Bethpage, NY 11714

**Application #2022-5 – 128 Cary Pl., Marine Industrial - Section 54/Block 319/Lot 96-100,102-104, 226&227– Cary Commons, LLC** – Use variance – use marine industrial property as a residential use.

Dear Mr. Ruff,

The above application was before the Zoning Board of Appeals at its meeting held on April 21, 2022 at which time the application was approved. Please see the attached decision from the Zoning Board of Appeals.

If you have any questions or need further information, please call my office at 516-377-2202.

Sincerely,

Robin Cantelli  
Secretary to the Zoning Board of Appeals

Cc: Forchelli Deegan Terrana LLP ✓

**INCORPORATED VILLAGE OF FREEPORT  
ZONING BOARD OF APPEALS DECISION**

**DATE: April 21, 2022**

**CORRECTED APPROVAL**

Building Department Permit Application# 20212014

Chairman, regarding Application #2022-5 for the premises located at **128 Cary Place**, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-117B seeking approval to use a marine industrial property as a residential use.

I, Charles Hawkins, move that this Board make the following findings of fact:

A public hearing was held on March 24, 2022 wherein applicant was represented by Attorney Jessica Leis of Forchelli, Deegan and Terrana. She explained that the property is on the north side of Cary Place and consists of ten separate lots. Applicant plans to subdivide the property into three buildable lots and utilize each for residential use. Right now there is one pre-existing non-conforming house in the center of the property. However, extending that use by adding two additional houses requires a variance. The existing house on its new lot will comply with all residential zoning requirements and the other two parcels will comply with lot area, street frontage and lot width. While no specific houses are proposed, the lots can accommodate zoning compliant residential dwellings.

She explained that the property has been a residential use for 70 years. The applicant could not realize a reasonable return using the subdivided lots for residential use in the middle and then another use on the other two lots, other than using those lots for residential use. The property is unique in that it is larger than other residential and industrial lots on the block. The subdivision would produce lots that are in character with the rest of the lots on that portion of Cary. Additionally, she explained that much of the eastern portion of the block is residential. Going west, the use is mixed between residential and marine industrial. She does not believe the issue is self-created in that the large lot has been used as residential since 1952.

1. Applicant has demonstrated that applicable zoning regulations and restrictions have caused unnecessary hardship. Applicant has demonstrated to the board of appeals that for each and every permitted use under the zoning regulations for the particular district where the property is located:
  - a. the applicant cannot realize a reasonable return, provided that lack of return is substantial as demonstrated by competent financial evidence. With the price paid, applicant cannot realize a reasonable return trying to use the subdivided lots for any purpose other than residential.
  - b. that the alleged hardship relating to the property in question is unique, and does not apply to a substantial portion of the district or neighborhood. This is a large lot being used for residential purposes with a house right in the middle. Other

residential uses are smaller properties. Larger marine industrial properties don't tend to have a house right in the middle of them.

- c. that the requested use variance, if granted, will not alter the essential character of the neighborhood. The block is a mix of residential and marine industrial. More residential homes will not change the character of the block.
- d. that the alleged hardship has not been self-created.

The Board, as lead agency, has determined that this action is an unlisted action under SEQRA. A short environmental assessment form has been completed by the applicant and this Board. The Board finds no environmental impact under SEQRA, issues a negative declaration, and no further review is required.

I further move that this application be granted subject to the following conditions:

- 1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
- 2. Applicant must obtain the required permits from the Building Department.

Second by: Anthony Mineo

The Clerk polled the Board:

Deputy Carey	In Favor
Member Mineo	In Favor
Member Jackson	Excused
Member Hawkins	In Favor
Alternate Scopelitis	Excused
Alternate Pinzon	Excused
Chairperson Rhoden	In Favor



From: Gregory Carman [gcarman@forchellilaw.com](mailto:gcarman@forchellilaw.com)  
Subject: Subdivision Application - 128 Cary Pl., Freeport (FDT 42010)  
Date: Apr 22, 2022 at 4:28:31 PM  
To: [richrauff@me.com](mailto:richrauff@me.com)

Hi Rich – it was great speaking with you earlier. As discussed, please see the below:

**Water Availability Letter**

Please send request to [Saberdeen@FreeportNY.gov](mailto:Saberdeen@FreeportNY.gov). In your request, please include details on how the planned subdivision will effect water demands, i.e. the planned number of fixtures, sprinklers, bathrooms, number of units, and other water related information.

**Electric Availability Letter**

Please send request to [AccountServices@FreeportElectric.com](mailto:AccountServices@FreeportElectric.com). For each proposed lot, please provide details about the proposed square footage, whether the buildings will have central air, how the properties will be heated, and the estimated required amp service.

**Bulkhead Permit**

I spoke with the Clerk's office and they confirmed that we can file this application with only the NY DEC permit and without the Village permit. Please send me a copy of this document when you can so that I can incorporate it into the application.

Please let me know if you have any questions.

Best regards,

Greg

Gregory Carman, Esq.



A Limited Liability Partnership

333 Farle Ovington Blvd., Suite 1010

Uniondale, New York 11553

Phone: 516-248-1700

Fax: 516-248-1729

E-Mail: [GCarman@forchellilaw.com](mailto:GCarman@forchellilaw.com)

[Connect On LinkedIn](#)

[WWW.FORCHELLILAW.COM](http://WWW.FORCHELLILAW.COM)

The contents of this communication are confidential and/or legally privileged. If you are not the intended recipient of this communication, please notify the sender as soon as possible. Thank you.

From: Gregory Carman [gcarman@forchellilaw.com](mailto:gcarman@forchellilaw.com)  
Subject: Application - 128 Cary Pl., Freeport (FDT 42010)  
Date: Apr 21, 2022 at 2:32:01 PM  
To: [richrauff@me.com](mailto:richrauff@me.com)

Good Afternoon Richard,

I hope all is well. I think you were able to connect with Jess before she left but I wanted to take a moment to confirm which documents for the application we need from you and their current status. Specifically, the:

1. **Bulkhead Certification;** *(copy of new permit is OK)*
2. **Proposed Floor Plans (w/ elevations for each dwelling);**
3. **Electric Availability Letter;**
4. **Water Availability Letter;** and
5. **Full Environmental Assessment Review Form (Full EAF):** can the architect draft?

If known, kindly advise when you expect to have the above documents. Please let me know if you have any questions.

Best regards,

Greg

Gregory Carman, Esq.



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DEEGAN  
TERRANA

A Limited Liability Partnership

333 Earle Ovington Blvd., Suite 1010

Uniondale, New York 11553

Phone: 516-248-1700

Fax: 516-248-1729

E-Mail: [GCarman@forchellilaw.com](mailto:GCarman@forchellilaw.com)

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# NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 1

SUNY @ Stony Brook, 50 Circle Road, Stony Brook, NY 11790

P: (631) 444-0365 | F: (631) 444-0360

www.dec.ny.gov

September 17<sup>th</sup>, 2020

John Rebhan  
Cary Commons LLC Property  
PO Box 580  
Speonk, NY 11972

**Re: NYSDEC # 1-2820-07335/00001**  
**Cary Commons LLC Property: 128 Cary Place, Freeport, NY 11520**  
**Remove and replace 180 linear feet bulkhead, increase bulkhead elevation 18 inches,**  
**dredge, backfill**

Dear Permittee:

In conformance with the requirements of the State Uniform Procedures Act (Article 70, ECL) and its implementing regulations (6NYCRR, Part 621) we are enclosing your permit.

Please carefully read all permit conditions and special permit conditions contained in the permit to ensure compliance during the term of the permit. If you are unable to comply with any conditions, please contact us at the above address. This permit must always be kept available on the premises of the facility.

Also enclosed please find a permit sign which is to be conspicuously posted at the project site and protected from the weather.

Sincerely,



Torey K. Kouril  
Environmental Analyst

Enclosures

TKK/file

cc: NYSDEC MHP  
Ocean Consulting



Department of  
Environmental  
Conservation



**PERMIT**  
**Under the Environmental Conservation Law (ECL)**

**Permittee and Facility Information**

**Permit Issued To:**  
CARY COMMONS LLC  
JOHN REBHAN  
PO BOX 580  
SPEONK, NY 11972-0580

**Facility:**  
CARY COMMONS LLC  
128 CARY PL  
FREEPORT, NY 11520

**Facility Location:** in HEMPSTEAD in NASSAU COUNTY **Village:** Freeport  
**Facility Principal Reference Point:** NYTM-E: 618.646 NYTM-N: 4499.664  
Latitude: 40°38'21.5" Longitude: 73°35'48.8"

**Project Location:** 128 Cary Place, Freeport, NY 11520

**Authorized Activity:** Remove 80 linear feet of existing functional bulkheading and replace within 9 feet landward. Remove a 40 linear foot section and a 60 linear foot section of existing functional bulkheading and replace within 5 feet seaward. Construct a new 5 linear foot section and a 14 linear foot section of bulkheading.

Increase bulkhead elevation by 18 inches. Construct two (2) 6 foot returns.

Dredge a 10 foot wide area to -4 MLW. Place excavated fill and 25 cubic yards of dredge material landward of new bulkheading.

Remove existing float. Close off a 8 foot by 10 foot ramp with 10 cubic yards of clean fill.

All authorized activities shall be done in strict conformance with the attached plans prepared by Ocean Consulting, dated 20-MAY-20, and stamped "NYSDEC Approved" on 09/17/2020.

**Permit Authorizations**

**Tidal Wetlands - Under Article 25**

Permit ID 1-2820-07335/00001

New Permit

Effective Date: 9/17/2020

Expiration Date: 9/16/2025

**Excavation & Fill in Navigable Waters - Under Article 15, Title 5**

Permit ID 1-2820-07335/00002

New Permit

Effective Date: 9/17/2020

Expiration Date: 9/16/2025

**Water Quality Certification - Under Section 401 - Clean Water Act**

Permit ID 1-2820-07335/00003

New Permit

Effective Date: 9/17/2020

Expiration Date: 9/16/2025



**NYSDEC Approval**

**By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the ECL, all applicable regulations, and all conditions included as part of this permit.**

Permit Administrator: KEVIN A KISPERT, Deputy Permit Administrator  
Address: NYSDEC Region 1 Headquarters  
SUNY @ Stony Brook|50 Circle Rd  
Stony Brook, NY 11790 -3409

Authorized Signature: 

Date 9/17/2020

**Distribution List**

Marine Habitat Protection  
Torey K. Kouril

**Permit Components**

- NATURAL RESOURCE PERMIT CONDITIONS
- WATER QUALITY CERTIFICATION SPECIFIC CONDITION
- GENERAL CONDITIONS, APPLY TO ALL AUTHORIZED PERMITS
- NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

**Permit Attachments**

Site Plan

5/20/2020



**NATURAL RESOURCE PERMIT CONDITIONS - Apply to the Following Permits: TIDAL WETLANDS; EXCAVATION & FILL IN NAVIGABLE WATERS; WATER QUALITY CERTIFICATION**

- 1. Conformance With Plans** All activities authorized by this permit must be in strict conformance with the approved plans submitted by the applicant or applicant's agent as part of the permit application. Such approved plans were prepared by Ocean Consulting, dated 20-MAY-20, and stamped "NYSDEC Approved" on 09/17/2020.
- 2. Post Permit Sign** The permit sign enclosed with this permit shall be posted in a conspicuous location on the worksite and adequately protected from the weather.
- 3. Notice of Commencement** At least 48 hours prior to commencement of the project, the permittee and contractor shall sign and return the top portion of the enclosed notification form certifying that they are fully aware of and understand all terms and conditions of this permit. Within 30 days of completion of project, the bottom portion of the form must also be signed and returned, along with photographs of the completed work.
- 4. No Construction Debris in Wetland or Adjacent Area** Any debris or excess material from construction of this project shall be completely removed from the adjacent area (upland) and removed to an approved upland area for disposal. No debris is permitted in wetlands and/or protected buffer areas.
- 5. Materials Disposed at Upland Site** Any demolition debris, excess construction materials, and/or excess excavated materials shall be immediately and completely disposed of in an authorized solid waste management facility. These materials shall be suitably stabilized as not to re-enter any water body, wetland or wetland adjacent area.
- 6. No Disturbance to Vegetated Tidal Wetlands** There shall be no disturbance to vegetated tidal wetlands or protected buffer areas as a result of the permitted activities.
- 7. Storage of Equipment, Materials** The storage of construction equipment and materials shall be confined to the upland area landward of the bulkhead or on a barge.
- 8. Clean Fill Only** All fill shall consist of clean sand, gravel, or soil (not asphalt, slag, flyash, broken concrete or demolition debris).
- 9. Grade to Match That Adjacent to Bulkhead** All fill must be graded to match the elevation of the land immediately adjacent to the bulkhead.
- 10. Backfilling** All peripheral berms, cofferdams, rock revetments, seawalls, gabions, bulkheads or other approved shoreline stabilization structures shall be completed prior to placement of any fill material behind such structures.
- 11. Bulkhead Replacement** The 40 foot and 60 foot bulkhead sections shall be constructed within a maximum of 5 feet seaward of the existing structure, measured from the seaward face of the existing sheathing to the outermost seaward face of the new sheathing (as shown on the approved cross-section).



**12. New Bulkhead Landward of Existing Structure** The 80 foot bulkhead section shall be constructed landward of the existing structure. The existing sheathing shall not be removed until the landward sheathing is securely in place. Once the new sheathing has been appropriately installed, the old sheathing shall be cut to grade or removed in its entirety.

**13. Replacement Bulkhead Maximum Height** The top elevation of the replacement bulkhead shall be no more than 18 inches higher than the existing bulkhead.

**14. No Structures on Bulkhead** No permanent structures shall be installed on the authorized bulkhead without first obtaining written department approval (permit, modification, amendment).

**15. Excavation for Bulkhead/Structure** Prior to any construction or removal of bulkheads and other shoreline stabilization structures all backfill shall be excavated landward of the structure and retained so as not to enter the waterway, tidal wetland or protected buffer area.

**16. No Runoff Over or Through Bulkhead or into Wetland** There shall be no discharge of runoff or other effluent over or through any bulkhead or shoreline stabilization structure or into any tidal wetland or protected buffer area.

**17. Bulkhead Decking** No portion of the decking or boardwalk shall extend seaward of the bulkhead sheathing.

**18. Use of Treated Wood** The use of wood treated with Pentachlorophenol or other wood treatment not specifically approved by the Department for use in wetlands and/or marine waters, is strictly prohibited in the construction of structures that will be in contact with tidal waters.

**19. No Floats** This permit does not authorize the installation of floats.

**20. Repairs to Structures** All repairs to existing structures shall be confined to replacement of existing elements with no change in design, dimension or materials, unless specifically authorized by this permit.

**21. Dredgings to Remain On-Site/Within Wetland** Dredge material approved to remain on-site and/or within the NYSDEC Tidal Wetlands jurisdiction shall be retained so as not to enter any water body, tidal wetlands, or protected buffer areas. Off-site, upland disposal of dredged material beyond NYSDEC Tidal Wetland jurisdiction requires the additional guidance of the Division of Materials Management (631) 444-0375 and is not covered by this permit.

**22. Restrict Spillage, Use Closed Bucket** During the dredging operation, the permittee and his contractor shall prevent spillage of sediment during excavation and haulage. Dredging shall be accomplished with a clam shell or other closed bucket equipment or hydraulic dredge equipment.

**23. No Side-casting or Temporary Storage** Excavated sediments shall be placed directly into the approved disposal site/dewatering site or conveyance vehicle. No side-casting (double-dipping) or temporary storage of excavated sediments is authorized.



**24. Leave a Uniform Bottom Elevation** All dredging shall be conducted so as to leave a uniform bottom elevation free of mounds or holes.

**25. Dredge Bucket Operations** The bucket shall be lifted in a continuous motion through the water column and into the barge, disposal site or conveyance vehicle.

**26. No Overflow from Barges** There shall be no overflow of material from the holding barges during dredging or during transport of dredged material.

**27. Filter Fabric Curtain Around Dredging Area** A filter fabric (turbidity) curtain weighted across the bottom and suspended at the top by floats shall be positioned to enclose the work site before commencing dredging. The curtain shall remain in place and in functional condition during all phases of the dredging operations and remain in place for two hours after dredging termination and turbidity inside the curtain no longer exceeds ambient levels.

**28. Dredged Materials above AHW** All material shall be placed landward of apparent high water.

**29. Disposal Locations** All excavated material shall be appropriately disposed of as per the project plan with minimal disturbance and/or impact to vegetated marsh areas. Disposal of excess material beyond the approved project site will require further written approval from the Department (permit, modification, amendment).

**30. Contain Exposed, Stockpiled Soils** All disturbed areas where soil will be temporarily exposed or stockpiled for longer than 48 hours shall be contained by a continuous line of staked haybales / silt curtains (or other NYSDEC approved devices) placed on the seaward side between the fill and the wetland or protected buffer area. Tarps are authorized to supplement these approved methods.

**31. Maintain Erosion Controls** All erosion control devices shall be maintained in good and functional condition until the project has been completed and the area has been stabilized.

**32. No Interference With Navigation** There shall be no unreasonable interference with navigation by the work herein authorized.

**33. State Not Liable for Damage** The State of New York shall in no case be liable for any damage or injury to the structure or work herein authorized which may be caused by or result from future operations undertaken by the State for the conservation or improvement of navigation, or for other purposes, and no claim or right to compensation shall accrue from any such damage.

**34. Precautions Against Contamination of Waters** All necessary precautions shall be taken to preclude contamination of any wetland or waterway by suspended solids, sediments, fuels, solvents, lubricants, epoxy coatings, paints, concrete, leachate or any other environmentally deleterious materials associated with the project.

**35. State May Require Site Restoration** If upon the expiration or revocation of this permit, the project hereby authorized has not been completed, the applicant shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may lawfully require, remove all or any portion of the uncompleted structure or fill and restore the site to its former condition. No claim shall be made against the State of New York on account of any such removal or alteration.



**36. State May Order Removal or Alteration of Work** If future operations by the State of New York require an alteration in the position of the structure or work herein authorized, or if, in the opinion of the Department of Environmental Conservation it shall cause unreasonable obstruction to the free navigation of said waters or flood flows or endanger the health, safety or welfare of the people of the State, or cause loss or destruction of the natural resources of the State, the owner may be ordered by the Department to remove or alter the structural work, obstructions, or hazards caused thereby without expense to the State, and if, upon the expiration or revocation of this permit, the structure, fill, excavation, or other modification of the watercourse hereby authorized shall not be completed, the owners, shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may require, remove all or any portion of the uncompleted structure or fill and restore to its former condition the navigable and flood capacity of the watercourse. No claim shall be made against the State of New York on account of any such removal or alteration.

### WATER QUALITY CERTIFICATION SPECIFIC CONDITIONS

**1. Water Quality Certification** The authorized project, as conditioned pursuant to the Certificate, complies with Section 301, 302, 303, 306, and 307 of the Federal Water Pollution Control Act, as amended and as implemented by the limitations, standards, and criteria of state statutory and regulatory requirements set forth in 6 NYCRR Section 608.9(a). The authorized project, as conditioned, will also comply with applicable New York State water quality standards, including but not limited to effluent limitations, best usages and thermal discharge criteria, as applicable, as set forth in 6 NYCRR Parts 701, 702, 703, and 704.

### GENERAL CONDITIONS - Apply to ALL Authorized Permits:

**1. Facility Inspection by The Department** The permitted site or facility, including relevant records, is subject to inspection at reasonable hours and intervals by an authorized representative of the Department of Environmental Conservation (the Department) to determine whether the permittee is complying with this permit and the ECL. Such representative may order the work suspended pursuant to ECL 71- 0301 and SAPA 401(3).

The permittee shall provide a person to accompany the Department's representative during an inspection to the permit area when requested by the Department.

A copy of this permit, including all referenced maps, drawings and special conditions, must be available for inspection by the Department at all times at the project site or facility. Failure to produce a copy of the permit upon request by a Department representative is a violation of this permit.

**2. Relationship of this Permit to Other Department Orders and Determinations** Unless expressly provided for by the Department, issuance of this permit does not modify, supersede or rescind any order or determination previously issued by the Department or any of the terms, conditions or requirements contained in such order or determination.



**3. Applications For Permit Renewals, Modifications or Transfers** The permittee must submit a separate written application to the Department for permit renewal, modification or transfer of this permit. Such application must include any forms or supplemental information the Department requires. Any renewal, modification or transfer granted by the Department must be in writing. Submission of applications for permit renewal, modification or transfer are to be submitted to:

Regional Permit Administrator  
NYSDEC Region 1 Headquarters  
SUNY @ Stony Brook|50 Circle Rd  
Stony Brook, NY11790 -3409

**4. Submission of Renewal Application** The permittee must submit a renewal application at least 30 days before permit expiration for the following permit authorizations: Excavation & Fill in Navigable Waters, Tidal Wetlands, Water Quality Certification.

**5. Permit Modifications, Suspensions and Revocations by the Department** The Department reserves the right to exercise all available authority to modify, suspend or revoke this permit. The grounds for modification, suspension or revocation include:

- a. materially false or inaccurate statements in the permit application or supporting papers;
- b. failure by the permittee to comply with any terms or conditions of the permit;
- c. exceeding the scope of the project as described in the permit application;
- d. newly discovered material information or a material change in environmental conditions, relevant technology or applicable law or regulations since the issuance of the existing permit;
- e. noncompliance with previously issued permit conditions, orders of the commissioner, any provisions of the Environmental Conservation Law or regulations of the Department related to the permitted activity.

**6. Permit Transfer** Permits are transferrable unless specifically prohibited by statute, regulation or another permit condition. Applications for permit transfer should be submitted prior to actual transfer of ownership.



## NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

### **Item A: Permittee Accepts Legal Responsibility and Agrees to Indemnification**

The permittee, excepting state or federal agencies, expressly agrees to indemnify and hold harmless the Department of Environmental Conservation of the State of New York, its representatives, employees, and agents ("DEC") for all claims, suits, actions, and damages, to the extent attributable to the permittee's acts or omissions in connection with the permittee's undertaking of activities in connection with, or operation and maintenance of, the facility or facilities authorized by the permit whether in compliance or not in compliance with the terms and conditions of the permit. This indemnification does not extend to any claims, suits, actions, or damages to the extent attributable to DEC's own negligent or intentional acts or omissions, or to any claims, suits, or actions naming the DEC and arising under Article 78 of the New York Civil Practice Laws and Rules or any citizen suit or civil rights provision under federal or state laws.

### **Item B: Permittee's Contractors to Comply with Permit**

The permittee is responsible for informing its independent contractors, employees, agents and assigns of their responsibility to comply with this permit, including all special conditions while acting as the permittee's agent with respect to the permitted activities, and such persons shall be subject to the same sanctions for violations of the Environmental Conservation Law as those prescribed for the permittee.

### **Item C: Permittee Responsible for Obtaining Other Required Permits**

The permittee is responsible for obtaining any other permits, approvals, lands, easements and rights-of-way that may be required to carry out the activities that are authorized by this permit.

### **Item D: No Right to Trespass or Interfere with Riparian Rights**

This permit does not convey to the permittee any right to trespass upon the lands or interfere with the riparian rights of others in order to perform the permitted work nor does it authorize the impairment of any rights, title, or interest in real or personal property held or vested in a person not a party to the permit.

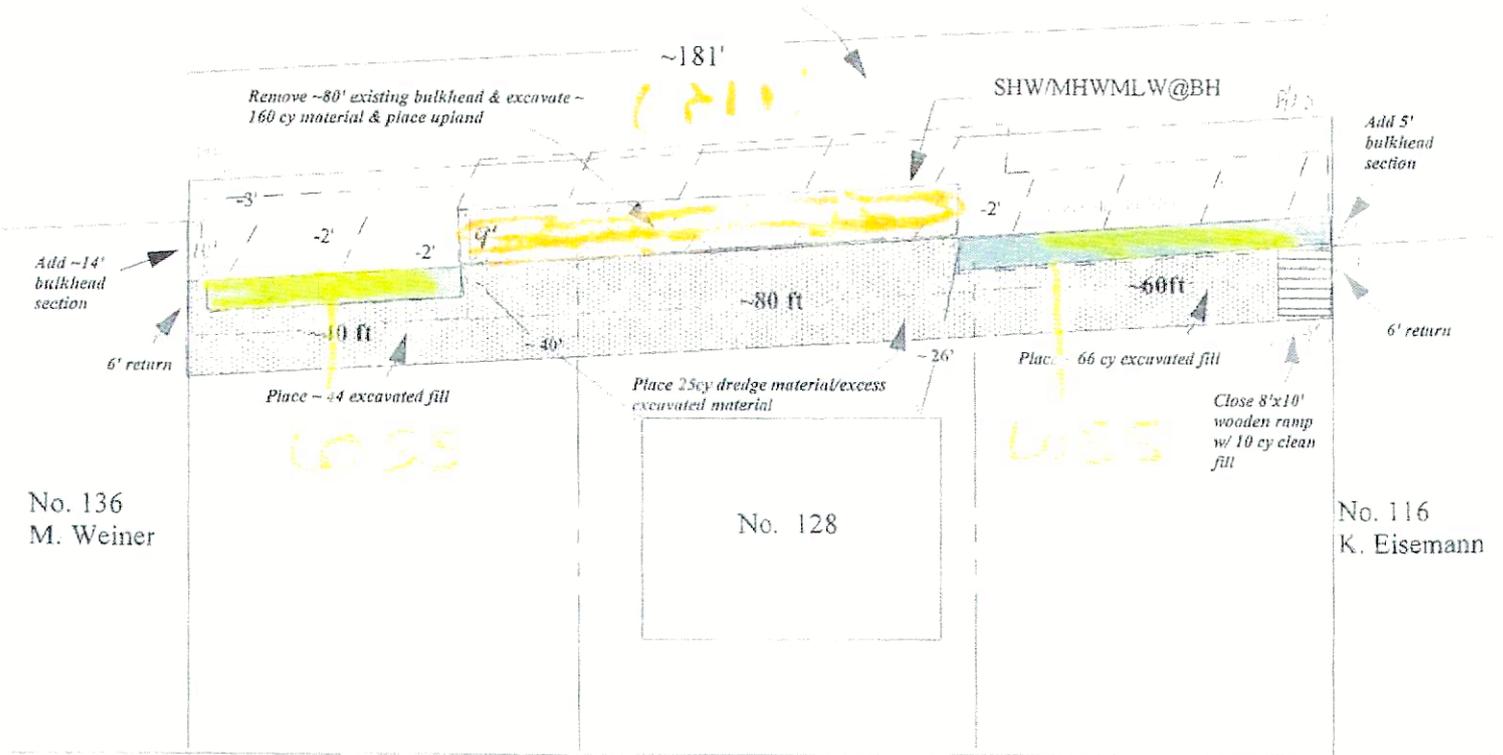
# SITE PLAN FOR BULKHEAD REPLACEMENT

NORTH ↑

↖ Cary Canal  
~40 ft. wide

→ Flood  
← Ebb

Remove ~ 222 ft bulkhead (14', 40', 14', 80', 14' & 60' sections), and replace landward in straight line (~181') up to 18" higher. Dredge via clamshell a 10' wide area to -4' MLW for 25cy & place behind bulkhead.



Cary Place

Cut/ Fill calculations:

Cut:  $9' \times 80' = 720 \text{ sq. ft.} \times 6' \text{ high} / 27 = 160 \text{ cy}$

Fill:  $5' \times 40' + 5' \times 60' = 500 \text{ sq. ft.} \times 6' \text{ high} / 27 = \sim 111 \text{ cy.}$

Net creation:  $720 - 500 = 220 \text{ sq. ft.}$

NYS DEC  
APPROVED AS PER TERMS  
AND CONDITIONS OF

PERMIT NO. 1-2820-07335/00001

DATE 09/17/2020

**Applicant:** Cary Commons LLC  
128 Cary Place  
Freeport, NY 11520

**NCTM:** Sec 54 Blk 319 Lots 96-104

**Datum:** Mean Low Water

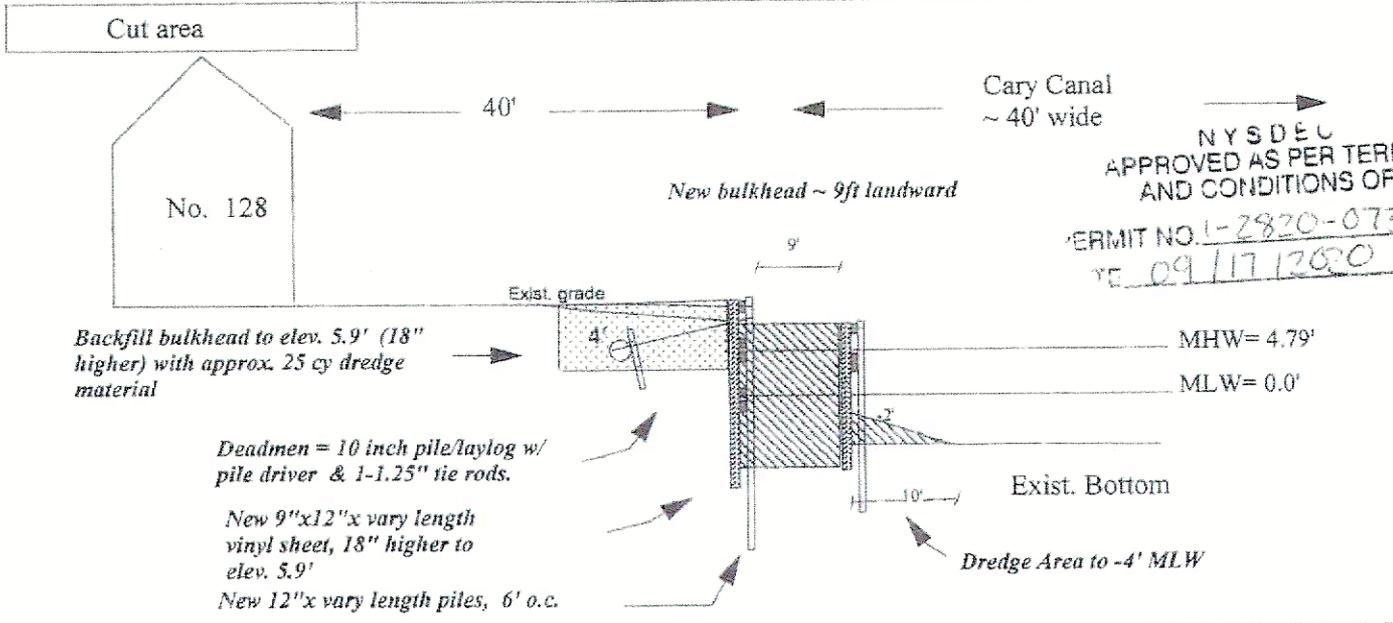
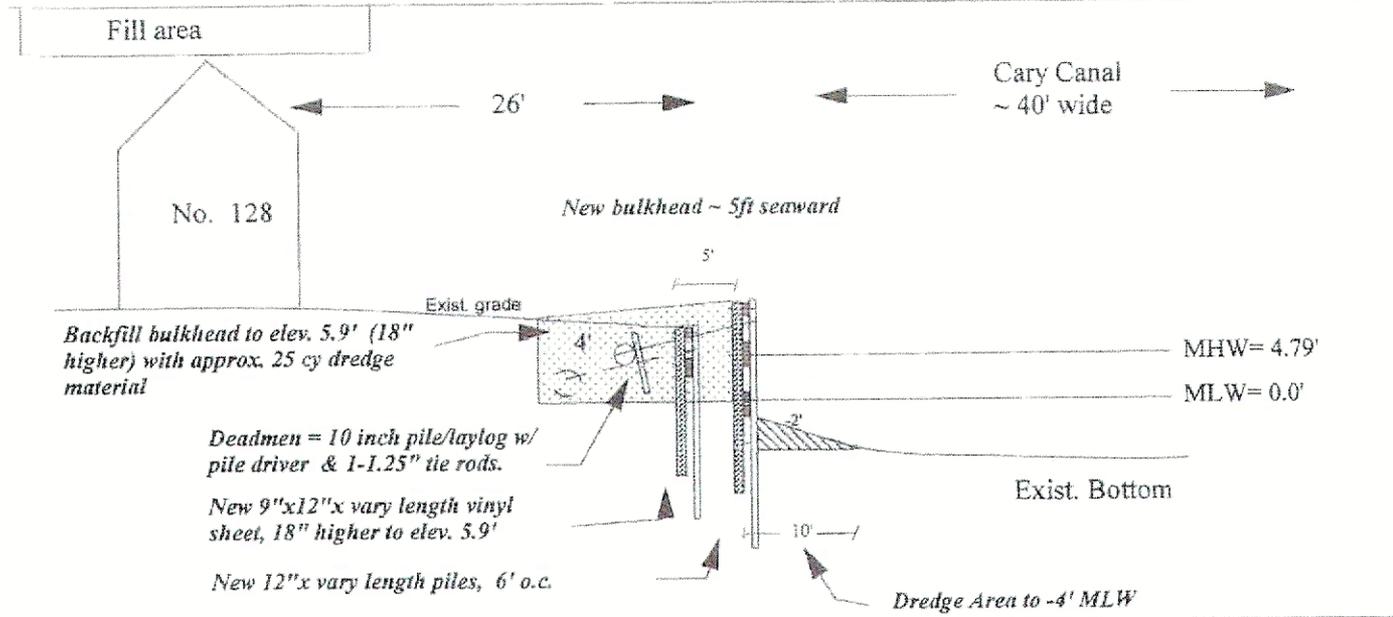
**Scale:** One Inch = Thirty Feet

**Proposed bulkhead in Cary Canal, New York**

**Appl. By:** Ocean Consulting  
262 Weidner Ave.  
Oceanside, NY 11572  
(516) 764-8534

**Date:** 20-MAY-20

# PROFILE THRU BULKHEAD REPLACEMENT



<p>Dredge material mostly sandy silt. Not detailed for construction. Contractor to determine all materials specifics/conditions in the field prior to construction.</p>	<p>All timber material CCA &amp; Hardware hot-dip galv.</p>
<p><b>Applicant:</b> Cary Commons LLC 128 Cary Place Freeport, NY 11520</p>	<p><b>Proposed bulkhead in Cary Canal,</b> New York</p>
<p><b>NCTM:</b> Sec 54 Blk 319 Lots 96-104</p>	<p>At Freeport, NY</p>
<p><b>Purpose:</b> Stabilize shoreline</p>	<p><b>Appl. By:</b> Ocean Consulting 262 Weidner Ave. Oceanside, NY 11572 (516) 764-8534</p>
<p><b>Scale:</b> One Inch = Twenty Feet</p>	<p><b>Date:</b> 20-MAY-20</p>





Department of  
Environmental  
Conservation

# NOTICE

The Department of Environmental Conservation (DEC) has issued permit(s) pursuant to the Environmental Conservation Law for work being conducted at this site. For further information regarding the nature and extent of work approved and any Departmental conditions on it, contact the Regional Permit Administrator listed below. Please refer to the permit number shown when contacting the DEC.

Regional Permit Administrator

Permit Number

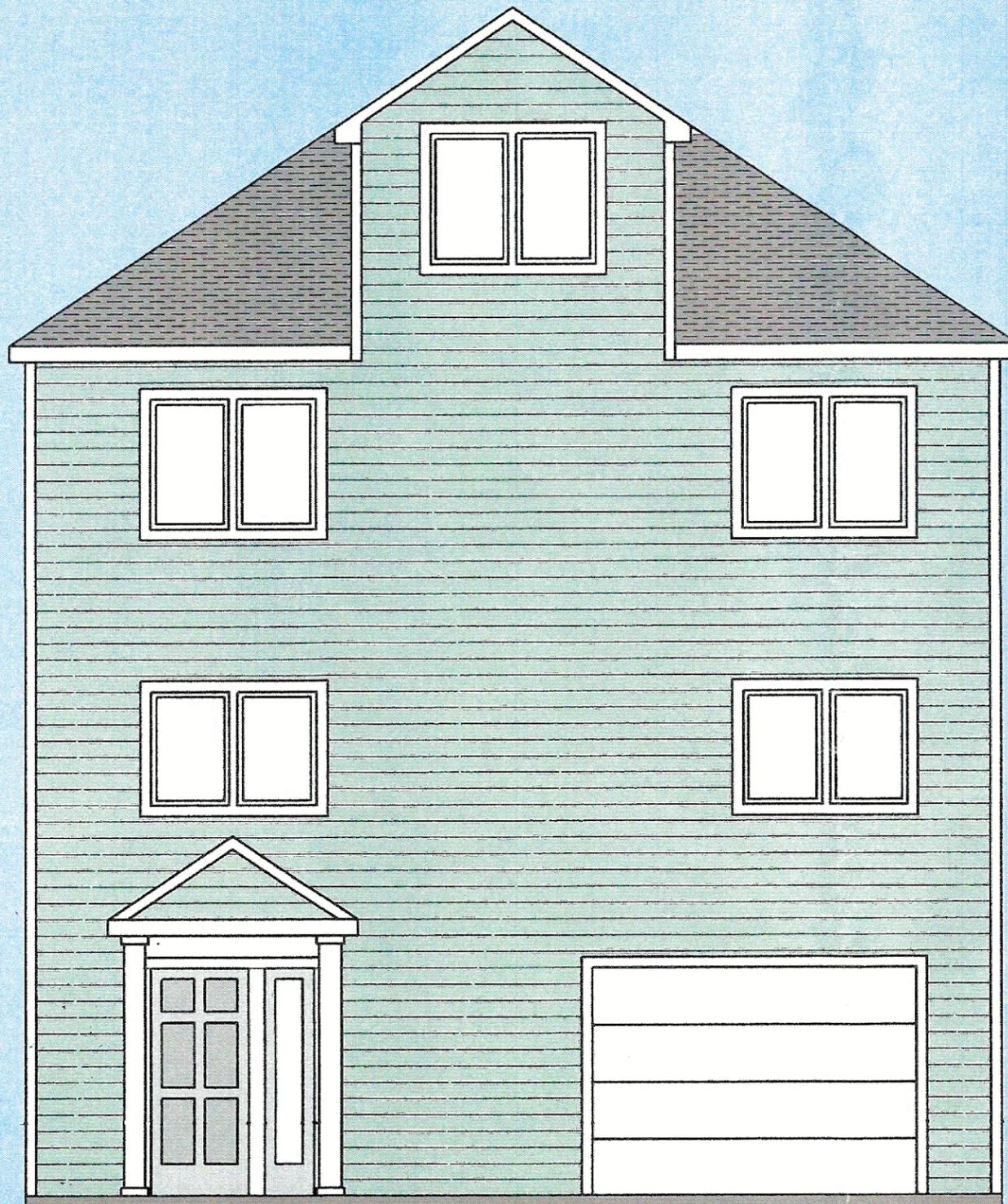
1-2820-07335/00001

SUSAN ACKERMAN

Expiration Date

9/16/2025

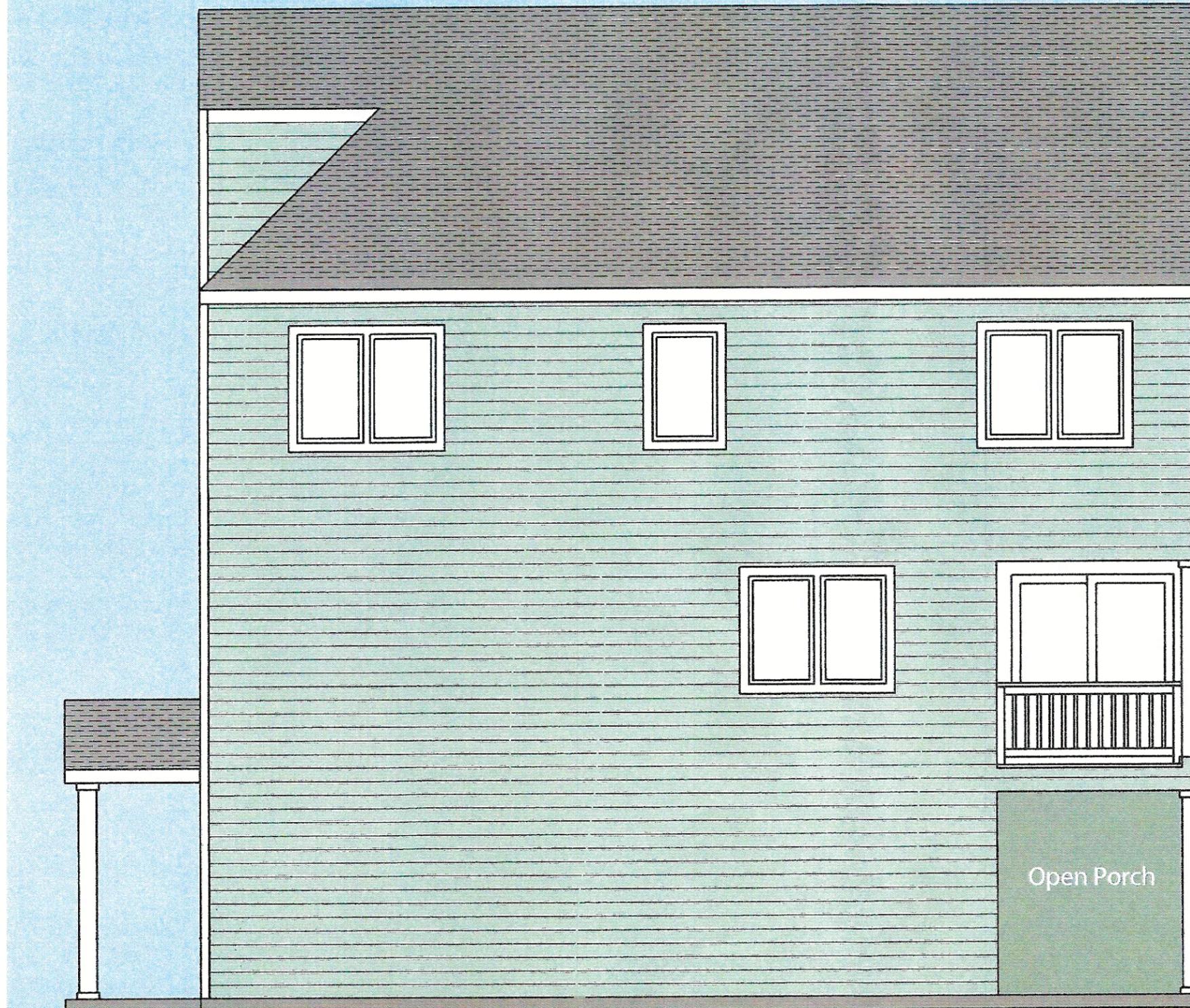
NOTE: This notice is **NOT** a permit



Materials:  
Roof: GAF Timberline HD Asphalt  
Shingles Oyster Grey  
Siding: Napco American Herald  
Double 5 Dutch Lap Vinyl Desert Cactus  
Windows: Andersen 400 Series White  
Columns: 8"x8" White PVC  
Doors: ThermaTru Fiberglass 6 Panel  
painted grey  
Railings: White Timber Tech Classic  
Powder Coated Aluminum  
Fasiacs & Rakes: 6" White PVC  
Corner Boards: 4" White Vinyl

Cary Commons East Lot South Elevation  
128 Cary Place, Freeport, NY 11520

Russell C. Jordan Architect  
44 Casino St., Freeport, NY 11520



Materials:

Roof: GAF Timberline HD Asphalt Shingles Oyster Grey

Siding: Napco American Herald

Double 5 Dutch Lap Vinyl Desert Cactus

Windows: Andersen 400 Series White

Columns: 8"x8" White PVC

Doors: ThermaTru Fiberglass 6 Panel painted grey

Railings: White Timber Tech Classic

Powder Coated Aluminum

Fasiacs & Rakes: 6" White PVC

Corner Boards: 4" White Vinyl

Cary Commons East Lot East Elevation  
128 Cary Place, Freeport, NY 11520 6-1-2022

Russell C. Jordan Architect  
44 Casino St., Freeport, NY 11520



Materials:  
Roof: GAF Timberline HD Asphalt  
Shingles Oyster Grey  
Siding: Napco American Herald  
Double 5 Dutch Lap Vinyl Desert Cactus  
Windows: Andersen 400 Series White  
Columns: 8"x8" White PVC  
Doors: ThermaTru Fiberglass 6 Panel  
painted grey  
Railings: White Timber Tech Classic  
Powder Coated Aluminum  
Fasiacs & Rakes: 6" White PVC  
Corner Boards: 4" White Vinyl

Cary Commons- East Lot North Elevation  
128 Cary Place, Freeport, NY 11520 6-1-2022

Russell C. Jordan Architect  
44 Casino St., Freeport, NY 11520



Materials:

Roof: GAF Timberline HD Asphalt

Shingles Oyster Grey

Siding: Napco American Herald

Double 5 Dutch Lap Vinyl Desert Cactus

Windows: Andersen 400 Series White

Columns: 8"x8" White PVC

Doors: ThermaTru Fiberglass 6 Panel  
painted grey

Railings: White Timber Tech Classic  
Powder Coated Aluminum

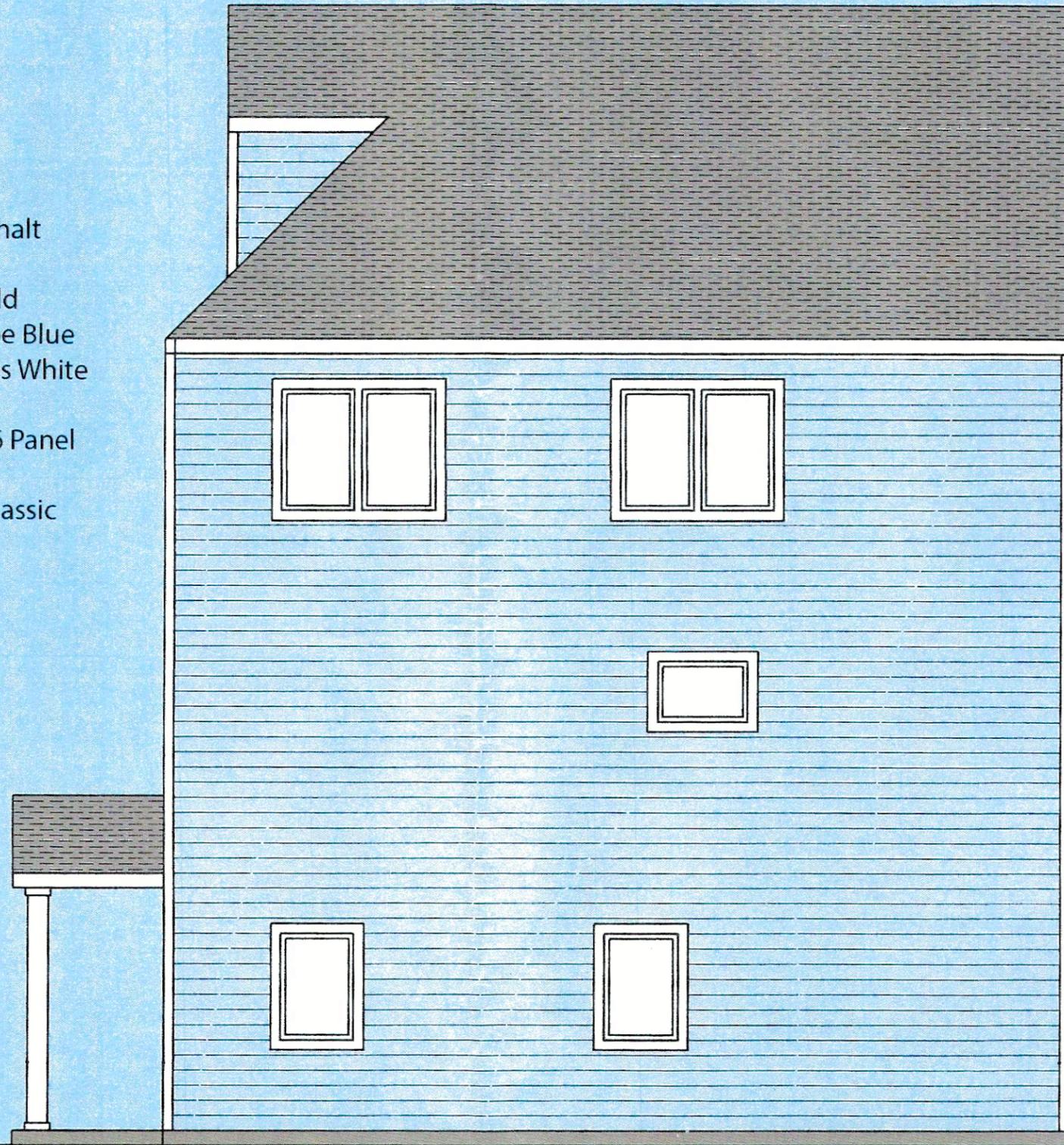
Fasiacs & Rakes: 6" White PVC

Corner Boards: 4" White Vinyl

Cary Commons East Lot West Elevation  
128 Cary Place, Freeport, NY 11520 6-1-2022

Russell C. Jordan Architect  
44 Casino St., Freeport, NY 11520

Materials:  
Roof: GAF Timberline HD Asphalt  
Shingles Oyster Grey  
Siding: Napco American Herald  
Double 5 Dutch Lap Vinyl Cape Blue  
Windows: Andersen 400 Series White  
Columns: 8"x8" White PVC  
Doors: ThermaTru Fiberglass 6 Panel  
painted grey  
Railings: White Timber Tech Classic  
Powder Coated Aluminum  
Fasiacs & Rakes: 6" White PVC  
Corner Boards: 4" White Vinyl



Cary Commons west lot 61 East Elevation  
128 Cary Place, Freeport, NY 11520 6-1-2022

Russell C. Jordan Architect  
44 Casino St., Freeport, NY 11520

Materials:

Roof: GAF Timberline HD Asphalt

Shingles Oyster Grey

Siding: Napco American Herald

Double 5 Dutch Lap Vinyl Cape Blue

Windows: Andersen 400 Series White

Columns: 8"x8" White PVC

Doors: ThermaTru Fiberglass 6 Panel  
painted grey

Railings: White Timber Tech Classic

Powder Coated Aluminum

Fasiacs & Rakes: 6" White PVC

Corner Boards: 4" White Vinyl



Cary Commons West Lot 61 South Elevation  
128 Cary Place, Freeport, NY 11520 6-1-2022

Russell C. Jordan Architect  
44 Casino St., Freeport, NY 11520

Materials:

Roof: GAF Timberline HD Asphalt

Shingles Oyster Grey

Siding: Napco American Herald

Double 5 Dutch Lap Vinyl Cape Blue

Windows: Andersen 400 Series White

Columns: 8"x8" White PVC

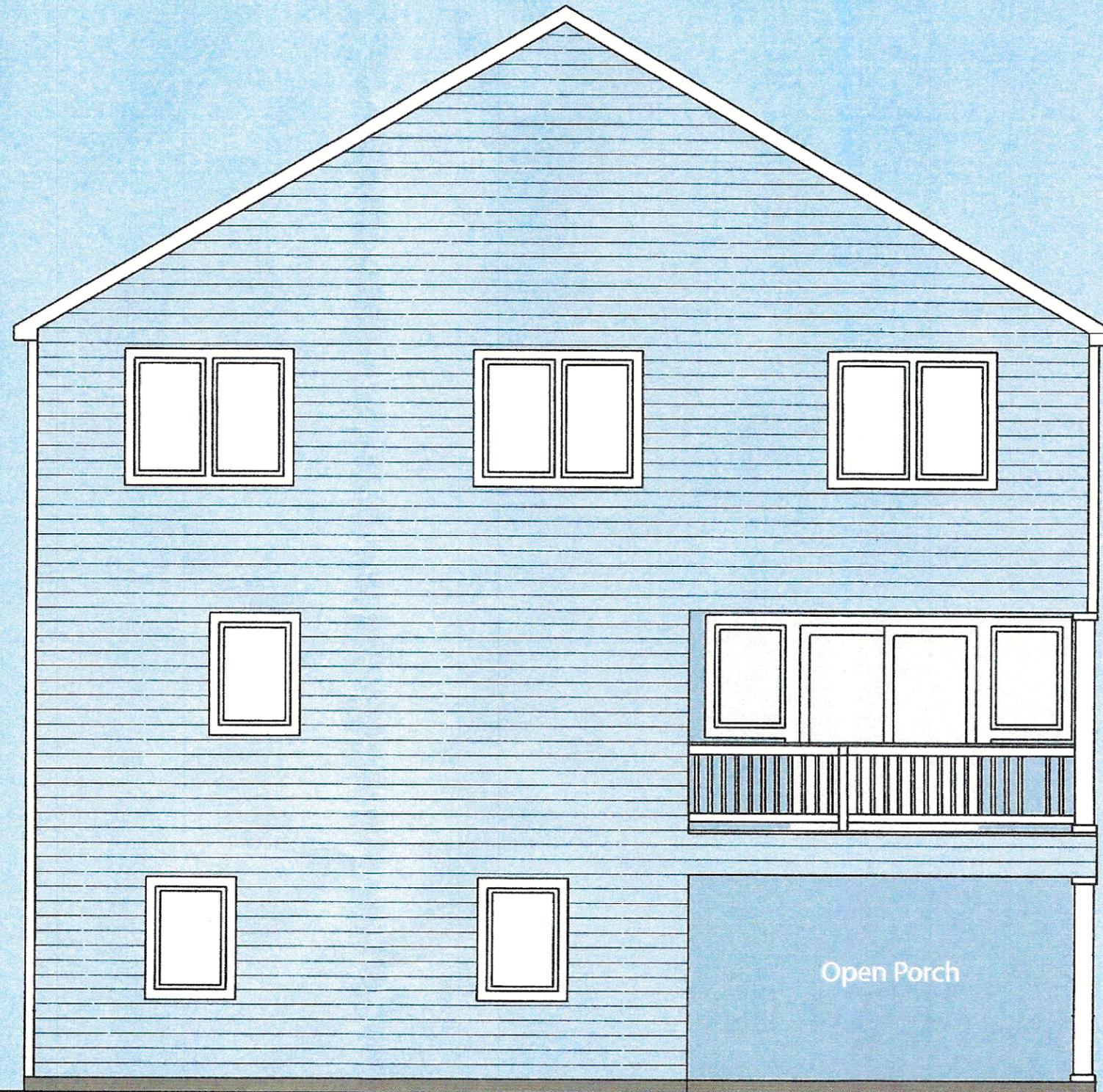
Doors: ThermaTru Fiberglass 6 Panel  
painted grey

Railings: White Timber Tech Classic

Powder Coated Aluminum

Fasiacs & Rakes: 6" White PVC

Corner Boards: 4" White Vinyl



Cary Commons West Lot North Elevation  
128 Cary Place, Freeport, NY 11520 6-1-2022

Russell C. Jordan Architect  
44 Casino St., Freeport, NY 11520



Materials:  
Roof: GAF Timberline HD Asphalt  
Shingles Oyster Grey  
Siding: Napco American Herald  
Double 5 Dutch Lap Vinyl Cape Blue  
Windows: Andersen 400 Series White  
Columns: 8"x8" White PVC  
Doors: ThermaTru Fiberglass 6 Panel  
painted grey  
Railings: White Timber Tech Classic  
Powder Coated Aluminum  
Fasiacs & Rakes: 6" White PVC  
Corner Boards: 4" White Vinyl

Cary Commons West Lot West Elevation  
128 Cary Place, Freeport, NY 11520 6-1-2022

Russell C. Jordan Architect  
44 Casino St., Freeport, NY 11520

# VILLAGE OF FREEPORT INTER-OFFICE CORRESPONDENCE

To: Mayor Robert T. Kennedy  
From: Pamela Walsh Boening, Village Clerk  
Date: August 19, 2022

---

Re: Miscellaneous Sidewalk Resolution

Location: Various

Contractor: Armond Cement Construction, Co. Inc. Total \$ 14,911.20

**WHEREAS**, official notice was served in conformity with the law, upon the property owners to install sidewalks, curbs and/or aprons and

**WHEREAS**, said installation work not having been made within the time specified in official notice, namely, 30 days from the date of service thereof, and

**WHEREAS**, under authority conferred by law, the Board of Trustees thereupon caused the same to be installed at the expenditure as noted above, and as shown below.

**NOW THEREFORE, BE IT RESOLVED**, that there shall be assessed upon the lands affected or improved, the amount as noted above which is found to be just and reasonable and not exceeding the amount stated in the notice, and be it,

**FURTHER RESOLVED** that the Board of Trustees hereby authorizes that the amount thus assessed, if not paid within thirty (30) days hereafter, will be included in the next annual tax levies of the aforesaid premises unless the property owner selects the option of payment with interest over a five (5) year period.

Sidewalk Survey # MSW 72-2021

**Owner:** Margaret Mueller In Care of Carole Olkoski  
320 Bedell Street  
Freeport NY, 11520  
Sec, Blk., Lot (s): 62-060-107

**Location:** 320 Bedell Street  
**Contractor:** Armond Cement Construction Co., Inc.  
**Charges:** \$212.00

\*\*\*

Sidewalk Survey #MSW 68-2022

**Owner:** Cora Blount  
208 E. Dean Street  
Freeport NY, 2022  
Sec, Blk., Lot (s): 55-241-20

**Location:** 208 E. Dean Street  
**Contractor:** Armond Cement Construction Co., Inc.  
**Charges:** \$948.75

\*\*\*

Sidewalk Survey # MSW 334-2020

**Owner:** Delando Beckford  
14 Hansome Place  
Freeport NY, 11520  
Sec, Blk., Lot (s): 54-062-3

**Location:** 14 Handsome Place  
**Contractor:** Armond Cement Construction Co., Inc.  
**Charges:** \$662.40

\*\*\*

Sidewalk Survey #MSW 496-2020

**Owner:** 321 Lena LLC.  
321 Lena Ave  
Freeport NY, 11520  
Sec, Blk., Lot (s): 54-064-456

**Location:** 321 Lena Ave  
**Contractor:** Armond Cement Construction Co., Inc.  
**Charges:** \$1,836.80

\*\*\*

Sidewalk Survey #MSW 624-2020

**Owner:** Jon & Josh Sneiker  
268 Miller Ave  
Freeport NY, 11520  
Sec, Blk., Lot (s): 62-163-208

**Location:** 268 Miller Ave  
**Contractor:** Armond Cement Construction Co., Inc.  
**Charges:** \$1,186.80

\*\*\*

Sidewalk Survey #MSW 254-2021

**Owner:** **Darlana & Reneice McLin**  
43 Robert Street  
Freeport NY, 11520  
Sec, Blk., Lot (s): 62-100-662

**Location:** **43 Robert Street**  
**Contractor:** Armond Cement Construction Co., Inc.  
**Charges:** \$424.00

\*\*\*

Sidewalk Survey # MSW 428-2020

**Owner:** **Leonica A. Huber**  
253 W. Seaman Ave  
Freeport NY, 11520  
Sec, Blk., Lot (s): 54-458-28

**Location:** **253 W. Seaman Ave**  
**Contractor:** Armond Cement Construction Co., Inc.  
**Charges:** \$682.40

\*\*\*

Sidewalk Survey # MSW 152-2021

**Owner:** **Janine Guilford**  
336 W. Seaman Ave  
Freeport NY, 11520  
Sec, Blk., Lot (s): 36-537-15

**Location:** **336 W. Seaman Ave.**  
**Contractor:** Armond Cement Construction Co., Inc.  
**Charges:** \$1,959.00

\*\*\*

Sidewalk Survey # MSW 219-2021

**Owner:** **Beryl Carr**  
178 Wallace Street  
Freeport NY, 11520  
Sec, Blk., Lot (s): 55-475-26

**Location:** **178 Wallace Street**  
**Contractor:** Armond Cement Construction Co., Inc.  
**Charges:** \$2,791.40

\*\*\*

Sidewalk Survey #MSW 153-2020

**Owner:** Jose Medina  
133 Washburn Ave  
Freeport NY, 11520  
Sec, Blk., Lot (s): 55-247-92

**Location:** 133 Washburn Ave  
**Contractor:** Armond Cement Construction Co., Inc.  
**Charges:** \$849.20

\*\*\*

Sidewalk Survey #MSW 1-2022

**Owner:** William H & Diane Ford  
44 Westend Ave  
Freeport NY, 11520  
Sec, Blk., Lot (s): 54-315-15

**Location:** 44 Westend Ave  
**Contractor:** Armond Cement Construction Co., Inc.  
**Charges:** \$868.60

\*\*\*

Sidewalk Survey #MSW 186-2021

**Owner:** Phyllis Walcott In Care of Jeanette Wood  
91 Woodside Ave  
Freeport NY, 11520  
Sec, Blk., Lot (s): 55-343-132

**Location:** 91 Woodside Ave  
**Contractor:** Armond Cement Construction Co., Inc.  
**Charges:** \$1,493.45

\*\*\*

Sidewalk Survey #MSW 187-2021

**Owner:** Kim A. Johnson  
145 Woodside Ave  
Freeport NY, 11520  
Sec, Blk., Lot (s):55-341-112

**Location:** 145 Woodside Ave  
**Contractor:** Armond Cement Construction Co., Inc.  
**Charges:** \$657.20

\*\*\*

Sidewalk Survey # MSW 180-2021

**Owner:** Earl & Mary English

173 Woodside Ave

Freeport NY, 11520

Sec, Blk., Lot (s):55-340-100

**Location:** Contractor: Armond Cement Construction Co., Inc.

**Charges:** \$339.20

\*\*\*

Pamela Walsh Boening

Pamela Walsh Boening, Village Clerk

cc: Ismaela Hernandez, Treasurer

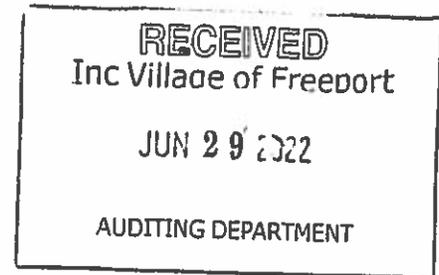
**Armond Cement Contracting Co., Inc.**

1808 Alice Street  
Merrick, NY 11566  
(516) 546-3351  
(516) 242-0244 cell  
FAX (516) 546-3901  
esposito@armondcement.com  
www.armondcement.com

**INVOICE**

June 27, 2022

Village of Freeport  
46 N. Ocean Avenue  
Freeport, NY 11520



**2020 ANNUAL CURB AND SIDEWALK CONTRACT**

JOB LOCATION: 320 Bedell Street

**REMOVED AND REPLACED:**

4 in. sidewalk @ \$8.60/SF =

4 in. sidewalk @ \$10.60/SF  
(less than 80 SF) = 20 SF X \$10.60 = \$212.00

6 in. sidewalk @ \$10.10/SF =

6 in. sidewalk @ \$9.60/SF  
(less than 30 SF) =

Curbing @ \$26.00/LF =

Sawcutting @ \$1.00/LF =

**TOTAL = \$212.00**

*ARMOND CEMENT CONTRACTING CO. INC. is a fully licensed and insured company  
doing business on Long Island since 1957. For additional information, please visit our website at:  
[www.armondcement.com](http://www.armondcement.com)*

VILLAGE OF FREEPORT  
INTER-OFFICE CORRESPONDENCE

TO: Robert McCormick, Department of Engineering

FROM: Donna Sullivan, Village Clerk Office

DATE: June 17, 2022

RE: **Hazardous Sidewalk – 320 Bedell st**

---

Please inspect the above location to determine if the hazardous condition has been corrected.

**320 Bedell St**

Work Completed  Work not completed  Unsatisfactory

Was inspected and found to be satisfactorily completed Yes.

Was inspected and found to be unsatisfactory \_\_\_\_\_.

Comments \_\_\_\_\_

Signature 

Date 7-9-22

**SIDEWALK INSPECTION FORM**

DATE: 5/10/21

ADDRESS: 320 BEDELL STREET

DATE INSPECTION REQUESTED: 2/12/21

INSPECTION REQUESTED BY: CLERK'S OFFICE

REASON FOR INSPECTION: ALLEGED HAZARDOUS

CONDITIONS OF SIDEWALK

INSPECTION REVEALED: CRACKED/LIFTED SECTIONS  
OF SIDEWALK

TOTAL SQUARE FOOTAGE OF SIDEWALK TO BE REPLACED: 20 sq.ft  
4" SW 6" SW

CURB TO BE REPLACED: \_\_\_\_\_

IF TREES ON PROPERTY, WHAT CONDITION ARE THEY IN: \_\_\_\_\_

DEBRIS IN STREET: \_\_\_\_\_

OTHER: \_\_\_\_\_

AREAS MARKED OUT FOR REPLACEMENT:

4" 5' x 4' 6" \_\_\_\_\_ SAWCUTTING \_\_\_\_\_

DATE RETURNED TO SENDER: \_\_\_\_\_

INSPECTION PERFORMED BY:

Robert McComick DATE 5/10/21

REVIEWED BY: [Signature] DATE 5/13/21

Account #: 200-6855.700

Quick Search: Account #

Tax Year: 2020

TAX

No Account Alerts

Summary Balance & Status Billing Payments Premise & Devices Usage Workflow

<b>MUELLER MARGARET</b> Account: 200-6855.700 Active Code: ACTIVE Status Code: NORMAL Social Security: *****0000 Driver's License: Fast Facts: Credit Score: - A Service Address: 320 BEDELL ST FREEPORT, NY 11520-5132 Services: <table border="1"> <thead> <tr> <th>Description</th> <th>Status</th> <th>Model/Size</th> </tr> </thead> <tbody> <tr> <td>TAX</td> <td></td> <td></td> </tr> <tr> <td>TAX BILLING</td> <td>ACTIVE</td> <td></td> </tr> <tr> <td>GARBAGE COLL BILLING</td> <td>ACTIVE</td> <td></td> </tr> </tbody> </table> Cycle: 1 - CYCLE 1 Route: 200 - ROUTE 200 Service Area: 1 - DEFAULT Tax District: 1 - VILLAGE OF FREEPORT Mailing Address: In Care Of & OLKOSKI CARDLE 320 BEDELL ST FREEPORT, NY 11520-5132 No Phone Number Available Account Calendar: On Date: 10/05/1998 Last Paid: 09/26/2020 Last Bill: 03/01/2020 Due Date: 09/01/2020 ACH Date: Not on ACH			Description	Status	Model/Size	TAX			TAX BILLING	ACTIVE		GARBAGE COLL BILLING	ACTIVE		<b>Account Summaries</b> <table border="1"> <thead> <tr> <th colspan="2">Site Information - Assessments</th> <th colspan="3">Balance and Status: Tax</th> </tr> <tr> <th></th> <th></th> <th>Year</th> <th>Total Tax</th> <th>Delinq. Tax</th> <th>Misc. Chgs.</th> </tr> </thead> <tbody> <tr> <td>Refuse Fees</td> <td>\$490.00</td> <td>2020</td> <td>\$5,078.71</td> <td></td> <td></td> </tr> <tr> <td>Misc Charges</td> <td></td> <td>2019</td> <td>\$4,850.72</td> <td></td> <td></td> </tr> <tr> <td>Personal Property</td> <td>\$0.00</td> <td>2018</td> <td>\$4,850.72</td> <td></td> <td></td> </tr> <tr> <td>Personal Property List</td> <td>\$0.00</td> <td>2017</td> <td>\$4,825.72</td> <td></td> <td></td> </tr> <tr> <td>Real Property</td> <td>\$7,000.00</td> <td>2016</td> <td>\$4,825.72</td> <td></td> <td></td> </tr> <tr> <td>Real Property List</td> <td>\$7,000.00</td> <td>2015</td> <td>\$4,825.72</td> <td></td> <td></td> </tr> <tr> <td>Land</td> <td>\$1,512.00</td> <td>2014</td> <td>\$4,825.72</td> <td></td> <td></td> </tr> <tr> <td>Building</td> <td>\$5,468.00</td> <td>2013</td> <td>\$4,825.72</td> <td></td> <td></td> </tr> <tr> <td><b>Total</b></td> <td><b>\$7,000.00</b></td> <td>2012</td> <td>\$4,624.40</td> <td></td> <td></td> </tr> <tr> <td>Less Exemptions</td> <td></td> <td>2011</td> <td>\$4,486.50</td> <td></td> <td></td> </tr> <tr> <td><b>TOTAL VALUE</b></td> <td><b>\$7,000.00</b></td> <td>2010</td> <td>\$4,305.20</td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td><b>Total</b></td> <td><b>\$88,408.45</b></td> <td></td> <td></td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th colspan="5">Payment Summary</th> </tr> <tr> <th>Payment Date</th> <th>Type</th> <th>Posting Date</th> <th>Payment</th> <th></th> </tr> </thead> <tbody> <tr> <td>09/28/2020</td> <td>TAX 2ND 2020</td> <td>09/28/2020</td> <td>\$2,539.36</td> <td></td> </tr> <tr> <td>03/31/2020</td> <td>TAX 1ST 2020</td> <td>03/31/2020</td> <td>\$2,539.35</td> <td></td> </tr> <tr> <td>09/30/2019</td> <td>TAX 2ND 2019</td> <td>09/30/2019</td> <td>\$2,425.36</td> <td></td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th colspan="2">Tax Account Information</th> </tr> </thead> <tbody> <tr> <td>Map ID</td> <td>62-060-107</td> </tr> <tr> <td>Elderly Lien</td> <td>-</td> </tr> <tr> <td>Property Class</td> <td>210 - ONE FAMILY RESIDENCE</td> </tr> <tr> <td>Ward</td> <td>1 - TAXABLE</td> </tr> <tr> <td>Lot Size</td> <td>DIMEN 45.00 X 100.00</td> </tr> <tr> <td>LOT-GRP:107-109</td> <td></td> </tr> <tr> <td>COUNTY CLS: 210.01</td> <td></td> </tr> </tbody> </table>				Site Information - Assessments		Balance and Status: Tax					Year	Total Tax	Delinq. Tax	Misc. Chgs.	Refuse Fees	\$490.00	2020	\$5,078.71			Misc Charges		2019	\$4,850.72			Personal Property	\$0.00	2018	\$4,850.72			Personal Property List	\$0.00	2017	\$4,825.72			Real Property	\$7,000.00	2016	\$4,825.72			Real Property List	\$7,000.00	2015	\$4,825.72			Land	\$1,512.00	2014	\$4,825.72			Building	\$5,468.00	2013	\$4,825.72			<b>Total</b>	<b>\$7,000.00</b>	2012	\$4,624.40			Less Exemptions		2011	\$4,486.50			<b>TOTAL VALUE</b>	<b>\$7,000.00</b>	2010	\$4,305.20					<b>Total</b>	<b>\$88,408.45</b>			Payment Summary					Payment Date	Type	Posting Date	Payment		09/28/2020	TAX 2ND 2020	09/28/2020	\$2,539.36		03/31/2020	TAX 1ST 2020	03/31/2020	\$2,539.35		09/30/2019	TAX 2ND 2019	09/30/2019	\$2,425.36		Tax Account Information		Map ID	62-060-107	Elderly Lien	-	Property Class	210 - ONE FAMILY RESIDENCE	Ward	1 - TAXABLE	Lot Size	DIMEN 45.00 X 100.00	LOT-GRP:107-109		COUNTY CLS: 210.01	
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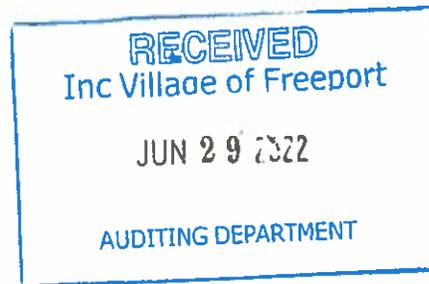
**Armond Cement Contracting Co., Inc.**

1808 Alice Street  
Merrick, NY 11566  
(516) 546-3351  
(516) 242-0244 cell  
FAX (516) 546-3901  
esposito@armondcement.com  
[www.armondcement.com](http://www.armondcement.com)

**INVOICE**

June 27, 2022

Village of Freeport  
46 N. Ocean Avenue  
Freeport, NY 11520



**2020 ANNUAL CURB AND SIDEWALK CONTRACT**

JOB LOCATION: 208 E Dean Street

**REMOVED AND REPLACED:**

4 in. sidewalk @ \$8.60/SF = 110.32 SF X \$8.60 = \$948.75

4 in. sidewalk @ \$10.60/SF  
(less than 80 SF) =

6 in. sidewalk @ \$10.10/SF =

6 in. sidewalk @ \$9.60/SF  
(less than 30 SF) =

Curbing @ \$26.00/LF =

Sawcutting @ \$1.00/LF =

**TOTAL = \$948.75**

*ARMOND CEMENT CONTRACTING CO. INC. is a fully licensed and insured company  
doing business on Long Island since 1957. For additional information, please visit our website at:  
[www.armondcement.com](http://www.armondcement.com)*

VILLAGE OF FREEPORT  
INTER-OFFICE CORRESPONDENCE

TO: Robert McCormick, Department of Engineering

FROM: Donna Sullivan, Village Clerk Office

DATE: June 17, 2022

RE: **Hazardous Sidewalk – 208 E Dean St**

---

Please inspect the above location to determine if the hazardous condition has been corrected.

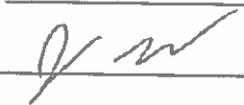
**1. 208 E Dean St**

Work Completed  Work not completed  Unsatisfactory

Was inspected and found to be satisfactorily completed Yes.

Was inspected and found to be unsatisfactory \_\_\_\_\_.

Comments \_\_\_\_\_

Signature 

Date 7-9-22

**SIDEWALK INSPECTION FORM**

DATE: 5/02/22

ADDRESS: 208 W. DEAN ST.

DATE INSPECTION REQUESTED: 4/21/21

INSPECTION REQUESTED BY: CLERK'S OFFICE

REASON FOR INSPECTION: ALLEGED HAZARDOUS

CONDITIONS OF SIDEWALK

INSPECTION REVEALED: CRACKED/LIFTED SECTIONS  
OF SIDEWALK

TOTAL SQUARE FOOTAGE OF SIDEWALK TO BE REPLACED: 110.32 SF.

CURB TO BE REPLACED: \_\_\_\_\_

IF TREES ON PROPERTY, WHAT CONDITION ARE THEY IN: \_\_\_\_\_

DEBRIS IN STREET: \_\_\_\_\_

OTHER: \_\_\_\_\_

AREAS MARKED OUT FOR REPLACEMENT:

4" 16'x4' 6" \_\_\_\_\_ SAWCUTTING \_\_\_\_\_

8'x4' / 3.58'x4' \_\_\_\_\_

DATE RETURNED TO SENDER: \_\_\_\_\_

INSPECTION PERFORMED BY:

Robert Melamich DATE 5/02/22

REVIEWED BY: RAP DATE 5/11/22

Account #: 200-3768.700

Quick Search: Account #

Tax Year: 2022

TAX

No Account Alerts

Summary Balance & Status Billing Payments Premise & Devices Usage Workflow

<b>BLOUNT CORA</b> Account 200-3768.700 Active Code ACTIVE Status Code NORMAL Social Security *****0000 Driver's License 000000000000		<b>Account Summaries</b> <b>Site Information - Assessments</b> Refuse Fees \$518.00 Misc Charges \$115.85 Personal Property \$0.00 Personal Property List \$0.00 Real Property \$5,073.00 Real Property List \$5,073.00 Land \$1,242.00 Building \$3,831.00 Total \$5,073.00 Less Exemptions - <b>TOTAL VALUE \$5,073.00</b>		<b>Balance and Status: Tax</b> <table border="1"> <thead> <tr> <th>Year</th> <th>Total Tax</th> <th>Delinq. Tax</th> <th>Misc. Chgs.</th> </tr> </thead> <tbody> <tr><td>2022</td><td>\$3,794.13</td><td></td><td></td></tr> <tr><td>2021</td><td>\$3,678.28</td><td></td><td></td></tr> <tr><td>2020</td><td>\$3,815.50</td><td></td><td></td></tr> <tr><td>2019</td><td>\$3,650.28</td><td></td><td></td></tr> <tr><td>2018</td><td>\$3,244.11</td><td></td><td></td></tr> <tr><td>2017</td><td>\$3,196.68</td><td></td><td></td></tr> <tr><td>2016</td><td>\$3,316.60</td><td></td><td></td></tr> <tr><td>2015</td><td>\$3,158.68</td><td></td><td></td></tr> <tr><td>2014</td><td>\$3,934.14</td><td></td><td></td></tr> <tr><td>2013</td><td>\$2,070.99</td><td></td><td></td></tr> <tr><td>2012</td><td>\$2,007.54</td><td></td><td></td></tr> <tr><td><b>Total</b></td><td><b>\$67,764.01</b></td><td></td><td></td></tr> </tbody> </table>		Year	Total Tax	Delinq. Tax	Misc. Chgs.	2022	\$3,794.13			2021	\$3,678.28			2020	\$3,815.50			2019	\$3,650.28			2018	\$3,244.11			2017	\$3,196.68			2016	\$3,316.60			2015	\$3,158.68			2014	\$3,934.14			2013	\$2,070.99			2012	\$2,007.54			<b>Total</b>	<b>\$67,764.01</b>		
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**INVOICE**

June 27, 2022

Village of Freeport  
46 N. Ocean Avenue  
Freeport, NY 11520



**2020 ANNUAL CURB AND SIDEWALK CONTRACT**

JOB LOCATION: 14 Handsome Place

REMOVED AND REPLACED:

4 in. sidewalk @ \$8.60/SF =

4 in. sidewalk @ \$10.60/SF  
(less than 80 SF) = 48 SF X \$10.60 = \$508.80

6 in. sidewalk @ \$10.10/SF =

6 in. sidewalk @ \$9.60/SF  
(less than 30 SF) = 16 SF X \$9.60 = \$153.60

Curbing @ \$26.00/LF =

Sawcutting @ \$1.00/LF =

**TOTAL = \$662.40**

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[www.armondcement.com](http://www.armondcement.com)*

VILLAGE OF FREEPORT  
INTER-OFFICE CORRESPONDENCE

TO: Robert McCormick, Department of Engineering

FROM: Donna Sullivan, Village Clerk Office

DATE: June 17, 2022

RE: **Hazardous Sidewalk – 14 Handsome Pl**

---

Please inspect the above location to determine if the hazardous condition has been corrected.

**14 Handsome Pl**

Work Completed  Work not completed \_\_\_\_\_ Unsatisfactory \_\_\_\_\_

Was inspected and found to be satisfactorily completed yes.

Was inspected and found to be unsatisfactory \_\_\_\_\_.

Comments \_\_\_\_\_

Signature Robert McCormick

Date 6/25/22

**SIDEWALK INSPECTION FORM**

DATE: 10-16-2020

ADDRESS: 14 HANSON PLACE

DATE INSPECTION REQUESTED: 10-14-2020

INSPECTION REQUESTED BY: CLEARANCE OFFICE

REASON FOR INSPECTION: ALLEGED HAZARDOUS SIDEWALK

INSPECTION REVEALED: CRACKED, UNLEVEL SIDEWALK

TOTAL SQUARE FOOTAGE OF SIDEWALK TO BE REPLACED: 48 SF 6" x 6" 16 SF

CURB TO BE REPLACED: \_\_\_\_\_

IF TREES ON PROPERTY, WHAT CONDITION ARE THEY IN: \_\_\_\_\_

DEBRIS IN STREET: \_\_\_\_\_

OTHER: \_\_\_\_\_

AREAS MARKED OUT FOR REPLACEMENT:

4" 12x4 6" 4x4 SAWCUTTING \_\_\_\_\_

DATE RETURNED TO SENDER: \_\_\_\_\_

INSPECTION PERFORMED BY:

[Signature] DATE 10-16-2020

REVIEWED BY: RAP DATE 10/19/20

Account #: 200-0558.700 Quick Search: Account # Tax Year: 2020

TAX No Account Alerts

Summary Balance & Status Billing Payments Premise & Devices Usage Workflow

BECKFORD DELANDO A			Account Summaries																																																																																											
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**Armond Cement Contracting Co., Inc.**

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**INVOICE**

June 27, 2022

Village of Freeport  
46 N. Ocean Avenue  
Freeport, NY 11520



**2020 ANNUAL CURB AND SIDEWALK CONTRACT**

JOB LOCATION: 321 Lena Avenue

**REMOVED AND REPLACED:**

4 in. sidewalk @ \$8.60/SF = 176 SF X \$8.60 = \$1,513.60

4 in. sidewalk @ \$10.60/SF  
(less than 80 SF) =

6 in. sidewalk @ \$10.10/SF = 32 SF X \$10.10 = \$323.20

6 in. sidewalk @ \$9.60/SF  
(less than 30 SF) =

Curbing @ \$26.00/LF =

Sawcutting @ \$1.00/LF =

**TOTAL = \$1,836.80**

*ARMOND CEMENT CONTRACTING CO. INC. is a fully licensed and insured company  
doing business on Long Island since 1957. For additional information, please visit our website at:  
[www.armondcement.com](http://www.armondcement.com)*

VILLAGE OF FREEPORT  
INTER-OFFICE CORRESPONDENCE

TO: Robert McCormick, Department of Engineering

FROM: Donna Sullivan, Village Clerk Office

DATE: June 17, 2022

RE: **Hazardous Sidewalk – 321 Lena Ave**

---

Please inspect the above location to determine if the hazardous condition has been corrected.

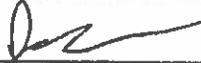
**1. 321 Lena Ave**

Work Completed  Work not completed  Unsatisfactory

Was inspected and found to be satisfactorily completed Yes.

Was inspected and found to be unsatisfactory \_\_\_\_\_.

Comments \_\_\_\_\_

Signature 

Date 7-23-22

**SIDEWALK INSPECTION FORM**

DATE: 5/06/21

ADDRESS: 321 LENA AVENUE

DATE INSPECTION REQUESTED: 2/12/21

INSPECTION REQUESTED BY: CLERK'S OFFICE

REASON FOR INSPECTION: ALLEGED HAZARDOUS

CONDITIONS OF SIDEWALK

INSPECTION REVEALED: CRACKED/LIFTED SECTIONS  
OF SIDEWALK

	4" SW	6" SW
TOTAL SQUARE FOOTAGE OF SIDEWALK TO BE REPLACED:	<u>176 sq.ft</u>	<u>32 sq.ft</u>

CURB TO BE REPLACED: \_\_\_\_\_

IF TREES ON PROPERTY, WHAT CONDITION ARE THEY IN: \_\_\_\_\_

DEBRIS IN STREET: \_\_\_\_\_

OTHER: \_\_\_\_\_

AREAS MARKED OUT FOR REPLACEMENT:

4" 12' x 4' / 8' x 4' <sup>(2)</sup> 6" 8' x 4' SAWCUTTING  
(4) 4' x 4'

DATE RETURNED TO SENDER: \_\_\_\_\_

INSPECTION PERFORMED BY:

Robert McComick DATE 5/06/21

REVIEWED BY: RPF DATE 5/13/21

Account #:

200-0626.700

Quick Search:

Account #

Tax Year:

2020

TAX

No Account Alerts

Summary Balance & Status Billing Payments Premise & Devices Usage Workflow

<b>321 LENA LLC</b> Account: 200-0626.700 Active Code: ACTIVE Status Code: NORMAL Social Security: *****0000 Driver's License: Fast Facts: Credit Score - A 3rd Party/Multiple Service Address: 321 LENA AVE FREEPORT, NY 11520-2628 Services: Description Status Model/Size TAX BILLING ACTIVE GARBAGE COLL ACTIVE BILLING Cycle: 1 - CYCLE 1 Route: 200 - ROUTE 200 Service Area: 1 - DEFAULT Tax District: 1 - VILLAGE OF FREEPORT Mailing Address: 321 LENA AVE FREEPORT, NY 11520-2628 No Phone Number Available 321 LENA LLC Account Calendar: On Date: 10/05/1998 Last Paid: 09/28/2020 Last Bill: 03/01/2020 Due Date: 09/01/2020 ACH Date: Not on ACH		<b>Account Summaries</b> Site Information - Assessments Refuse Fees \$490.00 Misc Charges - Personal Property \$0.00 Personal Property List \$0.00 Real Property \$6,121.00 Real Property List \$6,121.00 Land \$2,563.00 Building \$3,558.00 Total \$6,121.00 Less Exemptions - TOTAL VALUE \$6,121.00 Payment Summary: Payment Date Type Posting Date Payment 09/28/2020 TAX 2ND 2020 09/28/2020 \$2,251.25 03/25/2020 TAX 1ST 2020 03/25/2020 \$2,251.25 10/03/2019 TAX 2ND 2019 10/03/2019 \$2,151.57		<b>Balance and Status: Tax</b> <table border="1"> <thead> <tr> <th>Year</th> <th>Total Tax</th> <th>Delinq Tax</th> <th>Misc. Chgs.</th> </tr> </thead> <tbody> <tr> <td>2020</td> <td>\$4,502.50</td> <td></td> <td></td> </tr> <tr> <td>2019</td> <td>\$4,303.14</td> <td></td> <td></td> </tr> <tr> <td>2018</td> <td>\$5,242.29</td> <td></td> <td></td> </tr> <tr> <td>2017</td> <td>\$4,801.27</td> <td></td> <td></td> </tr> <tr> <td>2016</td> <td>\$4,278.14</td> <td></td> <td></td> </tr> <tr> <td>2015</td> <td>\$5,136.27</td> <td></td> <td></td> </tr> <tr> <td>2014</td> <td>\$4,765.64</td> <td></td> <td></td> </tr> <tr> <td>2013</td> <td>\$4,624.89</td> <td></td> <td></td> </tr> <tr> <td>2012</td> <td>\$5,016.57</td> <td></td> <td></td> </tr> <tr> <td>2011</td> <td>\$5,327.63</td> <td></td> <td></td> </tr> <tr> <td>2010</td> <td>\$4,667.28</td> <td></td> <td></td> </tr> <tr> <td><b>Total</b></td> <td><b>\$93,992.74</b></td> <td></td> <td><b>\$10.00</b></td> </tr> </tbody> </table> Tax Account Information: Map ID: 54-064-456 Elderly Lien: - Property Class: 210 - ONE FAMILY RESIDENCE Ward: 1 - TAXABLE Lot Size: DIMEN 122.00 X 133.00 COUNTY CLS: 210.01		Year	Total Tax	Delinq Tax	Misc. Chgs.	2020	\$4,502.50			2019	\$4,303.14			2018	\$5,242.29			2017	\$4,801.27			2016	\$4,278.14			2015	\$5,136.27			2014	\$4,765.64			2013	\$4,624.89			2012	\$5,016.57			2011	\$5,327.63			2010	\$4,667.28			<b>Total</b>	<b>\$93,992.74</b>		<b>\$10.00</b>
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**INVOICE**

June 27, 2022

Village of Freeport  
46 N. Ocean Avenue  
Freeport, NY 11520



**2020 ANNUAL CURB AND SIDEWALK CONTRACT**

JOB LOCATION: 268 Miller Avenue

**REMOVED AND REPLACED:**

4 in. sidewalk @ \$8.60/SF = 138 SF X \$8.60 = \$1,186.80

4 in. sidewalk @ \$10.60/SF  
(less than 80 SF) =

6 in. sidewalk @ \$10.10/SF =

6 in. sidewalk @ \$9.60/SF  
(less than 30 SF) =

Curbing @ \$26.00/LF =

Sawcutting @ \$1.00/LF =

**TOTAL = \$1,186.80**

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doing business on Long Island since 1957. For additional information, please visit our website at:  
[www.armondcement.com](http://www.armondcement.com)*

VILLAGE OF FREEPORT  
INTER-OFFICE CORRESPONDENCE

TO: Robert McCormick, Department of Engineering

FROM: Donna Sullivan, Village Clerk Office

DATE: June 17, 2022

RE: **Hazardous Sidewalk – 268 Miller Ave**

---

Please inspect the above location to determine if the hazardous condition has been corrected.

**268 Miller Ave**

Work Completed  Work not completed  Unsatisfactory

Was inspected and found to be satisfactorily completed Yes.

Was inspected and found to be unsatisfactory \_\_\_\_\_.

Comments \_\_\_\_\_

Signature 

Date 6-25-2022

**SIDEWALK INSPECTION FORM**

DATE: 6/16/20

ADDRESS: 268 MILLER AVENUE

DATE INSPECTION REQUESTED: 6/16/20

INSPECTION REQUESTED BY: CLEANS OFFICE

REASON FOR INSPECTION: HAZARDOUS SIDEWALK

INSPECTION REVEALED: \_\_\_\_\_

TOTAL SQUARE FOOTAGE OF SIDEWALK TO BE REPLACED: 138 S.F

CURB TO BE REPLACED: \_\_\_\_\_

IF TREES ON PROPERTY, WHAT CONDITION ARE THEY IN: \_\_\_\_\_

DEBRIS IN STREET: \_\_\_\_\_

OTHER: \_\_\_\_\_

AREAS MARKED OUT FOR REPLACEMENT:

4" 25.3 x 4 = 101.2 6" \_\_\_\_\_ SAWCUTTING \_\_\_\_\_

9.2 x 4 = 36.8

DATE RETURNED TO SENDER: \_\_\_\_\_

INSPECTION PERFORMED BY:

Anthony Esposito DATE 6/16/20

REVIEWED BY: RAP DATE 6/24/20

Account #: 200-9515.700

Quick Search: Account #

Tax Year: 2019

TAX

No Account Alerts

Summary Balance & Status Billing Payments Premise & Devices Usage Workflow

<b>SNEDIKER JON E &amp; JOSH</b> Account: 200-9515.700 Active Code: ACTIVE Status Code: NORMAL Social Security: *****0000 Driver's License: <b>Fast Facts</b> Owner: Credit Score - A: Property Tax Exemption: <b>Service Address</b> 268 MILLER AVE FREEPORT, NY 11520-5517 <b>Services</b> <table border="1"> <thead> <tr> <th>Description</th> <th>Status</th> <th>Model/Size</th> </tr> </thead> <tbody> <tr> <td>TAX</td> <td>ACTIVE</td> <td></td> </tr> <tr> <td>TAX BILLING</td> <td>ACTIVE</td> <td></td> </tr> <tr> <td>REFUSE BILLING</td> <td>ACTIVE</td> <td></td> </tr> </tbody> </table>			Description	Status	Model/Size	TAX	ACTIVE		TAX BILLING	ACTIVE		REFUSE BILLING	ACTIVE		<b>Account Summaries</b> <b>Site Information - Assessments</b> <table border="1"> <tbody> <tr><td>Refuse Fees</td><td>\$490.00</td></tr> <tr><td>Misc Charges</td><td>\$468.25</td></tr> <tr><td>Personal Property</td><td>\$ 0.00</td></tr> <tr><td>Personal Property List</td><td>\$ 0.00</td></tr> <tr><td>Real Property</td><td>\$4,450.00</td></tr> <tr><td>Real Property List</td><td>\$4,450.00</td></tr> <tr><td>Land</td><td>\$1,591.00</td></tr> <tr><td>Building</td><td>\$2,859.00</td></tr> <tr><td><b>Total</b></td><td><b>\$4,450.00</b></td></tr> <tr><td><b>Less Exemptions</b></td><td><b>\$1,250.00</b></td></tr> <tr><td><b>TOTAL VALUE</b></td><td><b>\$3,200.00</b></td></tr> </tbody> </table>				Refuse Fees	\$490.00	Misc Charges	\$468.25	Personal Property	\$ 0.00	Personal Property List	\$ 0.00	Real Property	\$4,450.00	Real Property List	\$4,450.00	Land	\$1,591.00	Building	\$2,859.00	<b>Total</b>	<b>\$4,450.00</b>	<b>Less Exemptions</b>	<b>\$1,250.00</b>	<b>TOTAL VALUE</b>	<b>\$3,200.00</b>	<b>Balance and Status: Tax</b> <table border="1"> <thead> <tr> <th>Year</th> <th>Total Tax</th> <th>Delinq. Tax</th> <th>Misc. Chgs.</th> </tr> </thead> <tbody> <tr><td>2019</td><td>\$2,951.72</td><td></td><td></td></tr> <tr><td>2018</td><td>\$2,830.30</td><td></td><td></td></tr> <tr><td>2017</td><td>\$2,458.47</td><td></td><td></td></tr> <tr><td>2016</td><td>\$2,808.28</td><td></td><td></td></tr> <tr><td>2015</td><td>\$2,835.20</td><td></td><td></td></tr> <tr><td>2014</td><td>\$2,813.75</td><td></td><td></td></tr> <tr><td>2013</td><td>\$2,713.62</td><td></td><td></td></tr> <tr><td><b>Total</b></td><td><b>\$2,485.83</b></td><td></td><td></td></tr> <tr><td>2011</td><td>\$2,535.73</td><td></td><td></td></tr> <tr><td>2010</td><td>\$2,398.83</td><td></td><td></td></tr> <tr><td>2009</td><td>\$2,236.10</td><td></td><td></td></tr> <tr><td><b>Total</b></td><td><b>\$47,025.29</b></td><td></td><td><b>\$10.00</b></td></tr> </tbody> </table>				Year	Total Tax	Delinq. Tax	Misc. Chgs.	2019	\$2,951.72			2018	\$2,830.30			2017	\$2,458.47			2016	\$2,808.28			2015	\$2,835.20			2014	\$2,813.75			2013	\$2,713.62			<b>Total</b>	<b>\$2,485.83</b>			2011	\$2,535.73			2010	\$2,398.83			2009	\$2,236.10			<b>Total</b>	<b>\$47,025.29</b>		<b>\$10.00</b>
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Real Property	\$4,450.00																																																																																															
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<b>Total</b>	<b>\$4,450.00</b>																																																																																															
<b>Less Exemptions</b>	<b>\$1,250.00</b>																																																																																															
<b>TOTAL VALUE</b>	<b>\$3,200.00</b>																																																																																															
Year	Total Tax	Delinq. Tax	Misc. Chgs.																																																																																													
2019	\$2,951.72																																																																																															
2018	\$2,830.30																																																																																															
2017	\$2,458.47																																																																																															
2016	\$2,808.28																																																																																															
2015	\$2,835.20																																																																																															
2014	\$2,813.75																																																																																															
2013	\$2,713.62																																																																																															
<b>Total</b>	<b>\$2,485.83</b>																																																																																															
2011	\$2,535.73																																																																																															
2010	\$2,398.83																																																																																															
2009	\$2,236.10																																																																																															
<b>Total</b>	<b>\$47,025.29</b>		<b>\$10.00</b>																																																																																													
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**Armond Cement Contracting Co., Inc.**

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**INVOICE**



June 27, 2022

Village of Freeport  
46 N. Ocean Avenue  
Freeport, NY 11520

**2020 ANNUAL CURB AND SIDEWALK CONTRACT**

JOB LOCATION: 43 Robert Street

REMOVED AND REPLACED:

4 in. sidewalk @ \$8.60/SF =

4 in. sidewalk @ \$10.60/SF  
(less than 80 SF) = 40 SF X \$10.60 = \$424.00

6 in. sidewalk @ \$10.10/SF =

6 in. sidewalk @ \$9.60/SF  
(less than 30 SF) =

Curbing @ \$26.00/LF =

Sawcutting @ \$1.00/LF = =

**TOTAL = \$424.00**

*ARMOND CEMENT CONTRACTING CO. INC. is a fully licensed and insured company  
doing business on Long Island since 1957. For additional information, please visit our website at:  
[www.armondcement.com](http://www.armondcement.com)*

VILLAGE OF FREEPORT  
INTER-OFFICE CORRESPONDENCE

TO: Robert McCormick, Department of Engineering

FROM: Donna Sullivan, Village Clerk Office

DATE: June 20, 2022

RE: **Hazardous Sidewalk – 43 Robert Street**

---

Please inspect the above location to determine if the hazardous condition has been corrected.

**43 Robert Street**

Work Completed  Work not completed  Unsatisfactory

Was inspected and found to be satisfactorily completed Yes.

Was inspected and found to be unsatisfactory \_\_\_\_\_.

Comments \_\_\_\_\_

Signature 

Date 6-25-22

**SIDEWALK INSPECTION FORM**

DATE: 10/25/21

ADDRESS: 43 ROBERT STREET

DATE INSPECTION REQUESTED: 10/25/21

INSPECTION REQUESTED BY: DPW

REASON FOR INSPECTION: ALLEGED HAZARDOUS  
CONDITIONS OF SIDEWALK

INSPECTION REVEALED: CRACKED/LIFTED SECTIONS  
OF SIDEWALK

TOTAL SQUARE FOOTAGE OF SIDEWALK TO BE REPLACED: 40 sq.ft 4" SW ~~6" SW~~

CURB TO BE REPLACED: \_\_\_\_\_

IF TREES ON PROPERTY, WHAT CONDITION ARE THEY IN: \_\_\_\_\_

DEBRIS IN STREET: \_\_\_\_\_

OTHER: \_\_\_\_\_

AREAS MARKED OUT FOR REPLACEMENT:

4" 10' x 4' 6" \_\_\_\_\_ SAWCUTTING \_\_\_\_\_

DATE RETURNED TO SENDER: \_\_\_\_\_

INSPECTION PERFORMED BY:

Robert Melomich DATE 10/25/21

REVIEWED BY: RAF DATE 11/2/21

Account #:

200-8022.700

Quick Search:

Account #

Tax Year:

2021

TAX

No Account Alerts

Summary Balance & Status Billing Payments Premise & Devices Usage Workflow

<b>MCLIN RENEICE &amp; DARLENA</b> Account <b>200-8022.700</b> Active Code <b>ACTIVE</b> Status Code <b>NORMAL</b> Social Security *****0000 Driver's License 000000000000 Fast Facts Credit Score - A			Account Summaries <b>Site Information - Assessments</b> Refuse Fees \$518.00 Misc Charges - Personal Property \$0.00 Personal Property List \$0.00 Real Property \$5,360.00 Real Property List \$5,360.00 Land \$600.00 Building \$4,760.00 <b>Total \$5,360.00</b> Less Exemptions - <b>TOTAL VALUE \$5,360.00</b>				<b>Balance and Status: Tax</b> <table border="1"> <thead> <tr> <th>Year</th> <th>Total Tax</th> <th>Delinq. Tax</th> <th>Misc. Chgs.</th> </tr> </thead> <tbody> <tr><td>2021</td><td>\$3,857.07</td><td></td><td></td></tr> <tr><td>2020</td><td>\$4,003.64</td><td></td><td></td></tr> <tr><td>2019</td><td>\$3,829.07</td><td></td><td></td></tr> <tr><td>2018</td><td>\$3,829.07</td><td></td><td></td></tr> <tr><td>2017</td><td>\$3,804.07</td><td></td><td></td></tr> <tr><td>2016</td><td>\$3,804.07</td><td></td><td></td></tr> <tr><td>2015</td><td>\$3,804.07</td><td></td><td></td></tr> <tr><td>2014</td><td>\$3,804.07</td><td></td><td></td></tr> <tr><td>2013</td><td>\$3,804.07</td><td></td><td></td></tr> <tr><td>2012</td><td>\$3,649.91</td><td></td><td></td></tr> <tr><td>2011</td><td>\$3,544.32</td><td></td><td></td></tr> <tr><td><b>Total</b></td><td><b>\$72,812.42</b></td><td></td><td></td></tr> </tbody> </table>				Year	Total Tax	Delinq. Tax	Misc. Chgs.	2021	\$3,857.07			2020	\$4,003.64			2019	\$3,829.07			2018	\$3,829.07			2017	\$3,804.07			2016	\$3,804.07			2015	\$3,804.07			2014	\$3,804.07			2013	\$3,804.07			2012	\$3,649.91			2011	\$3,544.32			<b>Total</b>	<b>\$72,812.42</b>		
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**INVOICE**

June 27, 2022

Village of Freeport  
46 N. Ocean Avenue  
Freeport, NY 11520



**2020 ANNUAL CURB AND SIDEWALK CONTRACT**

JOB LOCATION: 253 W Seaman Avenue

**REMOVED AND REPLACED:**

4 in. sidewalk @ \$8.60/SF =

4 in. sidewalk @ \$10.60/SF  
(less than 80 SF) = 64 SF X \$10.60 = \$678.40

6 in. sidewalk @ \$10.10/SF =

6 in. sidewalk @ \$9.60/SF  
(less than 30 SF) =

Curbing @ \$26.00/LF =

Sawcutting @ \$1.00/LF = 4 LF X \$1.00 = \$4.00

TOTAL = \$682.40

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doing business on Long Island since 1957. For additional information, please visit our website at:  
[www.armondcement.com](http://www.armondcement.com)*

VILLAGE OF FREEPORT  
INTER-OFFICE CORRESPONDENCE

TO: Robert McCormick, Department of Engineering

FROM: Donna Sullivan, Village Clerk Office

DATE: June 20, 2022

RE: **Hazardous Sidewalk – 253 W. Seaman Ave**

---

Please inspect the above location to determine if the hazardous condition has been corrected.

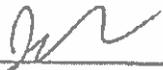
**1. 253 W. Seaman Ave**

Work Completed  Work not completed  Unsatisfactory

Was inspected and found to be satisfactorily completed Yes.

Was inspected and found to be unsatisfactory \_\_\_\_\_.

Comments \_\_\_\_\_

Signature 

Date 7-9-22

**SIDEWALK INSPECTION FORM**

DATE: 12-07-20

ADDRESS: 253 W. SEAMAN AVENUE

DATE INSPECTION REQUESTED: 10-21-20

INSPECTION REQUESTED BY: CLERKS OFFICE

REASON FOR INSPECTION: ALLEGED HAZARDOUS

CONDITIONS OF SIDEWALK

INSPECTION REVEALED: CRACKED/LIFTED SECTIONS

OF SIDEWALK

TOTAL SQUARE FOOTAGE OF SIDEWALK TO BE REPLACED: <sup>4" SW</sup> 64 sq. ft.

CURE TO BE REPLACED: \_\_\_\_\_

IF TREES ON PROPERTY, WHAT CONDITION ARE THEY IN: \_\_\_\_\_

DEBRIS IN STREET: \_\_\_\_\_

OTHER: \_\_\_\_\_

AREAS MARKED OUT FOR REPLACEMENT:

4" 8' x 4' 6" SAWCUTTING 4 LFT.

(2) 4' x 4'

DATE RETURNED TO SENDER: \_\_\_\_\_

INSPECTION PERFORMED BY:

Robert McCormick

DATE 12-07-20

REVIEWED BY:

RAP

DATE 12/11/20

Account #:

200-2406.700

Quick Search:

Account #

Tax Year:

2020

TAX

No Account Alerts

Summary

Balance & Status

Billing

Payments

Premise & Devices

Usage

Workflow

<b>HUBER LEONCIA A</b> Account <b>200-2406.700</b> Active Code <b>ACTIVE</b> Status Code <b>NORMAL</b> Social Security *****0000 Driver's License <b>Fast Facts</b> Credit Score - A 3rd Party/Multiple Property Tax Exemption <b>Service Address</b> 253 W SEAMAN AVE FREEPORT, NY 11520-1331 <b>Services</b> <table border="1"> <thead> <tr> <th>Description</th> <th>Status</th> <th>Model/Size</th> </tr> </thead> <tbody> <tr> <td>TAX</td> <td>ACTIVE</td> <td></td> </tr> <tr> <td>TAX BILLING</td> <td>ACTIVE</td> <td></td> </tr> <tr> <td>GARBAGE COLL BILLING</td> <td>ACTIVE</td> <td></td> </tr> </tbody> </table>			Description	Status	Model/Size	TAX	ACTIVE		TAX BILLING	ACTIVE		GARBAGE COLL BILLING	ACTIVE		<b>Account Summaries</b> <b>Site Information - Assessments</b> <table border="1"> <tbody> <tr><td>Refuse Fees</td><td>\$490.00</td></tr> <tr><td>Misc Charges</td><td>\$453.85</td></tr> <tr><td>Personal Property</td><td>\$0.00</td></tr> <tr><td>Personal Property List</td><td>\$0.00</td></tr> <tr><td>Real Property</td><td>\$7,600.00</td></tr> <tr><td>Real Property List</td><td>\$7,600.00</td></tr> <tr><td>Land</td><td>\$1,293.00</td></tr> <tr><td>Building</td><td>\$6,307.00</td></tr> <tr><td><b>Total</b></td><td><b>\$7,600.00</b></td></tr> <tr><td><b>Less Exemptions</b></td><td><b>\$3,800.00</b></td></tr> <tr><td><b>TOTAL VALUE</b></td><td><b>\$3,800.00</b></td></tr> </tbody> </table>				Refuse Fees	\$490.00	Misc Charges	\$453.85	Personal Property	\$0.00	Personal Property List	\$0.00	Real Property	\$7,600.00	Real Property List	\$7,600.00	Land	\$1,293.00	Building	\$6,307.00	<b>Total</b>	<b>\$7,600.00</b>	<b>Less Exemptions</b>	<b>\$3,800.00</b>	<b>TOTAL VALUE</b>	<b>\$3,800.00</b>	<b>Balance and Status: Tax</b> <table border="1"> <thead> <tr> <th>Year</th> <th>Total Tax</th> <th>Delinq. Tax</th> <th>Misc. Chgs.</th> </tr> </thead> <tbody> <tr><td>2020</td><td>\$3,434.86</td><td>\$3,434.86</td><td></td></tr> <tr><td>2019</td><td>\$3,698.87</td><td></td><td></td></tr> <tr><td>2018</td><td>\$3,288.30</td><td></td><td></td></tr> <tr><td>2017</td><td>\$3,287.35</td><td></td><td></td></tr> <tr><td>2016</td><td>\$3,200.91</td><td></td><td></td></tr> <tr><td>2015</td><td>\$5,555.29</td><td></td><td></td></tr> <tr><td>2014</td><td>\$5,679.29</td><td></td><td></td></tr> <tr><td>2013</td><td>\$5,570.11</td><td></td><td></td></tr> <tr><td>2012</td><td>\$5,306.38</td><td></td><td></td></tr> <tr><td>2011</td><td>\$5,228.39</td><td></td><td></td></tr> <tr><td>2010</td><td>\$4,900.29</td><td></td><td></td></tr> <tr><td><b>Total</b></td><td><b>\$91,207.34</b></td><td><b>\$3,434.86</b></td><td><b>\$5.00</b></td></tr> </tbody> </table>			Year	Total Tax	Delinq. Tax	Misc. Chgs.	2020	\$3,434.86	\$3,434.86		2019	\$3,698.87			2018	\$3,288.30			2017	\$3,287.35			2016	\$3,200.91			2015	\$5,555.29			2014	\$5,679.29			2013	\$5,570.11			2012	\$5,306.38			2011	\$5,228.39			2010	\$4,900.29			<b>Total</b>	<b>\$91,207.34</b>	<b>\$3,434.86</b>	<b>\$5.00</b>
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**INVOICE**



June 27, 2022

Village of Freeport  
46 N. Ocean Avenue  
Freeport, NY 11520

**2020 ANNUAL CURB AND SIDEWALK CONTRACT**

JOB LOCATION: 336 W Seaman Avenue

**REMOVED AND REPLACED:**

4 in. sidewalk @ \$8.60/SF =

4 in. sidewalk @ \$10.60/SF  
(less than 80 SF) = 80 SF X \$10.60 = \$848.00

6 in. sidewalk @ \$10.10/SF = 110 SF X \$10.10 = \$1,111.00

6 in. sidewalk @ \$9.60/SF  
(less than 30 SF) =

Curbing @ \$26.00/LF =

Sawcutting @ \$1.00/LF =

**TOTAL = \$1,959.00**

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VILLAGE OF FREEPORT  
INTER-OFFICE CORRESPONDENCE

TO: Robert McCormick, Department of Engineering

FROM: Donna Sullivan, Village Clerk Office

DATE: June 20, 2022

RE: **Hazardous Sidewalk – 336 W. Seaman Ave**

---

Please inspect the above location to determine if the hazardous condition has been corrected.

**1. 336 W. Seaman Ave**

Work Completed  Work not completed  Unsatisfactory

Was inspected and found to be satisfactorily completed Yes.

Was inspected and found to be unsatisfactory \_\_\_\_\_.

Comments \_\_\_\_\_

Signature 

Date 7-9-22

**SIDEWALK INSPECTION FORM**

DATE: 8/6/21

ADDRESS: 336 W. Seaman Ave.

DATE INSPECTION REQUESTED: 7/23/21

INSPECTION REQUESTED BY: CLERK'S OFFICE

REASON FOR INSPECTION: ALLEGED HAZARDOUS  
CONDITIONS OF SIDEWALK

INSPECTION REVEALED: CRACKED/LIFTED SECTIONS  
OF SIDEWALK

TOTAL SQUARE FOOTAGE OF SIDEWALK TO BE REPLACED: 80sqft <sup>4" SW</sup> / 110sqft <sup>6" SW</sup>

CURB TO BE REPLACED: \_\_\_\_\_

IF TREES ON PROPERTY, WHAT CONDITION ARE THEY IN: \_\_\_\_\_

DEBRIS IN STREET: \_\_\_\_\_

OTHER: \_\_\_\_\_

AREAS MARKED OUT FOR REPLACEMENT:  
4" 8'x4' / 4'x4'     6" 16'x4' / 11.5'x4' SAWCUTTING

DATE RETURNED TO SENDER: \_\_\_\_\_

INSPECTION PERFORMED BY: \_\_\_\_\_

Robert Melomich     DATE 8/06/21

REVIEWED BY: [Signature]     DATE 8/7/21

Account #:

200-0352.700

Quick Search:

Account #

Tax Year:

2021

TAX

No Account Alerts

Summary Balance & Status Billing Payments Premise & Devices Usage Workflow

<b>GUILFORD JANINE</b> Account <b>200-0352.700</b> Active Code <b>ACTIVE</b> Status Code <b>NORMAL</b> Social Security *****0000 Driver's License <b>Fast Facts</b> Credit Score - A 3rd Party/Multiple <b>Service Address</b> 336 W SEAMAN AVE FREEPORT, NY 11520-1339 <b>Services</b> <table border="1"> <thead> <tr> <th>Description</th> <th>Status</th> <th>Model/Size</th> </tr> </thead> <tbody> <tr> <td>TAX</td> <td>ACTIVE</td> <td></td> </tr> <tr> <td>TAX BILLING</td> <td>ACTIVE</td> <td></td> </tr> <tr> <td>GARBAGE COLL</td> <td>ACTIVE</td> <td></td> </tr> <tr> <td>BILLING</td> <td></td> <td></td> </tr> </tbody> </table>			Description	Status	Model/Size	TAX	ACTIVE		TAX BILLING	ACTIVE		GARBAGE COLL	ACTIVE		BILLING			<b>Account Summaries</b> <b>Site Information - Assessments</b> <table border="1"> <thead> <tr> <th>Item</th> <th>Amount</th> </tr> </thead> <tbody> <tr> <td>Refuse Fees</td> <td>\$518.00</td> </tr> <tr> <td>Misc Charges</td> <td>\$690.15</td> </tr> <tr> <td>Personal Property</td> <td>\$0.00</td> </tr> <tr> <td>Personal Property List</td> <td>\$0.00</td> </tr> <tr> <td>Real Property</td> <td>\$5,445.00</td> </tr> <tr> <td>Real Property List</td> <td>\$5,445.00</td> </tr> <tr> <td>Land</td> <td>\$1,652.00</td> </tr> <tr> <td>Building</td> <td>\$3,793.00</td> </tr> <tr> <td><b>Total</b></td> <td><b>\$5,445.00</b></td> </tr> <tr> <td>Less Exemptions</td> <td>-</td> </tr> <tr> <td><b>TOTAL VALUE</b></td> <td><b>\$5,445.00</b></td> </tr> </tbody> </table>				Item	Amount	Refuse Fees	\$518.00	Misc Charges	\$690.15	Personal Property	\$0.00	Personal Property List	\$0.00	Real Property	\$5,445.00	Real Property List	\$5,445.00	Land	\$1,652.00	Building	\$3,793.00	<b>Total</b>	<b>\$5,445.00</b>	Less Exemptions	-	<b>TOTAL VALUE</b>	<b>\$5,445.00</b>	<b>Balance and Status: Tax</b> <table border="1"> <thead> <tr> <th>Year</th> <th>Total Tax</th> <th>Delinq. Tax</th> <th>Misc. Chgs.</th> </tr> </thead> <tbody> <tr> <td>2021</td> <td>\$4,600.17</td> <td></td> <td></td> </tr> <tr> <td>2020</td> <td>\$4,944.20</td> <td></td> <td></td> </tr> <tr> <td>2019</td> <td>\$4,675.60</td> <td></td> <td></td> </tr> <tr> <td>2018</td> <td>\$4,501.20</td> <td></td> <td></td> </tr> <tr> <td>2017</td> <td>\$4,387.27</td> <td></td> <td></td> </tr> <tr> <td>2016</td> <td>\$4,494.40</td> <td></td> <td></td> </tr> <tr> <td>2015</td> <td>\$4,317.20</td> <td></td> <td></td> </tr> <tr> <td>2014</td> <td>\$4,306.77</td> <td></td> <td></td> </tr> <tr> <td>2013</td> <td>\$4,295.32</td> <td></td> <td></td> </tr> <tr> <td>2012</td> <td>\$4,188.62</td> <td></td> <td></td> </tr> <tr> <td>2011</td> <td>\$4,193.69</td> <td></td> <td></td> </tr> <tr> <td><b>Total</b></td> <td><b>\$92,784.57</b></td> <td></td> <td><b>\$10.00</b></td> </tr> </tbody> </table>				Year	Total Tax	Delinq. Tax	Misc. Chgs.	2021	\$4,600.17			2020	\$4,944.20			2019	\$4,675.60			2018	\$4,501.20			2017	\$4,387.27			2016	\$4,494.40			2015	\$4,317.20			2014	\$4,306.77			2013	\$4,295.32			2012	\$4,188.62			2011	\$4,193.69			<b>Total</b>	<b>\$92,784.57</b>		<b>\$10.00</b>
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**Armond Cement Contracting Co., Inc.**

1808 Alice Street  
Merrick, NY 11566  
(516) 546-3351  
(516) 242-0244 cell  
FAX (516) 546-3901  
esposito@armondcement.com  
www.armondcement.com

**INVOICE**

June 27, 2022

Village of Freeport  
46 N. Ocean Avenue  
Freeport, NY 11520



**2020 ANNUAL CURB AND SIDEWALK CONTRACT**

JOB LOCATION: 178 Wallace Street

**REMOVED AND REPLACED:**

4 in. sidewalk @ \$8.60/SF	=	287 SF X \$8.60	=	\$2,468.20
4 in. sidewalk @ \$10.60/SF (less than 80 SF)	=			
6 in. sidewalk @ \$10.10/SF	=	32 SF X \$10.10	=	\$323.20
6 in. sidewalk @ \$9.60/SF (less than 30 SF)	=			
Curbing @ \$26.00/LF	=			
Sawcutting @ \$1.00/LF	=			
		<b>TOTAL</b>	<b>=</b>	<b>\$2,791.40</b>

*ARMOND CEMENT CONTRACTING CO. INC. is a fully licensed and insured company doing business on Long Island since 1957. For additional information, please visit our website at: [www.armondcement.com](http://www.armondcement.com)*

VILLAGE OF FREEPORT  
INTER-OFFICE CORRESPONDENCE

TO: Robert McCormick, Department of Engineering

FROM: Donna Sullivan, Village Clerk Office

DATE: June 20, 2022

RE: **Hazardous Sidewalk – 178 Wallace St**

---

Please inspect the above location to determine if the hazardous condition has been corrected.

**1. 178 Wallace St**

Work Completed  Work not completed  Unsatisfactory

Was inspected and found to be satisfactorily completed Yes.

Was inspected and found to be unsatisfactory \_\_\_\_\_.

Comments \_\_\_\_\_

Signature 

Date 7-9-22

**SIDEWALK INSPECTION FORM**

DATE: 5/05/22

ADDRESS: 178 Wallace Ave.

DATE INSPECTION REQUESTED: 10/15/21

INSPECTION REQUESTED BY: CLERK'S OFFICE

REASON FOR INSPECTION: ALLEGED HAZARDOUS CONDITIONS  
OF SIDEWALK

INSPECTION REVEALED: CRACKED/LIFTED SECTIONS  
OF SIDEWALK

	4" SW	6" SW
TOTAL SQUARE FOOTAGE OF SIDEWALK TO BE REPLACED:	<u>287 S.F.</u>	<u>32 S.F.</u>

CURB TO BE REPLACED: \_\_\_\_\_

IF TREES ON PROPERTY, WHAT CONDITION ARE THEY IN: \_\_\_\_\_

DEBRIS IN STREET: \_\_\_\_\_

OTHER: \_\_\_\_\_

AREAS MARKED OUT FOR REPLACEMENT:

4" 11.75' x 4'      6" 8' x 4'      SAWCUTTING  
16' x 4' / 12' x 4' / (2) 8' x 4' / (4) 4' x 4'

DATE RETURNED TO SENDER: \_\_\_\_\_

INSPECTION PERFORMED BY:

Robert McCormick      DATE 5/05/22

REVIEWED BY: RAF      DATE 5/11/22

Account #: 200-5873.700

Quick Search: Account #

Tax Year: 2021

No Account Alerts

TAX

- Summary
- Balance & Status
- Billing
- Payments
- Premise & Devices
- Usage
- Workflow

<b>CARR BERYL</b> Account <b>200-5873.700</b> Active Code <b>ACTIVE</b> Status Code <b>NORMAL</b> Social Security *****0000 Driver's License <b>Fast Facts</b> Owner Credit Score - A Property Tax Exemption <b>Service Address</b> 178 WALLACE ST FREEPORT, NY 11520-2114 <b>Services</b> <table border="1"> <thead> <tr> <th>Description</th> <th>Status</th> <th>Model/Size</th> </tr> </thead> <tbody> <tr> <td>TAX</td> <td>ACTIVE</td> <td></td> </tr> <tr> <td>GARBAGE COLL BILLING</td> <td>ACTIVE</td> <td></td> </tr> </tbody> </table> < > Cycle 1 — CYCLE 1 Route 200 — ROUTE 200 Service Area 1 — DEFAULT Tax District 1 — VILLAGE OF FREEPORT <b>Mailing Address</b> 178 WALLACE ST FREEPORT, NY 11520-2114 No Phone Number Available CARR BERYL <b>Account Calendar</b> On Date: 10/05/1998 Last Paid: 09/07/2021 Last Bill: 03/01/2021 Due Date: 09/01/2021 ACH Date: Not on ACH			Description	Status	Model/Size	TAX	ACTIVE		GARBAGE COLL BILLING	ACTIVE		<b>Account Summaries</b> <b>Site Information - Assessments</b> <table border="1"> <tbody> <tr> <td>Refuse Fees</td> <td>\$518.00</td> </tr> <tr> <td>Misc Charges</td> <td>-</td> </tr> <tr> <td>Personal Property</td> <td>\$0.00</td> </tr> <tr> <td>Personal Property List</td> <td>\$0.00</td> </tr> <tr> <td>Real Property</td> <td>\$8,910.00</td> </tr> <tr> <td>Real Property List</td> <td>\$8,910.00</td> </tr> <tr> <td>Land</td> <td>\$2,349.00</td> </tr> <tr> <td>Building</td> <td>\$6,561.00</td> </tr> <tr> <td><b>Total</b></td> <td><b>\$8,930.00</b></td> </tr> <tr> <td><b>Less Exemptions</b></td> <td><b>\$583.00</b></td> </tr> <tr> <td><b>TOTAL VALUE</b></td> <td><b>\$8,327.00</b></td> </tr> </tbody> </table> <b>Payment Summary</b> <table border="1"> <thead> <tr> <th>Payment Date</th> <th>Type</th> <th>Posting Date</th> <th>Payment</th> </tr> </thead> <tbody> <tr> <td>09/07/2021</td> <td>TAX 2ND 2021</td> <td>09/07/2021</td> <td>\$2,852.70</td> </tr> <tr> <td>03/31/2021</td> <td>TAX 1ST 2021</td> <td>03/31/2021</td> <td>\$2,852.69</td> </tr> <tr> <td>10/01/2020</td> <td>TAX 2ND 2020</td> <td>10/01/2020</td> <td>\$3,079.45</td> </tr> </tbody> </table>				Refuse Fees	\$518.00	Misc Charges	-	Personal Property	\$0.00	Personal Property List	\$0.00	Real Property	\$8,910.00	Real Property List	\$8,910.00	Land	\$2,349.00	Building	\$6,561.00	<b>Total</b>	<b>\$8,930.00</b>	<b>Less Exemptions</b>	<b>\$583.00</b>	<b>TOTAL VALUE</b>	<b>\$8,327.00</b>	Payment Date	Type	Posting Date	Payment	09/07/2021	TAX 2ND 2021	09/07/2021	\$2,852.70	03/31/2021	TAX 1ST 2021	03/31/2021	\$2,852.69	10/01/2020	TAX 2ND 2020	10/01/2020	\$3,079.45	<b>Balance and Status: Tax</b> <table border="1"> <thead> <tr> <th>Year</th> <th>Total Tax</th> <th>Delinq. Tax</th> <th>Misc. Chgs.</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table> <b>Tax Account Information</b> Map ID 55-475-26 Elderly Lien - Property Class 210 - ONE FAMILY RESIDENCE Ward 1 - TAXABLE Lot Size DIMEN 90.00 X 100.00 COUNTY CLS: 210.01				Year	Total Tax	Delinq. Tax	Misc. Chgs.				
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**INVOICE**

June 27, 2022

Village of Freeport  
46 N. Ocean Avenue  
Freeport, NY 11520



**2020 ANNUAL CURB AND SIDEWALK CONTRACT**

JOB LOCATION: 133 Washburn Avenue

**REMOVED AND REPLACED:**

4 in. sidewalk @ \$8.60/SF =	42 SF X \$10.60	=	\$445.20
4 in. sidewalk @ \$10.60/SF (less than 80 SF) =			
6 in. sidewalk @ \$10.10/SF =	40 SF X \$10.10	=	\$404.00
6 in. sidewalk @ \$9.60/SF (less than 30 SF) =			
Curbing @ \$26.00/LF =			
Sawcutting @ \$1.00/LF =			
	<b>TOTAL</b>	<b>=</b>	<b>\$849.20</b>

*ARMOND CEMENT CONTRACTING CO. INC. is a fully licensed and insured company  
doing business on Long Island since 1957. For additional information, please visit our website at:  
[www.armoundcement.com](http://www.armoundcement.com)*



**SIDEWALK INSPECTION FORM**

DATE: 10-1-2020

ADDRESS: 133 WASHBURN AVENUE

DATE INSPECTION REQUESTED: 9-4-2020

INSPECTION REQUESTED BY: CLERKS OFFICE

REASON FOR INSPECTION: ALLEGED HAZARDOUS SIDEWALK

INSPECTION REVEALED: CRACKED, UNEVEN SIDEWALK

TOTAL SQUARE FOOTAGE OF SIDEWALK TO BE REPLACED: 124.8 <sup>4" SL</sup> CF

CURB TO BE REPLACED: \_\_\_\_\_

IF TREES ON PROPERTY, WHAT CONDITION ARE THEY IN: \_\_\_\_\_

DEBRIS IN STREET: \_\_\_\_\_

OTHER: \_\_\_\_\_

AREAS MARKED OUT FOR REPLACEMENT:

4" <sup>4x4</sup> 13.4x4 <sup>16</sup> 53.6 6" \_\_\_\_\_ SAWCUTTING \_\_\_\_\_  
13.3x4 55.2

DATE RETURNED TO SENDER: \_\_\_\_\_

INSPECTION PERFORMED BY:

[Signature] DATE 10-1-2020

REVIEWED BY: [Signature] DATE 10/2/20

Account #:

200-3901.700

Quick Search:

Account #

Tax Year:

2020

TAX

No Account Alerts

Summary Balance & Status Billing Payments Premise & Devices Usage Workflow

<b>MEDINA JOSE</b> Account 200-3901.700 Active Code ACTIVE Status Code NORMAL Social Security *****0000 Driver's License <b>Fast Facts</b> Owner Credit Score - A <b>Service Address</b> 133 WASHBURN AVE FREEPORT, NY 11520-2308 <b>Services</b> <table border="1"> <thead> <tr> <th>Description</th> <th>Status</th> <th>Model/Size</th> </tr> </thead> <tbody> <tr> <td>TAX</td> <td>ACTIVE</td> <td></td> </tr> <tr> <td>TAX BILLING</td> <td>ACTIVE</td> <td></td> </tr> <tr> <td>GARBAGE COLL BILLING</td> <td>ACTIVE</td> <td></td> </tr> </tbody> </table>			Description	Status	Model/Size	TAX	ACTIVE		TAX BILLING	ACTIVE		GARBAGE COLL BILLING	ACTIVE		<b>Account Summaries</b> <b>Site Information - Assessments</b> <table border="1"> <thead> <tr> <th>Item</th> <th>Amount</th> </tr> </thead> <tbody> <tr> <td>Refuse Fees</td> <td>\$950.00</td> </tr> <tr> <td>Misc Charges</td> <td>-</td> </tr> <tr> <td>Personal Property</td> <td>\$0.00</td> </tr> <tr> <td>Personal Property List</td> <td>\$0.00</td> </tr> <tr> <td>Real Property</td> <td>\$5,450.00</td> </tr> <tr> <td>Real Property List</td> <td>\$5,450.00</td> </tr> <tr> <td>Land</td> <td>\$1,215.00</td> </tr> <tr> <td>Building</td> <td>\$4,235.00</td> </tr> <tr> <td><b>Total</b></td> <td><b>\$5,450.00</b></td> </tr> <tr> <td>Less Exemptions</td> <td>-</td> </tr> <tr> <td><b>TOTAL VALUE</b></td> <td><b>\$5,450.00</b></td> </tr> </tbody> </table>				Item	Amount	Refuse Fees	\$950.00	Misc Charges	-	Personal Property	\$0.00	Personal Property List	\$0.00	Real Property	\$5,450.00	Real Property List	\$5,450.00	Land	\$1,215.00	Building	\$4,235.00	<b>Total</b>	<b>\$5,450.00</b>	Less Exemptions	-	<b>TOTAL VALUE</b>	<b>\$5,450.00</b>	<b>Balance and Status: Tax</b> <table border="1"> <thead> <tr> <th>Year</th> <th>Total Tax</th> <th>Delinq. Tax</th> <th>Misc. Chgs.</th> </tr> </thead> <tbody> <tr> <td>2020</td> <td>\$4,522.64</td> <td>\$2,261.32</td> <td></td> </tr> <tr> <td>2019</td> <td>\$4,345.13</td> <td></td> <td></td> </tr> <tr> <td>2018</td> <td>\$4,345.13</td> <td></td> <td></td> </tr> <tr> <td>2017</td> <td>\$4,295.13</td> <td></td> <td></td> </tr> <tr> <td>2016</td> <td>\$4,295.13</td> <td></td> <td></td> </tr> <tr> <td>2015</td> <td>\$4,295.13</td> <td></td> <td></td> </tr> <tr> <td>2014</td> <td>\$4,295.13</td> <td></td> <td></td> </tr> <tr> <td>2013</td> <td>\$4,295.13</td> <td></td> <td></td> </tr> <tr> <td>2012</td> <td>\$4,138.39</td> <td></td> <td></td> </tr> <tr> <td>2011</td> <td>\$4,031.03</td> <td></td> <td></td> </tr> <tr> <td>2010</td> <td>\$3,889.87</td> <td></td> <td></td> </tr> <tr> <td><b>Total</b></td> <td><b>\$82,555.38</b></td> <td><b>\$2,261.32</b></td> <td><b>\$25.00</b></td> </tr> </tbody> </table>			Year	Total Tax	Delinq. Tax	Misc. Chgs.	2020	\$4,522.64	\$2,261.32		2019	\$4,345.13			2018	\$4,345.13			2017	\$4,295.13			2016	\$4,295.13			2015	\$4,295.13			2014	\$4,295.13			2013	\$4,295.13			2012	\$4,138.39			2011	\$4,031.03			2010	\$3,889.87			<b>Total</b>	<b>\$82,555.38</b>	<b>\$2,261.32</b>	<b>\$25.00</b>
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**Armond Cement Contracting Co., Inc.**

1808 Alice Street  
Merrick, NY 11566  
(516) 546-3351  
(516) 242-0244 cell  
FAX (516) 546-3901  
esposito@armondcement.com  
www.armondcement.com

**INVOICE**

June 27, 2022

Village of Freeport  
46 N. Ocean Avenue  
Freeport, NY 11520

**2020 ANNUAL CURB AND SIDEWALK CONTRACT**

JOB LOCATION: 44 Westend Avenue

**REMOVED AND REPLACED:**

4 in. sidewalk @ \$8.60/SF = 101 SF X \$8.60 = \$868.60

4 in. sidewalk @ \$10.60/SF  
(less than 80 SF) =

6 in. sidewalk @ \$10.10/SF =

6 in. sidewalk @ \$9.60/SF  
(less than 30 SF) =

Curbing @ \$26.00/LF =

Sawcutting @ \$1.00/LF =

**TOTAL = \$868.60**

*ARMOND CEMENT CONTRACTING CO. INC. is a fully licensed and insured company  
doing business on Long Island since 1957. For additional information, please visit our website at:  
[www.armondcement.com](http://www.armondcement.com)*

VILLAGE OF FREEPORT  
INTER-OFFICE CORRESPONDENCE

TO: Robert McCormick, Department of Engineering

FROM: Donna Sullivan, Village Clerk Office

DATE: June 20, 2022

RE: **Hazardous Sidewalk – 44 Westend Ave**

---

Please inspect the above location to determine if the hazardous condition has been corrected.

**44 Westend Ave**

Work Completed  Work not completed  Unsatisfactory

Was inspected and found to be satisfactorily completed Yes.

Was inspected and found to be unsatisfactory \_\_\_\_\_.

Comments \_\_\_\_\_

Signature 

Date 7-9-22

**SIDEWALK INSPECTION FORM**

DATE: 12/17/21

ADDRESS: 44 West end Ave.

DATE INSPECTION REQUESTED: 12/17/21

INSPECTION REQUESTED BY: ENGINEERING DEPT.

REASON FOR INSPECTION: ALLEGED HAZARDOUS  
CONDITIONS OF SIDEWALK

INSPECTION REVEALED: CRACKED/LIFTED SECTIONS  
OF SIDEWALK

TOTAL SQUARE FOOTAGE OF SIDEWALK TO BE REPLACED: 101 sq.ft  
4" SW ~~6" SW~~

CURB TO BE REPLACED: \_\_\_\_\_

IF TREES ON PROPERTY, WHAT CONDITION ARE THEY IN: \_\_\_\_\_

DEBRIS IN STREET: \_\_\_\_\_

OTHER: \_\_\_\_\_

AREAS MARKED OUT FOR REPLACEMENT:

4" 25.25' x 4' 6" SAWCUTTING

DATE RETURNED TO SENDER: \_\_\_\_\_

INSPECTION PERFORMED BY:

Robert Melomich DATE 12/17/21

REVIEWED BY: R/f DATE 12/29/21

Account #:

200-1877.700

Quick Search:

Account #

Tax Year:

2022

TAX

No Account Alerts

Summary Balance & Status Billing Payments Premise & Devices Usage Workflow

<b>FORD WILLIAM H &amp; DIANE</b> Account <b>200-1877.700</b> Active Code <b>ACTIVE</b> Status Code <b>NORMAL</b> Social Security <b>*****0000</b> Driver's License <b>000000000000</b>			<b>Account Summaries</b> Site Information - Assessments Refuse Fees - Misc Charges - Personal Property \$0.00 Personal Property List \$0.00 Real Property \$3,150.00 Real Property List \$3,150.00 Land \$576.00 Building \$2,574.00 <b>Total \$3,150.00</b> Less Exemptions \$788.00 <b>TOTAL VALUE \$2,362.00</b>			<b>Balance and Status: Tax</b> <table border="1"> <thead> <tr> <th>Year</th> <th>Total Tax</th> <th>Delinq. Tax</th> <th>Misc. Chgs.</th> </tr> </thead> <tbody> <tr><td>2022</td><td></td><td></td><td></td></tr> <tr><td>2021</td><td>\$1,989.43</td><td></td><td></td></tr> <tr><td>2020</td><td>\$2,038.36</td><td></td><td></td></tr> <tr><td>2019</td><td>\$1,961.43</td><td></td><td></td></tr> <tr><td>2018</td><td>\$1,961.43</td><td></td><td></td></tr> <tr><td>2017</td><td>\$1,936.43</td><td></td><td></td></tr> <tr><td>2016</td><td>\$1,936.43</td><td></td><td></td></tr> <tr><td>2015</td><td>\$1,936.43</td><td></td><td></td></tr> <tr><td>2014</td><td>\$2,123.29</td><td></td><td></td></tr> <tr><td>2013</td><td>\$1,936.43</td><td></td><td></td></tr> <tr><td>2012</td><td>\$1,868.50</td><td></td><td></td></tr> <tr><td><b>Total</b></td><td><b>\$40,434.63</b></td><td></td><td></td></tr> </tbody> </table>			Year	Total Tax	Delinq. Tax	Misc. Chgs.	2022				2021	\$1,989.43			2020	\$2,038.36			2019	\$1,961.43			2018	\$1,961.43			2017	\$1,936.43			2016	\$1,936.43			2015	\$1,936.43			2014	\$2,123.29			2013	\$1,936.43			2012	\$1,868.50			<b>Total</b>	<b>\$40,434.63</b>		
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**INVOICE**

June 27, 2022

Village of Freeport  
46 N. Ocean Avenue  
Freeport, NY 11520



**2020 ANNUAL CURB AND SIDEWALK CONTRACT**

JOB LOCATION: 91 Woodside Avenue

**REMOVED AND REPLACED:**

4 in. sidewalk @ \$8.60/SF	=	132.2 SF X \$8.60	=	\$1,136.92
4 in. sidewalk @ \$10.60/SF (less than 80 SF)	=			
6 in. sidewalk @ \$10.10/SF	=	35.3 SF X \$10.10	=	\$356.53
6 in. sidewalk @ \$9.60/SF (less than 30 SF)	=			
Curbing @ \$26.00/LF	=			
Sawcutting @ \$1.00/LF	=			
		<b>TOTAL</b>	=	<b>\$1,493.45</b>

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doing business on Long Island since 1957. For additional information, please visit our website at:  
[www.armondcement.com](http://www.armondcement.com)*

VILLAGE OF FREEPORT  
INTER-OFFICE CORRESPONDENCE

TO: Robert McCormick, Department of Engineering

FROM: Donna Sullivan, Village Clerk Office

DATE: June 20, 2022

RE: Hazardous Sidewalk – 91 Woodside Ave

Please inspect the above location to determine if the hazardous condition has been corrected.

**91 Woodside Ave**

Work Completed X Work not completed \_\_\_\_\_ Unsatisfactory \_\_\_\_\_

Was inspected and found to be satisfactorily completed Yes.

Was inspected and found to be unsatisfactory \_\_\_\_\_.

Comments \_\_\_\_\_

Signature Robert McCormick

Date 6/25/22

**SIDEWALK INSPECTION FORM**

DATE: 5/24/22

ADDRESS: 91 Woodside Ave.

DATE INSPECTION REQUESTED: 9/22/21

INSPECTION REQUESTED BY: CLERK'S OFFICE

REASON FOR INSPECTION: ALLEGED HAZARDOUS  
CONDITIONS OF SIDEWALK

INSPECTION REVEALED: CRACKED/LIFTED SECTIONS  
OF SIDEWALK

TOTAL SQUARE FOOTAGE OF SIDEWALK TO BE REPLACED: 

4" SW	6" SW
132.2 S.F.	35.3 S.F.

CURB TO BE REPLACED: \_\_\_\_\_

IF TREES ON PROPERTY, WHAT CONDITION ARE THEY IN: \_\_\_\_\_

DEBRIS IN STREET: \_\_\_\_\_

OTHER: \_\_\_\_\_

AREAS MARKED OUT FOR REPLACEMENT:

4" <sup>64</sup> 16' x 4' / <sup>33.2</sup> 8.3' x 4'    6" <sup>35.3</sup> 8.83' x 4'    SAWCUTTING  
4.75' x 4' / 4' x 4'

DATE RETURNED TO SENDER: \_\_\_\_\_

INSPECTION PERFORMED BY:

Robert Melomick                      DATE 5/24/22

REVIEWED BY: RJF                      DATE 5/26/22

Account #:

200-4561.700

Quick Search:

Account #

Tax Year:

2021

TAX

No Account Alerts

Summary

Balance & Status

Billing

Payments

Premise & Devices

Usage

Workflow

<b>WALCOTT PHYLLIS</b> Account <b>200-4561.700</b> Active Code <b>ACTIVE</b> Status Code <b>NORMAL</b> Social Security *****0000 Driver's License			<b>Account Summaries</b> <b>Site Information - Assessments</b> Refuse Fees \$1,006.00 Misc Charges - Personal Property \$0.00 Personal Property List \$0.00 Real Property \$4,050.00 Real Property List \$4,050.00 Land \$1,103.00 Building \$2,947.00 <b>Total \$4,050.00</b> Less Exemptions - <b>TOTAL VALUE \$4,050.00</b>				<b>Balance and Status: Tax</b> <table border="1"> <thead> <tr> <th>Year</th> <th>Total Tax</th> <th>Delinq. Tax</th> <th>Misc. Chgs.</th> </tr> </thead> <tbody> <tr> <td>2021</td> <td>\$3,528.99</td> <td>\$1,764.50</td> <td></td> </tr> <tr> <td>2020</td> <td>\$3,604.90</td> <td></td> <td></td> </tr> <tr> <td>2019</td> <td>\$3,472.99</td> <td></td> <td></td> </tr> <tr> <td>2018</td> <td>\$3,472.99</td> <td></td> <td></td> </tr> <tr> <td>2017</td> <td>\$3,422.99</td> <td></td> <td></td> </tr> <tr> <td>2016</td> <td>\$3,576.57</td> <td></td> <td></td> </tr> <tr> <td>2015</td> <td>\$3,812.69</td> <td></td> <td></td> </tr> <tr> <td>2014</td> <td>\$3,422.99</td> <td></td> <td></td> </tr> <tr> <td>2013</td> <td>\$3,422.99</td> <td></td> <td></td> </tr> <tr> <td>2012</td> <td>\$3,306.51</td> <td></td> <td></td> </tr> <tr> <td>2011</td> <td>\$3,226.73</td> <td></td> <td>\$5.00</td> </tr> <tr> <td><b>Total</b></td> <td><b>\$68,979.68</b></td> <td><b>\$1,764.50</b></td> <td><b>\$10.00</b></td> </tr> </tbody> </table>				Year	Total Tax	Delinq. Tax	Misc. Chgs.	2021	\$3,528.99	\$1,764.50		2020	\$3,604.90			2019	\$3,472.99			2018	\$3,472.99			2017	\$3,422.99			2016	\$3,576.57			2015	\$3,812.69			2014	\$3,422.99			2013	\$3,422.99			2012	\$3,306.51			2011	\$3,226.73		\$5.00	<b>Total</b>	<b>\$68,979.68</b>	<b>\$1,764.50</b>	<b>\$10.00</b>
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**Armond Cement Contracting Co., Inc.**

1808 Alice Street  
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(516) 546-3351  
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esposito@armondcement.com  
[www.armondcement.com](http://www.armondcement.com)

**INVOICE**

June 27, 2022

Village of Freeport  
46 N. Ocean Avenue  
Freeport, NY 11520



**2020 ANNUAL CURB AND SIDEWALK CONTRACT**

JOB LOCATION: 145 Woodside Avenue

**REMOVED AND REPLACED:**

4 in. sidewalk @ \$8.60/SF =

4 in. sidewalk @ \$10.60/SF  
(less than 80 SF) = 62 SF X \$10.60 = \$657.20

6 in. sidewalk @ \$10.10/SF =  
6 in. sidewalk @ \$9.60/SF  
(less than 30 SF) =

Curbing @ \$26.00/LF =

Sawcutting @ \$1.00/LF =

TOTAL = \$657.20

*ARMOND CEMENT CONTRACTING CO. INC. is a fully licensed and insured company  
doing business on Long Island since 1957. For additional information, please visit our website at:  
[www.armondcement.com](http://www.armondcement.com)*

VILLAGE OF FREEPORT  
INTER-OFFICE CORRESPONDENCE

TO: Robert McCormick, Department of Engineering

FROM: Donna Sullivan, Village Clerk Office

DATE: June 20, 2022

RE: **Hazardous Sidewalk – 145 Woodside Ave**

---

Please inspect the above location to determine if the hazardous condition has been corrected.

**1. 145 Woodside Ave**

Work Completed  Work not completed  Unsatisfactory

Was inspected and found to be satisfactorily completed Yes.

Was inspected and found to be unsatisfactory ~~Yes~~.

Comments \_\_\_\_\_

Signature 

Date 7-9-22

**SIDEWALK INSPECTION FORM**

DATE: 12/02/21

ADDRESS: 145 WOODSIDE AVENUE

DATE INSPECTION REQUESTED: 9/22/21

INSPECTION REQUESTED BY: CLERK'S OFFICE

REASON FOR INSPECTION: ALLEGED HAZARDOUS  
CONDITIONS OF SIDEWALK

INSPECTION REVEALED: CRACKED/LIFTED SECTIONS  
OF SIDEWALK

TOTAL SQUARE FOOTAGE OF SIDEWALK TO BE REPLACED: 62 sq.ft <sup>4" SW</sup> <sup>6" SW</sup>

CURB TO BE REPLACED: \_\_\_\_\_

IF TREES ON PROPERTY, WHAT CONDITION ARE THEY IN: \_\_\_\_\_

DEBRIS IN STREET: \_\_\_\_\_

OTHER: \_\_\_\_\_

AREAS MARKED OUT FOR REPLACEMENT:

4" 4.5' x 4' 6" \_\_\_\_\_ SAWCUTTING \_\_\_\_\_

(2) 4' x 4', 3' x 4'

DATE RETURNED TO SENDER: \_\_\_\_\_

INSPECTION PERFORMED BY:

Robert Melomich DATE 12/02/21

REVIEWED BY: RMF DATE 12/7/21

Account #: 200-4547.700

Quick Search: Account #

Tax Year: 2021

TAX

1 Account Alert

Summary Balance & Status Billing Payments Premise & Devices Usage Workflow

<b>JOHNSON KIM A.</b> Account 200-4547.700 Active Code ACTIVE Status Code NORMAL Social Security *****0000 Driver's License <hr/> <b>Fast Facts</b> Credit Score - A <hr/> <b>Service Address</b> 145 WOODSIDE AVE FREEPORT, NY 11520-1237 <hr/> <b>Services</b> <table border="1"> <thead> <tr> <th>Description</th> <th>Status</th> <th>Model/Size</th> </tr> </thead> <tbody> <tr> <td>TAX BILLING</td> <td>ACTIVE</td> <td></td> </tr> <tr> <td>GARBAGE COLL BILLING</td> <td>ACTIVE</td> <td></td> </tr> </tbody> </table> <hr/> <table border="1"> <thead> <tr> <th>Cycle</th> <th>1 - CYCLE 1</th> </tr> </thead> <tbody> <tr> <td>Route</td> <td>200 - ROUTE 200</td> </tr> <tr> <td>Service Area</td> <td>1 - DEFAULT</td> </tr> <tr> <td>Tax District</td> <td>1 - VILLAGE OF FREEPORT</td> </tr> </tbody> </table> <hr/> <b>Mailing Address</b> 145 WOODSIDE AVE FREEPORT, NY 11520-1237 No Phone Number Available JOHNSON KIM A. <hr/> <b>Account Calendar</b> <table border="1"> <tbody> <tr> <td>On Date:</td> <td>10/05/1998</td> </tr> <tr> <td>Last Paid:</td> <td>03/10/2021</td> </tr> <tr> <td>Last Bill:</td> <td>03/01/2021</td> </tr> <tr> <td>Due Date:</td> <td>09/01/2021</td> </tr> <tr> <td>ACH Date:</td> <td>Not on ACH</td> </tr> </tbody> </table>			Description	Status	Model/Size	TAX BILLING	ACTIVE		GARBAGE COLL BILLING	ACTIVE		Cycle	1 - CYCLE 1	Route	200 - ROUTE 200	Service Area	1 - DEFAULT	Tax District	1 - VILLAGE OF FREEPORT	On Date:	10/05/1998	Last Paid:	03/10/2021	Last Bill:	03/01/2021	Due Date:	09/01/2021	ACH Date:	Not on ACH	<b>Account Summaries</b> <hr/> <b>Site Information - Assessments</b> <table border="1"> <tbody> <tr> <td>Refuse Fees</td> <td>\$518.00</td> </tr> <tr> <td>Misc Charges</td> <td>-</td> </tr> <tr> <td>Personal Property</td> <td>\$0.00</td> </tr> <tr> <td>Personal Property List</td> <td>\$0.00</td> </tr> <tr> <td>Real Property</td> <td>\$4,677.00</td> </tr> <tr> <td>Real Property List</td> <td>\$4,677.00</td> </tr> <tr> <td>Land</td> <td>\$1,543.00</td> </tr> <tr> <td>Building</td> <td>\$3,134.00</td> </tr> <tr> <td><b>Total</b></td> <td><b>\$4,677.00</b></td> </tr> <tr> <td>Less Exemptions</td> <td>-</td> </tr> <tr> <td><b>TOTAL VALUE</b></td> <td><b>\$4,677.00</b></td> </tr> </tbody> </table> <hr/> <b>Balance and Status: Tax</b> <table border="1"> <thead> <tr> <th>Year</th> <th>Total Tax</th> <th>Delinq. 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**INVOICE**

June 27, 2022

Village of Freeport  
46 N. Ocean Avenue  
Freeport, NY 11520



**2020 ANNUAL CURB AND SIDEWALK CONTRACT**

JOB LOCATION: 173 Woodside Avenue

**REMOVED AND REPLACED:**

4 in. sidewalk @ \$8.60/SF =

4 in. sidewalk @ \$10.60/SF  
(less than 80 SF) = 32 SF X \$10.60 = \$339.20

6 in. sidewalk @ \$10.10/SF =

6 in. sidewalk @ \$9.60/SF  
(less than 30 SF) =

Curbing @ \$26.00/LF =

Sawcutting @ \$1.00/LF =

**TOTAL = \$339.20**

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VILLAGE OF FREEPORT  
INTER-OFFICE CORRESPONDENCE

TO: Robert McCormick, Department of Engineering

FROM: Donna Sullivan, Village Clerk Office

DATE: June 20, 2022

RE: **Hazardous Sidewalk – 173 Woodside Ave**

---

Please inspect the above location to determine if the hazardous condition has been corrected.

**1. 173 Woodside Ave**

Work Completed  Work not completed  Unsatisfactory

Was inspected and found to be satisfactorily completed Yes.

Was inspected and found to be unsatisfactory \_\_\_\_\_.

Comments \_\_\_\_\_

Signature 

Date 7-9-22

**SIDEWALK INSPECTION FORM**

DATE: 12/02/21

ADDRESS: 173 WOODSIDE AVENUE

DATE INSPECTION REQUESTED: 9/22/21

INSPECTION REQUESTED BY: CLERK'S OFFICE

REASON FOR INSPECTION: ALLEGED HAZARDOUS  
CONDITIONS OF SIDEWALK

INSPECTION REVEALED: CRACKED/LIFTED SECTIONS  
OF SIDEWALK

TOTAL SQUARE FOOTAGE OF SIDEWALK TO BE REPLACED: 32 sq.ft <sup>4" SW</sup> <sup>6" SW</sup>

CURB TO BE REPLACED: \_\_\_\_\_

IF TREES ON PROPERTY, WHAT CONDITION ARE THEY IN: \_\_\_\_\_

DEBRIS IN STREET: \_\_\_\_\_

OTHER: \_\_\_\_\_

AREAS MARKED OUT FOR REPLACEMENT:

4" 8' x 4' 6" \_\_\_\_\_ SAWCUTTING \_\_\_\_\_

DATE RETURNED TO SENDER: \_\_\_\_\_

INSPECTION PERFORMED BY:

Robert McComick DATE 12/02/21

REVIEWED BY: [Signature] DATE 12/7/21

Account #: 200-4541.700

Quick Search: Account #

Tax Year: 2021

TAX

1 Account Alert

Summary Balance & Status Billing Payments Premise & Devices Usage Workflow

<b>ENGLISH EARL &amp; MARY</b> Account <b>200-4541.700</b> Active Code <b>ACTIVE</b> Status Code <b>NORMAL</b> Social Security *****0000 Driver's License 000000000000			<b>Account Summaries</b> <b>Site Information - Assessments</b> Refuse Fees \$518.00 Misc Charges - Personal Property \$0.00 Personal Property List \$0.00 Real Property \$3,000.00 Real Property List \$3,000.00 Land \$735.00 Building \$2,265.00 Total \$3,000.00 Less Exemptions - <b>TOTAL VALUE \$3,000.00</b>				<b>Balance and Status: Tax</b> <table border="1"> <thead> <tr> <th>Year</th> <th>Total Tax</th> <th>Delinq. Tax</th> <th>Misc. Chgs.</th> </tr> </thead> <tbody> <tr> <td>2021</td> <td>\$2,386.88</td> <td>\$2,386.88</td> <td></td> </tr> <tr> <td>2020</td> <td>\$2,456.59</td> <td></td> <td>\$5.00</td> </tr> <tr> <td>2019</td> <td>\$2,358.88</td> <td></td> <td></td> </tr> <tr> <td>2018</td> <td>\$2,358.88</td> <td></td> <td>\$5.00</td> </tr> <tr> <td>2017</td> <td>\$2,359.56</td> <td></td> <td>\$5.00</td> </tr> <tr> <td>2016</td> <td>\$2,359.55</td> <td></td> <td>\$5.00</td> </tr> <tr> <td>2015</td> <td>\$2,359.55</td> <td></td> <td>\$5.00</td> </tr> <tr> <td>2014</td> <td>\$1,887.19</td> <td></td> <td>\$5.00</td> </tr> <tr> <td>2013</td> <td>\$1,866.66</td> <td></td> <td></td> </tr> <tr> <td>2012</td> <td>\$1,801.95</td> <td></td> <td>\$5.00</td> </tr> <tr> <td>2011</td> <td>\$1,757.63</td> <td></td> <td>\$5.00</td> </tr> <tr> <td><b>Total</b></td> <td><b>\$40,653.92</b></td> <td><b>\$2,386.88</b></td> <td><b>\$45.00</b></td> </tr> </tbody> </table>				Year	Total Tax	Delinq. Tax	Misc. Chgs.	2021	\$2,386.88	\$2,386.88		2020	\$2,456.59		\$5.00	2019	\$2,358.88			2018	\$2,358.88		\$5.00	2017	\$2,359.56		\$5.00	2016	\$2,359.55		\$5.00	2015	\$2,359.55		\$5.00	2014	\$1,887.19		\$5.00	2013	\$1,866.66			2012	\$1,801.95		\$5.00	2011	\$1,757.63		\$5.00	<b>Total</b>	<b>\$40,653.92</b>	<b>\$2,386.88</b>	<b>\$45.00</b>
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<b>Fast Facts</b> Credit Score - A 3rd Party/Multiple			<b>Payment Summary</b> <table border="1"> <thead> <tr> <th>Payment Date</th> <th>Type</th> <th>Posting Date</th> <th>Payment</th> </tr> </thead> <tbody> <tr> <td>11/30/2020</td> <td>TAX COL 2020</td> <td>11/30/2020</td> <td>\$122.83</td> </tr> <tr> <td>11/30/2020</td> <td>TAX INT 2020</td> <td>11/30/2020</td> <td>\$103.25</td> </tr> <tr> <td>11/30/2020</td> <td>TAX 2ND 2020</td> <td>11/30/2020</td> <td>\$1,228.30</td> </tr> <tr> <td>11/30/2020</td> <td>TAX 1ST 2020</td> <td>11/30/2020</td> <td>\$1,228.29</td> </tr> </tbody> </table>				Payment Date	Type	Posting Date	Payment	11/30/2020	TAX COL 2020	11/30/2020	\$122.83	11/30/2020	TAX INT 2020	11/30/2020	\$103.25	11/30/2020	TAX 2ND 2020	11/30/2020	\$1,228.30	11/30/2020	TAX 1ST 2020	11/30/2020	\$1,228.29																																				
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<b>Service Address</b> 173 WOODSIDE AVE FREEPORT, NY 11520-1238			<b>Tax Account Information</b> Map ID 55-340--100 Elderly Lien - Property Class 210 - ONE FAMILY RESIDENCE Ward 1 - TAXABLE Lot Size DIMEN 50.00 X 125.00  LOT-GRP:100-101 COUNTY CLS: 210.01																																																											
<b>Services</b> <table border="1"> <thead> <tr> <th>Description</th> <th>Status</th> <th>Model/Size</th> </tr> </thead> <tbody> <tr> <td>TAX BILLING</td> <td>ACTIVE</td> <td></td> </tr> <tr> <td>GARBAGE COLL BILLING</td> <td>ACTIVE</td> <td></td> </tr> </tbody> </table>			Description	Status	Model/Size	TAX BILLING	ACTIVE		GARBAGE COLL BILLING	ACTIVE																																																				
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<b>Mailing Address</b> 173 WOODSIDE AVE FREEPORT, NY 11520-1238 (516) 868-3172																																																														
<b>Account Calendar</b> On Date: 10/05/1998 Last Paid: Last Bill: 03/01/2021 Due Date: 09/01/2021 ACH Date: Not on ACH																																																														

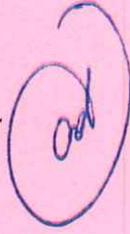
**INTERDEPARTMENTAL CORRESPONDENCE ONLY  
INCORPORATED VILLAGE OF FREEPORT  
VILLAGE COMPTROLLER'S OFFICE**

**TO:** Robert T. Kennedy, Mayor

**FROM:** Anthony Dalessio, CPA, Village Comptroller

**DATE:** August 23, 2022

**RE:** Request for Cash Transfer from General Fund to CM Fund for Police Department Asset Forfeiture

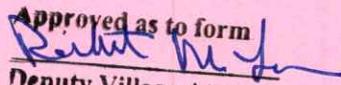


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Board approval is requested for the Incorporated Village of Freeport General Fund to transfer funds to the CM Fund for Police Department Asset Forfeiture monies received.

Funds in the amount of \$60,105.07 will be transferred from the General Fund operating account A200 120000 to the CM Class account CM 120161 upon approval.

Thank you.

Approved as to form  
  
Deputy Village Attorney

It was moved by Trustee \_\_\_\_\_, and seconded by Trustee \_\_\_\_\_, that the following resolution be adopted:

**WHEREAS**, Pursuant to §5-520 of the New York State Village Law, authorization is requested for the Village Comptroller to execute the following transfer to the fiscal year 2022 - 2023 operating budget:

**FROM:**

A200 120000	General Fund operating account	\$60,105.07
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**TO:**

CM 120161	CM Class account	\$60,105.07
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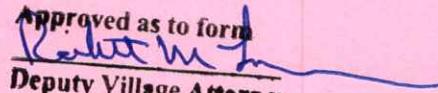
<b>Total:</b>		\$60,105.07
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**WHEREAS**, the purpose of the above transfer is to appropriate the necessary funding to the CM Fund for the Police Department Asset Forfeiture monies received; and

**NOW THEREFORE BE IT RESOLVED**, that based upon the recommendation of the Comptroller, the above-referenced transfer is hereby approved.

The Clerk polled the Board at follows:

Deputy Mayor Ellerbe	VOTING
Trustee Martinez	VOTING
Trustee Squeri	VOTING
Trustee Sanchez	VOTING
Mayor Kennedy	VOTING

Approved as to form  
  
Deputy Village Attorney

**Incorporated Village of Freeport  
TREASURER'S OFFICE  
INTER-OFFICE CORRESPONDENCE**

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**To:** Mayor, Robert T. Kennedy

**From:** Ismaela M. Hernandez, Village Treasurer

**Date:** September 1, 2022

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**RE: ATM Services Agreement – Cash Line ATM Inc.**

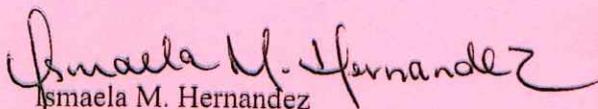
Request authorization from the Mayor and the Board of Trustees to enter into a placement and maintenance agreement for ATM (Automatic Teller Machine) services with Cash Line ATM Inc. 41 Gold Street, Valley Stream, NY 11580.

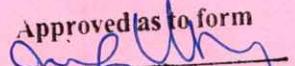
The agreement states that Cash Line ATM Inc. has will pay the Village of Freeport \$1.00 per transaction payable each month following the calendar month in which the transaction occurred. The term of the agreement is of 10 years commencing upon the date of the execution of the contract. The Village of Freeport hereunder may cancel this placement and maintenance agreement and all obligations of at any time. Written notice must be provided to Cash Line ATM Inc. no less than thirty (30) days prior to the any request for cancellation. A copy of the proposed services as well as the terms attached.

Revenue GL Account A1230 412300 Treasurer's Fees,

Kindly request authorization for the Mayor to sign any documentation necessary to execute the agreement.

Sincerely,

  
Ismaela M. Hernandez  
Village Treasurer

Approved as to form  
  
Deputy Village Attorney

Encl.

C.  
Carmen Ramos, Village Court Clerk  
Valerie Montes, Deputy Village Treasurer  
Anthony N. Dalessio, CPA Village Comptroller

The following resolution was proposed by Trustee \_\_\_\_\_, seconded by Trustee \_\_\_\_\_, as follows:

**WHEREAS**, the Village Treasurer is requesting to enter into a Placement and Maintenance Agreement for ATM (Automatic Teller Machine) services with CashLine ATM Inc., 41 Gold Street, Valley Stream, New York 11580; and

**WHEREAS**, the ATM will be located at 46 N. Ocean Avenue, Freeport NY, and the ATM shall at all times be available for use by the Business' customers during Business' normal business hours for the term of this Agreement; and

**WHEREAS**, CashLine ATM agrees to pay the Village of Freeport \$1.00 per transaction payable by the 15th of each calendar month following the calendar month in which the transaction occurred; and

**WHEREAS**, this Agreement shall be for Ten Years from the date of installation and will automatically renew for the same time period of time unless one party notifies the other in writing to the other party 30 days before its expiration; and

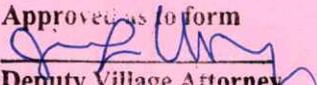
**WHEREAS**, the Village hereunder may cancel this Agreement and all obligations of at any time with 30 days notice; and

**WHEREAS**, the transaction fees paid to the Village will go in the Revenue GL Account A1230 412300 Treasurer's Fees; and

**NOW THEREFORE BE IT RESOLVED**, that based upon the recommendation of the Village Treasurer, the Board approve and the Mayor be authorized to execute any documentation necessary to effectuate a Placement and Maintenance Agreement for ATM (Automatic Teller Machine) services with CashLine ATM Inc., 41 Gold Street, Valley Stream, New York 11580, for a term of ten years from date of installation, wherein CashLine will pay the Village of Freeport \$1.00 per transaction.

The Clerk polled the Board at follows:

Deputy Mayor Ellerbe	VOTING
Trustee Martinez	VOTING
Trustee Squeri	VOTING
Trustee Sanchez	VOTING
Mayor Kennedy	VOTING

Approved as to form  
  
Deputy Village Attorney

## PLACEMENT & MAINTENANCE AGREEMENT

LEGAL BUSINESS NAME: Incorporated Village Of Freeport

Doing business as: \_\_\_\_\_

Type of business: \_\_\_\_\_ Corp. \_\_\_\_\_ LLC \_\_\_\_\_ Proprietor \_\_\_\_\_ Partnership

Gov't/Municipal

Address: 46 N. Ocean Ave, Freeport NY 11520

Mailing Address: Same as above

Federal Tax ID: 11-600-2111(9 digits, no letters)

Phone \_\_\_\_\_ E-mail: \_\_\_\_\_

PRINCIPAL'S NAME: Robert T. Kennedy, Mayor

This Agreement is entered into effect as of the \_\_\_\_ day of \_\_\_\_\_ 2022, between *CASHLINE ATM* A New York State Corporation (hereinafter referred to as "CASHLINE ATM ") and the abovementioned business (hereinafter referred to as the "Business") Located at the above mentioned address (hereinafter referred to as the "Location").

1. **Equipment:** Business agrees to place on its premises in an indoor location mutually agreed upon, a \_\_\_\_\_ (Model) Automated Teller Machine (ATM) that belongs to \_\_\_\_\_ or to a third party associated with CASHLINE ATM.

2. **Availability:** Business agrees that the ATM shall at all times be available for use by the Business' customers during Business' normal business hours for the term of this Agreement. The previous sentence notwithstanding, CASHLINE ATM reserves the right to schedule reasonable downtime to accomplish necessary maintenance or system improvements.

3. **Transaction Processing Fees:** CASHLINE ATM agrees to pay the Merchant for each transaction made on the ATM. A "transaction" shall mean any cash surcharged withdrawal made from the cardholder's account. CASHLINE ATM shall pay Business \$1.00 per transaction or \$\_\_\_\_\_per month, as payment that will be distributed monthly by CASHLINE ATM to merchant on the 15th of each calendar month following the calendar month in which the transaction occurred.

4. **Installation:** CASHLINE ATM agrees to install the ATM, at CASHLINE ATM own cost and expense, unless otherwise stated.

5. **Training:** CASHLINE ATM will provide training of Business' staff for basic use, operation and servicing

of the ATM.

**6. Maintenance and Repair:** CASHLINE will arrange for necessary servicing and repair of ATM. In the event that an ATM need be repaired, only CASHLINE ATM or a person duly authorized by CASHLINE ATM shall provide all labor for maintenance of the ATM, and Business shall ensure that no unauthorized person shall have access to any internal parts of the ATM. CASHLINE ATM shall indemnify and hold the Buisness harmless for any liability due to the violation of this provision. The ATM will be repaired within a reasonable period of time.

**7. Processing Service:** Business agrees that CASHLINE ATM would be the sole provider of ATM data processing service to Business.

**8. Inventory Requirement:** CASHLINE ATM shall inventory an adequate supply of paper and ribbons. CASHLINE ATM shall keep sufficient amounts of cash in the ATM at all times for normal expected transaction usage.

**9. Insurance:** CASHLINE ATM shall provide and maintain property insurance against loss, theft, damage or destruction of ATM not less than the full replacement value of the ATM. The Business and/or MERCHANT shall have no liability to CASHLINE ATM in the event of theft or damage. All cash kept in the ATM shall be the property of the CASHLINE ATM and CASHLINE ATM shall bear the risk of any cash if stolen or otherwise lost or destroyed.

**10. Exclusivity:** Business shall not he permitted to remove the ATM from the premises without the prior written consent of an authorized officer of CASHLINE ATM, and only CASHLINE ATM shall be permitted to move or remove the ATM at any time during this Agreement.

**11. Terms:** This Agreement shall be for Ten Years from the date of installation. CASHLINE ATM shall have right to review this Agreement and in the event ATM does not exceed\_\_\_\_\_transactions per month, CASHLINE ATM will have the right to remove the ATM and terminate this Agreement. This Agreement will automatically renew for the same time period of time unless one party notifies the other in writing to the other party 30 days before its expiration.

**12. Property, Ownership or Leasing Terms:** Business represents that they are the owner or tenant of the Premises, with an option to renew if required, for a length of time equal to or greater than the seven years term of this Agreement. In the event Business enters into any agreement for the sale or assignment of its business or substantially all of Business' assets, any such agreement shall provide for the purchase of an assignee therein to assume all of Business' obligations hereunder subject to the prior written approval of CASHLINE ATM

13. **Cancellation:** This Agreement and all obligations of CASHLINE ATM hereunder may be cancelled by CASHLINE ATM in the event of Business default or in the event that the Business fails to comply with the terms of this Agreement in such case, the remedy of the ATM TRANSACTION PROCESSING/ A.K.A. LICENSE /USE AGREEMENT WILL APPLY. This Agreement and all obligations of hereunder may be cancelled by the Business at any time. Written notice must be provided no less than thirty (30) days prior to the any request for cancellation.

14. **Equipment Relocation:** In the event Business transfers or moves its business from the Premises, Business shall notify CASHLINE ATM by not less than thirty (30) days prior to any such event, and after notice, this Agreement shall be automatically deemed as amended to apply to Business new Premises for any remaining term(s) of this Agreement.

15. **Non - Assign ability:** Business shall not assign or in any way dispose of all or any of its rights or obligations under this Agreement without the prior written consent of the CASHLINE ATM

16. **Waiver:** A waiver by either party of a breach of any provision of this Agreement shall not constitute a waiver or prejudice of the parties rights to otherwise demand strict compliance with this Agreement and all provisions hereof.

17. **Disclaimer:** EXCEPT AS PROVIDED IN PARAGRAPH "7" ABOVE MERCHANT UNDERSTANDS AND AGREES THAT COMPANY AND/OR PROCESSOR MAKES NO WARRANTY, EXPRESS, IMPLIED, OR STATUTORY, AS TO ANY MATTER WHATSOEVER, INCLUDING THE CONDITION OF THE ATM, ITS MERCHANT ABILITY OR FITNESS FOR ANY PARTICULAR PURPOSE, COMPANY AND/OR PROCESSOR. THE BUISNESS SHALL IN NO EVENT BE RESPONSIBLE FOR ANY LOST PROFITS OR DIRECT, INCIDENTAL, CONSEQUENTIAL, SPECIAL, OR INDIRECT DAMAGES THAT CASHLINE ATM MAY INCUR. Neither party will be liable for failure to perform its obligations under this Agreement if such failure is due to acts or events beyond such party's control.

18. **Compliance with laws:** CASHLINE agrees to comply with all Federal, State and local laws, regulations and ordinances, and with all regulations or rules of any banking ATM network or similar network utilized in connection with any transaction performed on this ATM. CASHLINE shall not without any cardholder's consent sell, purchase, provide or exchange any card account number or information of any kind obtained by any reason, except to resolve a transaction problem. Merchant shall not knowingly assist in any Transaction not originated by card owner, and understands that to violate this provision could constitute a Felony.

19. **Indemnification and Hold Harmless:** To the fullest extent permitted by law, CASHLINE agrees to defend, indemnify and hold harmless the Merchant AND/ OR Business and those working on behalf of the Merchant AND/ OR Business from and against any and all loss, cost, expenses, claims, judgements, damages, attorney's fees, liabilities for personal and bodily injury including death or property damage which MERCHANT AND/OR Business, may sustain by reason or in consequence of CASHLINE failure to comply with such laws, rules, regulations, ordinances, or which arise out of the design, or any act of omission in the placement, installation, operation, maintenance or removal of the ATM, except to the extent such damage results from the negligence or intentional act of the Merchant AND/ OR Business.

20. **Entire Agreement:** This Agreement constitutes the entire Placement Agreement of the Parties hereto. The other promises, representations, terms and conditions are represented in separate Attachments shall not contravene but compliment this Agreement. This Agreement supersedes any other Agreements, oral or written, between the parties and cannot be modified, except in writing signed by all parties.

21. **Governing Law:** This Agreement shall be construed in accordance with the Laws of the State of New York and venue for any actions shall be Kings County and in event of a default in this agreement Business shall be responsible for any legal fees including but not limited to attorneys fees.

**IN WITNESS WHEREOF, the undersigned duly authorize the representatives of the parties have executed this Agreement as the day and year last stated below.**

CASHLINE ATM INC

Merchant: \_\_\_\_\_ Incorporated Village Of Freeport\_

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_

Print: \_\_\_\_\_

Print: \_Robert T. Kennedy,

Mayor \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Vaulter: \_\_\_\_\_

Signature: \_\_\_\_\_

Print: \_\_\_\_\_

Date: \_\_\_\_\_